

FDOT GENERAL NOTES

1. ALL WORK PERFORMED WITHIN THE FDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH 2022/23 EDITION OF THE FDOT STANDARDS PLANS FOR ROAD AND BRIDGE CONSTRUCTION, 2022 SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE 2017 UTILITY ACCOMMODATION MANUAL.
2. ALL EXCAVATIONS WITHIN TEN(10) FEET OF THE TRAVEL LANES AND GREATER THAN THREE(3) INCHES DEEP MUST BE FILLED IN OR HAVE A SHOULDER TREATMENT PLACED AT THE DROP OFF PER INDEX #102-600 OF FDOT STANDARDS PLANS INDEXES AT THE END OF THE WORKDAY.
3. CONTRACTOR SHALL CONTACT FDOT TWO WEEKS IN ADVANCE AND SET UP A PRE-CONSTRUCTION MEETING PRIOR TO STARTING ANY WORK IN FDOT RIGHT-OF-WAY.
4. ALL TRAFFIC CONTROL DEVICES MUST BE IN PLACE BEFORE WORK CAN START.
5. MAINTENANCE OF TRAFFIC TO BE SUPERVISED BY AN FDOT CERTIFIED WORK TRAFFIC SUPERVISOR.
6. IT WILL BE THE RESPONSIBILITY OF THE PERMITTEE TO REPAIR ANY DAMAGE TO FDOT FACILITIES CAUSED BY CONSTRUCTION OF THE PROJECT.
7. PERMITTEE SHALL NOT WORK WITHIN THE FDOT RIGHT-OF-WAY UNTIL A FDOT INSPECTOR IS PRESENT AT THE JOB SITE AND AGREES THAT PROPER PREPARATIONS HAVE BEEN MADE.
8. SOD(BERMUDA) ALL UNPAVED AREAS WITHIN THE FDOT RIGHT-OF-WAY THAT ARE DISTURBED BY CONSTRUCTION PER FDOT STANDARDS PLANS INDEX #570-010.
9. ALL SIDEWALKS TO BE REMOVED AND REPLACED FROM JOINT TO JOINT AND HAVE 3" EXPANSION JOINTS (PREFORMED JOINT FILLER) PLACED BETWEEN OLD AND NEW SIDEWALK.
10. ALL AFFECTED SIDEWALKS, RAMPS, AND CROSSWALKS WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.
11. ALL PAVEMENT MARKINGS PERTAINING TO FDOT PROPOSED DRIVEWAY CONNECTION SHALL BE THERMOPLASTIC.
12. ALL RAISED PAVEMENT MARKINGS (RPM) INSTALLED WITHIN THE FDOT RIGHT-OF-WAY AND PROPOSED DRIVEWAY CONNECTION SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX #706-001.
13. ENGINEER'S CERTIFICATIONS TOGETHER WITH AS-BUILT PLANS ARE REQUIRED TO BE SUBMITTED WITHIN 30 DAYS OF COMPLETION WORK WITHIN FDOT RIGHT-OF-WAY.
14. PERMITTEE SHALL NOT COMMENCE USE OF CONNECTION PRIOR TO FINAL INSPECTION AND FINAL ACCEPTANCE BY DEPARTMENT. FAILURE TO COMPLY WITH PERMIT CONDITION MAY RESULT IN REVOCATION OF THE PERMIT AND CLOSURE OF DRIVEWAY PER FL RULE CHAPTER 14-96.

EROSION CONTROL NOTES

ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH LOCAL CITY/COUNTY AND WATER MANAGEMENT DISTRICT SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONAL CHANGES.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
3. ALL AREAS AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
4. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
5. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET THE REQUIREMENTS OF LOCAL SPECIFICATIONS.
6. THE CONTRACTOR SHALL SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR CONSTRUCTION AND STABILIZE ANY POTENTIAL EROSION AREAS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.
7. CONTRACTOR SHALL KEEP ANY AND ALL SAND, SILT OR OTHER DEBRIS FROM MOVING OFF-SITE. USE AND MAINTAIN SILT FENCE JUST INSIDE THE LIMITS OF CONSTRUCTION.
8. CONTRACTOR SHALL BLOCK INTRUSION OF SAND, SILT OR OTHER DEBRIS INTO ANY DRAINAGE OR SANITARY SEWER STRUCTURE OR PIPING ON OR ADJACENT TO THE SITE.
9. ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
10. FOR ADDITIONAL INFORMATION AND DETAILS, SEE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL MANUAL.
11. UNLESS SPECIFIED, SILT FENCES MAY BE USED IN LIEU OF SYNTHETIC BARRIERS.
12. ADDITIONAL POSTS AND RAILS MAY BE NECESSARY TO SECURE AND SUPPORT BARRIERS.
13. ADDITIONAL BARRIER LENGTHS MAY BE REQUIRED BY THE GOVERNING JURISDICTION OR BY OTHER REGULATORY AGENCIES.
14. FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR SYNTHETIC BALES/WATTLES, UNTIL THE LIMEROCK BASE IS FINISHED AND PRIMED.
15. THE BOTTOM AND SIDE SLOPES OF RETENTION PONDS SHALL BE UNDER EXCAVATED BY ROUGHLY 12 INCHES AT THE BEGINNING OF CONSTRUCTION. ONCE THE ENTIRE SITE IS STABILIZED, THE RETENTION POND SHALL BE EXCAVATED TO THE DESIGN DEPTH AND STABILIZED WITH SEED OR SOD AS SPECIFIED IN THE LANDSCAPING PLANS. NO MUCK GROWN SOD SHALL BE USED.

GENERAL NOTES

THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS AND THESE PLANS PRIOR TO THE START OF CONSTRUCTION. ANY CONFLICTS BETWEEN CONDITIONS IN THE FIELD AND THESE PLANS SHALL BE REPORTED TO THE ENGINEER OF RECORD AT ONCE.

A. GENERAL

1. ALL INFRASTRUCTURE AND IMPROVEMENTS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL JURISDICTION AND WILL BE SUBJECT TO THEIR INSPECTION AND ACCEPTANCE.
2. SITE LOCATION: 3645 ALOMA AVE, OVIEDO, SEMINOLE COUNTY, FLORIDA 32765.
3. THIS SITE LIES IN FLOOD ZONE "X", F.I.R.M. PANEL 12117C0260F, COMMUNITY NO. 120289, UN-INCORPORATED SEMINOLE COUNTY, FLORIDA. DATED SEPTEMBER 28, 2007.
4. BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY BY ALTAMAX SURVEYING, 910 BELLE AVENUE, SUITE 100, CASSELBERRY, FLORIDA 32708.
5. BENCHMARK – REFER TO TOPOGRAPHIC SURVEY BY ALTAMAX SURVEYING.
6. LEGAL DESCRIPTION SHOWN HEREIN IS FURNISHED BY SURVEYOR, AND IS INCLUDED FOR PERMITTING AND APPROVAL PURPOSES, AND AS A COURTESY FOR THE CONTRACTOR. THE ENGINEER ASSUMES NO LIABILITY FOR ITS ACCURACY OR COMPLETENESS.
7. SITE GEOTECHNICAL INVESTIGATION PERFORMED BY UNIVERSAL ENGINEERING SCIENCES, THE CIVIL ENGINEER ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, ACCURACY AND COMPLETENESS OF THEIR WORK. THE CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL ENGINEER'S REPORT FOR THIS SITE AND COMPLY WITH RECOMMENDATIONS CONTAINED THEREIN. IF ADDITIONAL SERVICES ARE REQUIRED, THE CONTRACTOR SHALL MAKE A REQUEST TO THE OWNER.
8. CONTRACTOR SHALL PROVIDE AND INSTALL EROSION CONTROL DEVICES (SILT FENCE OR OTHER METHODS) AT LIMITS OF CONSTRUCTION AND AROUND EACH STORM INLET PRIOR TO CONSTRUCTION, AND SHALL MAINTAIN SAID EROSION CONTROL DEVICES DURING CONSTRUCTION, ALL IN CONFORMANCE WITH CURRENT LOCAL, COUNTY AND STATE CRITERIA.
9. THE SITE SHALL BE CLEARED AS MAY BE NOTED ON THE PLANS, OF ALL OBSTRUCTIONS AND DELETERIOUS MATERIAL SUCH AS FENCES, WALLS, FOUNDATIONS, LOGS, SHRUBS, BRUSH, WEEDS, OTHER VEGETATION, AND ACCUMULATION OF RUBBISH OF WHATEVER NATURE. OFF-SITE DISPOSAL, INCLUDING ANY HAZARDOUS MATERIAL ENCOUNTERED, SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS.
10. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO START OF CONSTRUCTION.
11. THE CONTRACTOR SHALL REMAIN SOLELY RESPONSIBLE FOR ANY DESIGN CHANGES WHICH HE MAY INCORPORATE INTO THE PLANS WITHOUT PRIOR WRITTEN CONSENT AND/OR APPROVAL FROM THE **OWNER AND THE ENGINEER**.
12. THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN EACH EXISTING RIGHT OF WAY WITH SEMINOLE COUNTY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION.
13. THE CONTRACTOR SHALL RESTORE OFF-SITE AREAS TO A CONDITION EQUAL TO OR BETTER THAN THE CONDITION EXISTING PRIOR TO COMMENCEMENT OF CONSTRUCTION.
14. ALL DISTURBED AREAS SHALL BE SOODED.
15. AT LEAST 30 DAYS PRIOR TO ANTICIPATED COMPLETION OF SITE CONSTRUCTION, THE FINAL CERTIFICATION PROCESS WILL BEGIN. THE CONTRACTOR SHALL PROVIDE DOCUMENTS AND INFORMATION, IN A TIMELY MANNER, TO ENGINEER, INCLUDING, WITHOUT LIMITATION:
 - a. SURVEYED "AS-BUILTS" MEETING THE REQUIREMENTS OF THE LOCAL JURISDICTION.
 - b. COMPACTION AND DENSITY TEST REPORTS, AND
 - c. PRESSURE TESTING AND BACTERIOLOGICAL TESTING RESULTS, AS REQUIRED, FOR WATER DISTRIBUTION AND/OR WASTEWATER COLLECTION/TRANSMISSION SYSTEMS.

THE CONTRACTOR SHALL HAVE TWO (2) SETS OF AS-BUILT PLANS, SIGNED AND SEALED BY SURVEYOR OF RECORD, ON SITE THE DAY OF THE CIVIL ENGINEERING FINAL PUNCH LIST INSPECTION. THE GENERAL CONTRACTOR IS TO GIVE THE TWO AS-BUILT PLANS TO THE REPRESENTATIVE FROM Z DEVELOPMENT SERVICES COMPLETING THE INSPECTION. IF ANY DEFICIENCIES ARE NOTED, ONE SET OF RED-LINED AS-BUILT PLANS WILL BE GIVEN TO THE GC FOR REVISIONS TO BE MADE. REVISED AS-BUILTS WILL NEED TO BE FORWARDED TO THE ENGINEER BEFORE ANY CERTIFICATIONS CAN BE INITIATED.

16. ALL TRAFFIC CONTROL DEVICES, EQUIPMENT AND INSTALLATION SHALL MEET THE REQUIREMENTS OF THE LOCAL JURISDICTION AND/OR FLORIDA DEPARTMENT OF TRANSPORTATION.
17. VEHICLE PARKING SPACES SHALL CONFORM WITH LOCAL CODE. ACCESSIBLE PARKING SPACES AND ACCESS ROUTES SHALL FURTHER CONFORM WITH CURRENT ADA REQUIREMENTS.
18. ACCESSIBLE PARKING PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM WITH CURRENT ADA REQUIREMENTS AND LOCAL ORDINANCE.
19. LANDSCAPE SHALL BE TRIMMED TO ENSURE SIGHT VISIBILITY OF TRAFFIC CONTROL DEVICES.
20. ALL PAVEMENT IS DIMENSIONED TO FACE OF CURB.
21. ALL BUILDING DIMENSIONS AND TIES ARE TO FACE OF BUILDING. SEE ARCHITECTURAL PLANS.
22. ALL PARKING LOT CURB RETURN RADII ARE 4' UNLESS OTHERWISE NOTED.
23. BUILDING AND SITE IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE WEST PROPERTY LINE UNLESS OTHERWISE NOTED.

DEMOLITION NOTES

1. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL COORDINATE ACTIVITIES WITH ALL UTILITY SERVICE PROVIDERS IN THE AREA. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE VERIFIED PRIOR TO ANY EXCAVATION ACTIVITIES.
2. THE CONTRACTOR SHALL COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND OTHER IMPROVEMENTS AS NOTED ON THE PLANS. THIS INCLUDES FOUNDATIONS, TIMBER, BRUSH, STUMPS, ROOTS, PAVEMENT AND BASE MATERIAL AND OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.
3. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS). THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.
4. WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
5. THE LOCATION OF ALL EXISTING UTILITIES AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED BASED UPON THE BEST AVAILABLE INFORMATION. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR ACCURACY. ALL UTILITIES, SURFACE IMPROVEMENTS AND TREE LOCATIONS SHOULD BE VERIFIED BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE SERVICE PROVIDER.
7. THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION. (UNDER THE DIRECTION OF A REGISTERED LAND SURVEYOR).
8. ALL EROSION CONTROL MEASURES NOTED BELOW AND IN THE PLANS SHOULD BE IN PLACE PRIOR TO THE START OF DEMOLITION.

UTILITY NOTES

PRIOR TO COMMENCING ANY CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES, INCLUDING WITHOUT LIMITATION POTABLE WATER, RECLAIMED WATER, SANITARY SEWER, AND SERVICE UTILITIES, AT POINTS OF CONNECTION, POINTS OF CROSSING, AND/OR POTENTIAL CONFLICT. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS.

A. GENERAL

1. THE LOCATIONS OF EXISTING UTILITIES, SUCH AS WATER MAINS, SEWERS, GAS LINES, ETC., SHOWN ON THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER AND OWNER ASSUME NO LIABILITY FOR ACCURACY AND COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION OR DEMOLITION AND TO HAVE THEIR FACILITIES LOCATED IN THE FIELD PRIOR TO ANY WORK.
2. DUE TO GRAPHIC LIMITATIONS OF THE DRAWING SCALE, ALL STORM SEWER, DRAINAGE, WATER AND SANITARY SEWER MAINS, SERVICES, LATERALS, CONNECTIONS, AND APPURTENANCES DEPICTED HEREIN – UNLESS OTHERWISE LOCATED BY DIMENSIONS – REFLECT SCHEMATIC LOCATIONS ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL LOCATIONS DURING THE CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, INCLUDING ANY REQUISITE COORDINATION WITH THE RESPECTIVE GOVERNING AGENCY/UTILITY PROVIDER.
3. ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF SEMINOLE COUNTY UTILITIES, AND WILL BE SUBJECT TO THEIR INSPECTION AND ACCEPTANCE.
4. CONTRACTOR SHALL INSPECT PIPING AND MATERIALS BEFORE INSTALLATION TO DETECT APPARENT DEFECTS. MARK DEFECTIVE MATERIALS WITH WHITE PAINT AND PROMPTLY REMOVE FROM SITE.
5. LAY SEWER PIPING BEGINNING AT LOW POINT OF SYSTEM (CONNECTION TO OFF SITE SYSTEM OR PUMP STATION), TRUE TO GRADES AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERTS. PLACE BELL ENDS OR GROOVE ENDS OF PIPING FACING UPSTREAM.
6. CLEAR INTERIOR OF PIPE OF DIRT AND OTHER SUPERFLUOUS MATERIAL AS WORK PROGRESSES. MAINTAIN SWAB OR DRAG IN LINE AND PULL PAST EACH JOINT AS IT IS COMPLETED. PLACE PLUGS IN ENDS OF UNCOMPLETED CONDUIT WHENEVER WORK STOPS.
7. MAINTAIN 36" COVER OVER MAINS, AND 30" OVER SERVICES/LATERALS UNLESS OTHERWISE NOTED.
8. WHEN PROPOSED CONSTRUCTION OCCURS AT EXISTING MANHOLES, INLETS, VAULTS, AND OTHER STRUCTURES, THE CONTRACTOR SHALL MODIFY THE STRUCTURES, FRAMES, AND GRATES TO MEET THE PROPOSED GRADES UNLESS OTHERWISE DIRECTED.
9. INSTALL CONTINUOUS LOCATOR TAPE/WIRE, LOCATED DIRECTLY OVER POTABLE WATER MAINS AND SANITARY SEWER MAINS AT 6" TO 8" ABOVE PIPE.
10. WHERE APPLICABLE, UTILITY TRENCHES CROSSING PAVEMENT AREAS SHALL BE BACK FILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH A.A.S.H.T.O.–T-99.
11. CONTRACTOR SHALL PROVIDE SLEEVES FOR IRRIGATION LINES AND SITE LIGHTING UNDER PAVEMENT. COORDINATE WITH GENERAL CONTRACTOR.
12. ALL TRENCHES EXCAVATED FOR THE PURPOSES OF UTILITY/STORM INSTALLATION SHALL BE KEPT DRY FOR THE DURATION OF UTILITY/STORM CONSTRUCTION. DEWATERING OF UTILITY/STORM TRENCHES MAY BE REQUIRED TO PREVENT FLOATAION OF UTILITY/STORM PIPES DURING INSTALLATION.
13. THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN CONSTRUCTION IS COMPLETE FOR WATER, WASTEWATER AND STORMWATER SYSTEMS SO TIMELY CERTIFICATIONS MAY BE INITIATED. **SATISFACTORY BACTERIOLOGICAL TEST RESULTS, PRESSURE TEST RESULTS, AND AN AS BUILT SURVEY** SHALL BE SUBMITTED TO ENGINEER PRIOR TO FINAL CERTIFICATION.
14. SUITABLE COUPLINGS COMPLYING WITH ASTM SPECIFICATIONS ARE REQUIRED FOR JOINING DISSIMILAR MATERIALS.
15. DEFLECTION TESTS ARE REQUIRED FOR ALL FLEXIBLE PIPE. TESTING REQUIREMENTS: 1) NO PIPE SHALL EXCEED A DEFLECTION OF 5%; 2) USING A RIGID BALL OR MANDREL FOR THE DEFLECTION TEST WITH A DIAMETER NOT LESS THAN 95% OF THE BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE; 3) PERFORMING THE TEST WITHOUT MECHANICAL PULLING DEVICES.

16. ALL TRENCHES EXCAVATED FOR THE PURPOSES OF UTILITY/STORM INSTALLATION SHALL BE KEPT DRY FOR THE DURATION OF UTILITY/STORM CONSTRUCTION. DEWATERING OF UTILITY/STORM TRENCHES MAY BE REQUIRED TO PREVENT FLOATAION OF UTILITY/STORM PIPES DURING INSTALLATION.

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16. ALL TRENCHES EXCAVATED FOR THE PURPOSES OF UTILITY/STORM INSTALLATION SHALL BE KEPT DRY FOR THE DURATION OF UTILITY/STORM CONSTRUCTION. DEWATERING OF UTILITY/STORM TRENCHES MAY BE REQUIRED TO PREVENT FLOATAION OF UTILITY/STORM PIPES DURING INSTALLATION.

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B. MATERIALS (WATER)

1. SERVICE PIPE SHALL BE POLYETHYLENE (PE) TUBING, DR9 MINIMUM.
2. WATER MAINS SHALL BE PVC ASTM C900, DR 14 WITH INTEGRAL BELLS AND ELASTOMERIC JOINTS PER ASTM C3139 AND GASKETS PER ASTM F477.
3. DUCTILE IRON PIPE (D.I.P.), IF REQUIRED, SHALL CONFORM TO ANSI/AWWA A21.51/C151, CLASS 50 (MIN.) PIPE FOR ALL SIZES.
4. CORPORATION STOPS SHALL BE BRASS, SIZED TO MATCH THE TAP DIAMETER, EQUIPPED WITH CONNECTIONS COMPATIBLE WITH SERVICE PIPE AND THREADED IN ACCORDANCE WITH SPECIFICATIONS IN AWWA C800. CURB STOPS SHALL BE SIZED TO MATCH THE METER SIZE AND CONFORM WITH AWWA C800 AND AWWA C901.
5. FITTINGS SHALL BE BRASS, CAST AND MACHINED IN ACCORDANCE WITH AWWA C800 AND AWWA C901, WITH COMPATIBLE PIPE CONNECTIONS.
6. TAPPING SADDLES SHALL BE USED FOR ALL SERVICE LINE TAPS. SERVICE SADDLES SHALL BE DOUBLE STRAP, ANCHORED BY A MINIMUM FOUR (4) BOLT PATTERN ON A DUCTILE IRON SADDLE BODY. FOR PVC PIPE, DOUBLE STRAPS SHALL BE CORROSION RESISTANT ALLOY STEEL, SIZED EXACTLY TO THE PIPE OUTSIDE DIAMETER. SEALING GASKETS SHALL BE BUNA-N RUBBER.
7. ALL POTABLE WATER PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL BE BLUE IN COLOR VIA INTEGRAL PIPE COLOR, STRIPING, OR OTHER METHODS.

C. MATERIALS (SEWER)

1. ALL GRAVITY SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE PIPE (PVC) CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS.
2. ALL FITTINGS AND ACCESSORIES SHALL BE MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR PRIOR-APPROVED EQUAL.
3. BEDDING AND INITIAL BACK FILL OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER.

D. MATERIALS (STORM)

1. REINFORCED CONCRETE PIPE (RCP): 0-RING PIPE SHALL CONFORM TO ASTM C 76 (CLASS III, UNLESS OTHERWISE SPECIFIED) AND AASHTO M 170 STANDARD SPECIFICATIONS, AND ASTM C 443 STANDARD SPECIFICATION FOR JOINTS FOR RCP USING RUBBER GASKETS.
2. ELLIPTICAL RCP SHALL CONFORM TO ASTM C 507 (CLASS III) AND AASHTO M 207 STANDARD SPECIFICATIONS.
3. HDPE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M-252 (3"-10"), M-294 (12" AND LARGER), TYPE S (CORRUGATED OUTSIDE – SMOOTH INSIDE, 4"-60"), AND MP7 (60" TYPE S).
 - A. BELL/SPIGOT GASKET FOR HDPE PIPE SHALL BE SOIL/SILT TIGHT PER AASHTO SECTION 26 WITH RUBBER GASKET MEETING ASTM F-477.
4. PVC STORM SEWER PIPE (12" OR LESS) AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE PIPE (PVC) CONFORMING TO ASTM D3034, SDR26, WITH PUSH-ON RUBBER GASKET JOINTS.

UTILITY DISINFECTING & TESTING NOTES

WATER MAINS THAT ARE INCLUDED IN THIS PROJECT THAT WILL BE CONSTRUCTED OF POLYVINYL CHLORIDE PIPE WILL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C605. ALL OTHER WATER MAINS INCLUDED IN THIS PROJECT WILL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C600.

LEAKAGE TESTS ARE REQUIRED AS FOLLOWS: 1) THE LEAKAGE EXFILTRATION OR INFILTRATION DOES NOT EXCEED 200 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE PIPE; 2) EXFILTRATION OR INFILTRATION TESTS BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET; 3) AIR TESTS, AS A MINIMUM, CONFORM TO THE TEST PROCEDURE DESCRIBED IN ASTM C 828 FOR CLAY PIPE, ASTM C 924 FOR CONCRETE PIPE, ASTM F-1417 FOR PLASTIC PIPE, AND FOR OTHER MATERIALS APPROPRIATE TEST PROCEDURES.

DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA C651 DISINFECTING WATER MAINS. SATISFACTORY BACTERIOLOGICAL TEST RESULTS SHALL BE SUBMITTED TO ENGINEER PRIOR TO FINAL CERTIFICATION.

THE CONTRACTOR SHALL MAKE PROVISIONS TO PROTECT THE ACTIVE EXISTING MAIN FROM BACKFLOW CONTAMINATION DURING FILLING, FLUSHING, AND TESTING OF THE NEW MAIN, AS SPECIFIED IN AWWA C651-92.

CONTRACTOR SHALL UTILIZE A JUMPER CONNECTION DURING WATER MAIN TESTING. ALTERNATE TYPES OF BACKFLOW PREVENTION MAY BE UTILIZED AS APPROVED BY INSPECTION STAFF AND ENGINEER.

UTILITY SEPARATION NOTES

1. NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT WILL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER (OR A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER IF THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER); A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART II OF CHAPTER 62-610, F.A.C.; AND A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM."

2. NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY – OR VACUUM – TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE; AND NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE.

3. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE OR THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY – OR PRESSURE – TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

UTILITY CONTACTS

STORM DRAINAGE	ST. JOHNS RIVER WATER MANAGEMENT DISTRICT ALTAMONTE SPRINGS SERVICE CENTER 975 KELLER ROAD ALTAMONTE SPRINGS, FLORIDA 32714 PHONE: 407-659-4800 CONTACT: KEN LEWIS
SEWER/ WATER	SEMINOLE COUNTY UTILITIES UTILITIES ENGINEERING DIVISION 500 W. LAKE MARY BLVD. SANFORD, FL 32773 PHONE: 407-665-2041 CONTACT: DENNIS WESTRICK
ELECTRIC	DUKE ENERGY P.O. BOX 14042 ST. PETERSBURG, FL 33733 PHONE: 866-372-4663 CONTACT: RICH MARSIGLIO
CABLE	SPECTRUM 844 MAGUIRE RD OCOE, FL 34781 PHONE: 407-532-8520 CONTACT: JOHN SMITH
TELEPHONE	AT&T 1155 W STATE ROAD 434 SUITE 103 LONGWOOD, FL 32750 PHONE: 561-683-2729 CONTACT: DINO FARRUGGIO

LEGEND

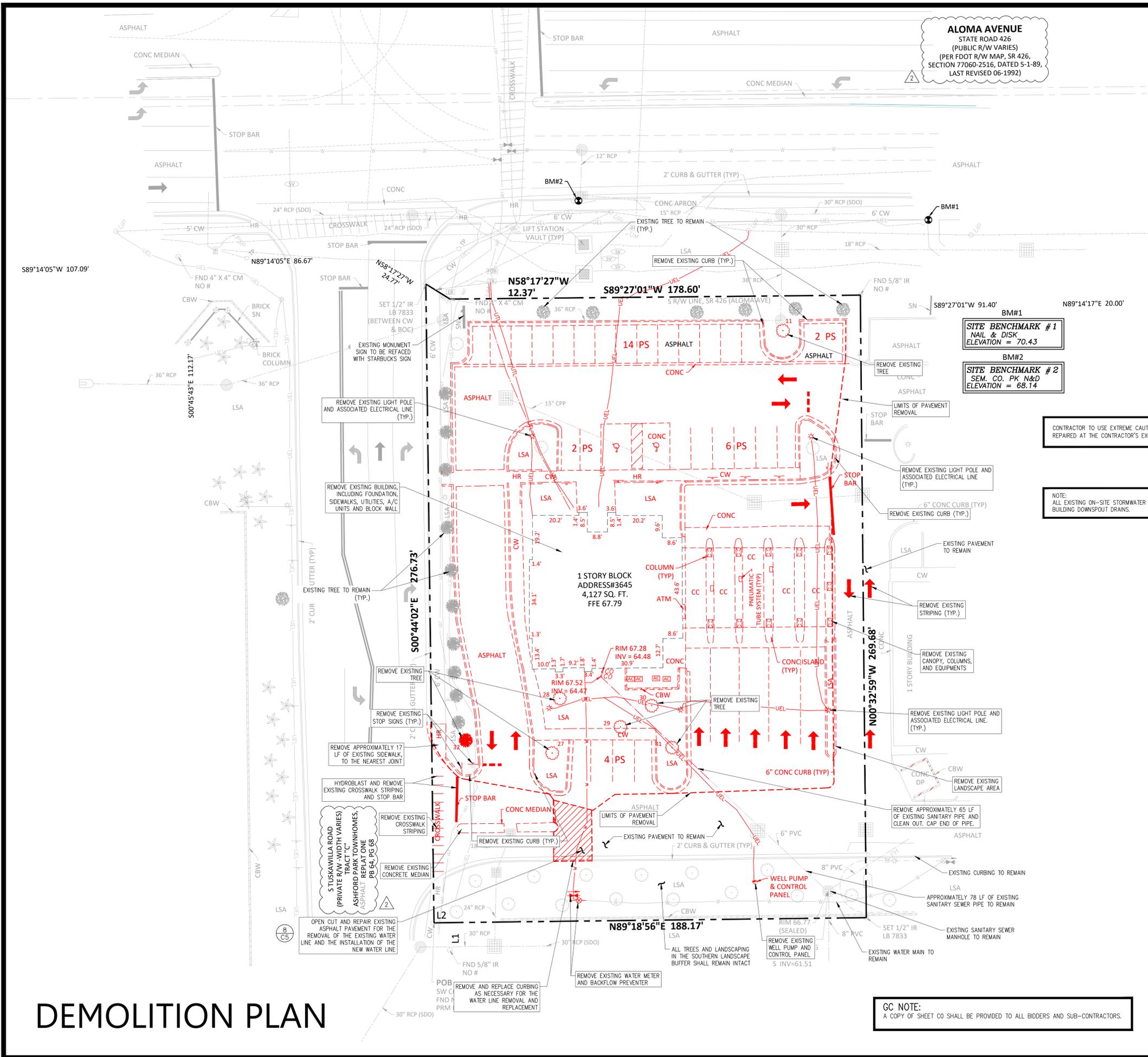
PROPOSED CONTOUR	73.50
MEET EXISTING GRADE	MEG
EDGE OF PAVEMENT	EOP
SIDEWALK	SW
GRADE BREAK	GB
SPOT ELEVATION	12.55 10%
DIRECTION OF FLOW AND PERCENT SLOPE	10%
STORM SEWER & INLET	DSD
DOWN SPOUT DRAINS	SS
SANITARY SEWER & MANHOLE	C.O.
CLEANOUT	W
WATER SERVICE	
FIRE HYDRANT	
WATER METER	
BACKFLOW PREVENTION DEVICE	
GATE VALVE	
REDUCER	
UNDERGROUND TELEPHONE	T
UNDERGROUND ELECTRIC	UGE
SITE LIGHTING	
TRANSFORMER	T
AIR CONDITIONING UNIT	AC
PARKING SPACE TOTALS	8
6" CURBING WITH DIMENSION (TO FACE OF CURB U.N.O.)	12'
DETAIL NUMBER	3 C4
SHEET NUMBER	

Z DEVELOPMENT s e r v i c e s CA 29354	DATE					
	REVISION					
708 E. COLONIAL DR., STE 100 ORLANDO, FL 32803	DATE					
	REVISION					
STARBUCKS RESTAURANT 3645 ALOMA AVE OVIEDO FLORIDA 32765	DATE					
	REVISION					
SARAH CULOTTA, P.E. FL REG # 87413	DATE					
	REVISION					

STARBUCKS RESTAURANT 3645 ALOMA AVE OVIEDO FLORIDA 32765	DATE: 05-05-23 DRAWN: LF CHECKED: SC
CIVIL DATA AND NOTES	
PROJECT NO.: 2023.103	

GC NOTES:

A COPY OF THIS SHEET CO SHALL BE PROVIDED TO ALL BIDDERS AND SUB-CONTRACTORS.



ALOMA AVENUE
 STATE ROAD 426
 (PUBLIC R/W VARIES)
 (PER FDOT R/W MAP, SR 426,
 SECTION 77060-2516, DATED 5-1-89,
 LAST REVISED 06-1992)

DEMOLITION NOTES

1. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL COORDINATE ACTIVITIES WITH ALL UTILITY SERVICE PROVIDERS IN THE AREA. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE VERIFIED PRIOR TO ANY EXCAVATION ACTIVITIES.
2. THE CONTRACTOR SHALL COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND OTHER IMPROVEMENTS AS NOTED ON THE PLANS. THIS INCLUDES FOUNDATIONS, TIMBER, BRUSH, STUMPS, ROOTS, PAVEMENT AND BASE MATERIAL AND OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.
3. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS). THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.
4. WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
5. THE LOCATION OF ALL EXISTING UTILITIES AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED BASED UPON THE BEST AVAILABLE INFORMATION. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR ACCURACY. ALL UTILITIES, SURFACE IMPROVEMENTS AND TREE LOCATIONS SHOULD BE VERIFIED BY THE CONTRACTOR.
6. THE CONTRACTOR IS TO COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE SERVICE PROVIDER.
7. THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION (UNDER THE DIRECTION OF A REGISTERED LAND SURVEYOR).
8. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF DEMOLITION AND SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION.

CONTRACTOR TO USE EXTREME CAUTION WHEN WORKING NEAR EXISTING UNDERGROUND UTILITIES. ANY DAMAGES TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

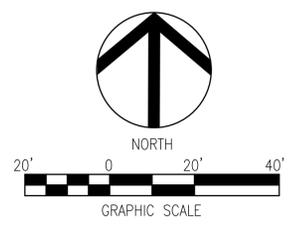
NOTE:
 ALL EXISTING ON-SITE STORMWATER INLETS AND ASSOCIATED PIPING SHALL REMAIN INTACT AND OPERATIONAL, WITH THE EXCEPTION OF ANY BUILDING DOWNSPOUT DRAINS.

FIRE SAFETY DURING DEMOLITION SHALL MEET THE REQUIREMENTS OUTLINED IN NFPA 1, CHAPTER 16 (2018 EDITION) AND NFPA 241 FOR ANY COMBUSTIBLE WASTE DISPOSAL, ACCESS ROADS FOR FIRE DEPARTMENT, ANY UTILITIES AND FIRE PROTECTION APPLIANCES SUCH AS HYDRANTS SHALL BE MAINTAINED.



DEMOLITION PLAN

GC NOTE:
 A COPY OF SHEET C0 SHALL BE PROVIDED TO ALL BIDDERS AND SUB-CONTRACTORS.



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REVISION	DATE	REVISION
1	06-28-23	COUNTY COMMENTS

SARAH CILOTTA, P.E.
 FL REG # 87413

STARBUCKS RESTAURANT
 3645 ALOMA AVE
 OVIEDO
 FLORIDA 32765

DATE: 05-05-23
 DRAWN: LF
 CHECKED: SC
C0.1
 DEMOLITION PLAN
 PROJECT NO.: 2023.103

SITE DATA

HOURS OF OPERATION SUNDAY TO SATURDAY | 5:00 AM TO 9:00 PM

NUMBER OF EMPLOYEES: 5

SITE AREA		
PERVIOUS AREA	50,940 S.F.	(1.17 AC)
EXISTING		
PERVIOUS AREA	12,153 SF	(23.9%) (100%)
IMPERVIOUS AREA	38,787 SF	(76.1%)
BUILDING AREA	4,127 SF	(8.1%)
PAVEMENT / SIDEWALK	34,660 SF	(68.0%)
PROPOSED		
PERVIOUS AREA	13,430 SF	(26.4%) (100%)
IMPERVIOUS AREA	37,510 SF	(73.6%)
BUILDING AREA	2,700 SF	(5.3%)
PAVEMENT / SIDEWALK	34,810 SF	(68.3%)

ZONING		
ZONING	PD (PLANNED DEVELOPMENT - TRINITY RETAIL)	
MAXIMUM IMPERVIOUS SURFACE	75%	
MINIMUM OPEN SPACE	25%	
PROVIDED OPEN SPACE	26.4%	
FUTURE LAND USE		
FUTURE LAND USE	HIGH INTENSITY HIP-TR-HIGH INTENSITY PLANNED DEVELOPMENT (TRANSITIONAL AREAS)	
MAXIMUM ALLOWABLE F.A.R.		
MAXIMUM ALLOWABLE F.A.R.	0.35	
PROVIDED F.A.R.	0.05	
MAXIMUM ALLOWABLE BUILDING HEIGHT		
MAXIMUM ALLOWABLE BUILDING HEIGHT	35 FT	
PROPOSED BUILDING HEIGHT	21'-9" FEET	
NUMBER OF STORIES		
NUMBER OF STORIES	1	

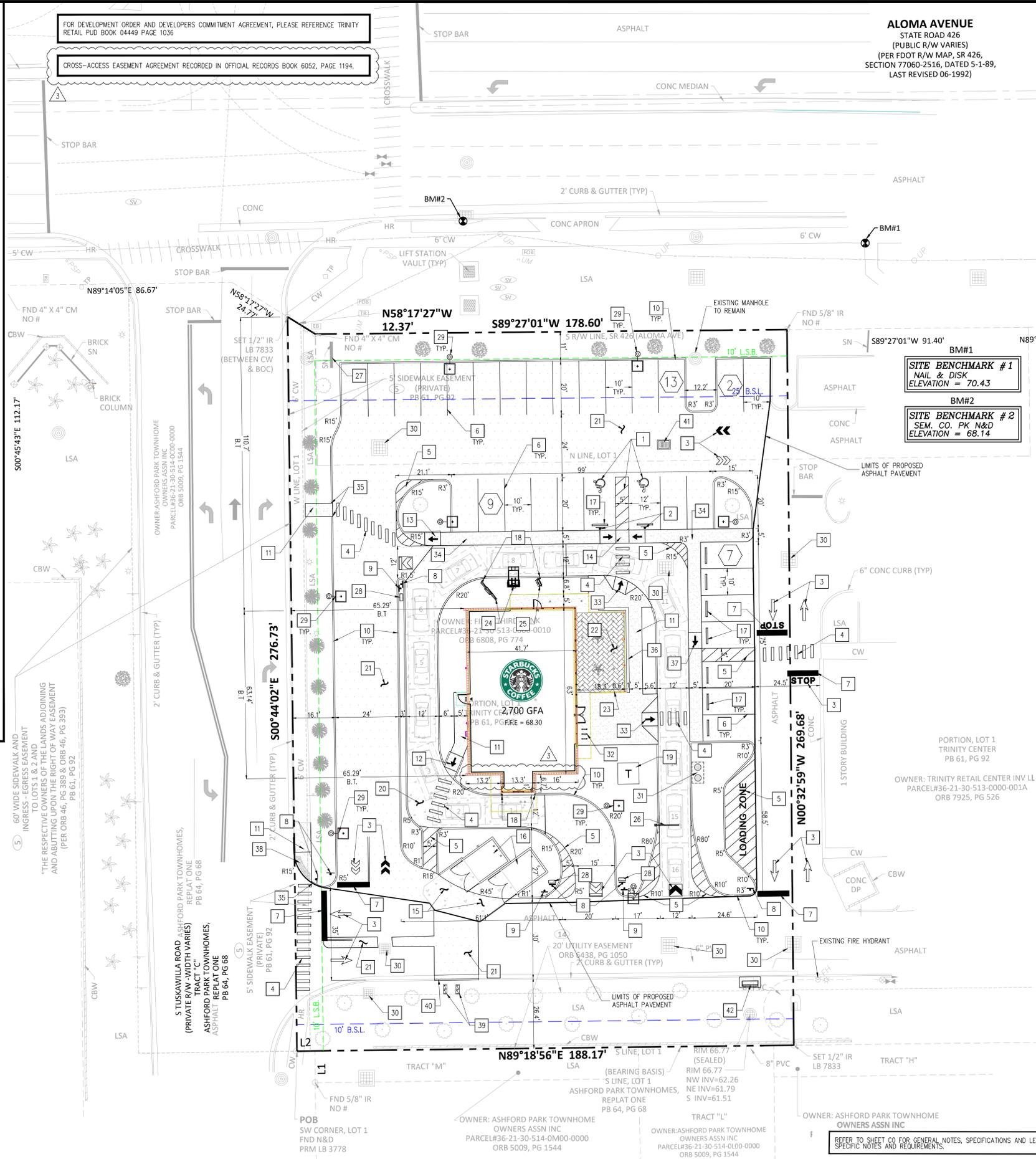
LANDSCAPE BUFFERS		
REQUIRED	PROVIDED	
FRONT (NORTH, ALOMA AVE.)	10 FT	10.2 FT
SIDE (WEST, TUSKAWILLA RD.)	10 FT	15.6 FT
SIDE (EAST)	0 FT	13.5 FT (VARIES)
REAR (SOUTH)	0 FT	25.9 FT
BUILDING SETBACKS		
FRONT (NORTH, ALOMA AVE.)	25 FT	104.7 FT
SIDE (WEST, TUSKAWILLA RD.)	0 FT	67.4 FT
SIDE (EAST)	0 FT	80.7 FT
REAR (SOUTH)	10 FT	96.5 FT

PARKING REQUIRED		
RESTAURANT WITH DRIVE-THRU		
ONE (1) SPACE FOR EACH FOUR (4) SEATS.		
= 65 (41 INDOOR + 24 OUTDOOR) SEATS / 4		
= 16.2 OR 16 SPACES		
PARKING PROVIDED		
BICYCLE PARKING REQUIRED: TWO (2) BICYCLE SPACES ARE REQUIRED FOR EACH TEN (10) OFF-STREET PARKING SPACES		
= 31 SPACES / 10 * 2		
= 6 BICYCLE SPACES		
TOTAL PARKING PROVIDED		
REGULAR	29 SPACES	
ACCESSIBLE	2 SPACES	
TOTAL VEHICLE SPACES	31 SPACES	
BICYCLE SPACES	6 SPACES	

FIRE MARSHAL NOTES:

- FIRE DEPARTMENT ACCESS ROADS PROVIDED AT THE START OF A PROJECT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION (NFPA 1, 16.1.4).
- A SECOND ENTRANCE / EXIT MIGHT BE REQUIRED PER AHJ IF THE RESPONSE TIME FOR EMERGENCY IS EXCEEDED PER NFPA 1, SECTION 18.2.3.3 MULTIPLE ACCESS ROADS.
- A WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ACCUMULATES. THIS APPLIES TO BOTH COMMERCIAL AND RESIDENTIAL DEVELOPMENTS (NFPA 1, 16.4.3.1).
- WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED AND IN SERVICE PRIOR TO CONSTRUCTION WORK. (NFPA 1, 16.4.3.1.3)
- FIRE FLOW TESTING SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 291, RECOMMENDED PRACTICE FOR FIRE FLOW TESTING.
- A 36 IN. CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS AND A CLEAR SPACE OF NOT LESS THAN 60 IN. (1524 MM) SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 212 IN. (NFPA 1, 18.5.7)
- HYDRANT SHALL BE MARKED WITH A BLUE REFLECTOR THAT IS PLACED 6 IN THE ROADWAY IN ACCORDANCE WITH NFPA 1, CHAPTER 18.5.10
- ACCESS TO CATED SUBMERSIONS OR DEVELOPMENTS SHALL PROVIDE FIRE DEPARTMENT ACCESS THROUGH AN APPROVED SOS AND SEMINOLE COUNTY KNOX KEY SWITCH. (NFPA 1, 18.2.2.2).

SITE PLAN



LINE	BEARING	DISTANCE
L1	S00°41'10"E	11.94'
L2	S89°21'32"W	6.77'

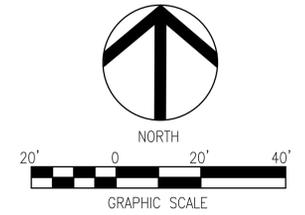
PLAN NOTES

- ADA PARKING, STRIPING & ACCESS AISLE (1 CS)
- ADA PARKING SIGN (2 CS)
- PAVEMENT MARKING (PAINT) (3 CS)
- CROSSWALK STRIPING (PAINT) (3 CS)
- 4" WHITE STRIPING (3 CS)
- 6" WHITE STRIPING (3 CS)
- 24" WIDE STOP BAR (PAINT) (3 CS)
- "STOP" SIGN (R1-1 36") (3 CS)
- "DO NOT ENTER" SIGN (R5-1 30") (3 CS)
- 6" VERTICAL CURB (12 CS)
- CONCRETE WALK WITH SCORE MARKS AND EXPANSION JOINTS (15 CS)
- ACCESSIBLE END RAMP (6 CS)
- ACCESSIBLE CORNER RAMP (5 CS)
- DOUBLE SIDEWALK RAMP (17 CS)
- BLACK CONCRETE APRON (18 CS)
- DUMPSTER ENCLOSURE (REFER TO ARCHITECTURAL PLANS) (18 CS)
- WHEEL STOPS (9 CS)
- BOLLARD (7 CS)
- TRANSFORMER PAD (18 CS)
- 7" THICK BLACK INTEGRAL CONCRETE REINFORCED WITH WELDED WIRE MESH PER STARBUCKS SPECIFICATIONS (19 CS)
- STAMPED, STAINED AND SEALED CONCRETE SURFACE SEATING AREA (REFER TO ARCHITECTURAL PLANS) (19 CS)
- 3'-0" HIGH PATIO RAILING (REFER TO ARCHITECTURAL PLANS) (19 CS)
- DRIVE-THRU MENU BOARD, SPEAKER BOX AND AWNING (REFER TO ARCHITECTURAL PLANS) (19 CS)
- PREVIEW MENU BOARD (REFER TO ARCHITECTURAL PLANS) (19 CS)
- CLEARANCE BAR (REFER TO ARCHITECTURAL PLANS) (19 CS)
- EXISTING MONUMENT SIGN TO REMAIN. REFACE WITH STARBUCKS LOGO. (19 CS)
- STARBUCKS DIRECTIONAL SIGNAGE (REFER TO ARCHITECTURAL PLANS) (19 CS)
- SITE LIGHTING (REFER TO SITE PHOTOMETRIC PLANS) (19 CS)
- EXISTING DRAINAGE STRUCTURE (REFER TO GRADING PLAN, SHEET C3) (19 CS)
- GREASE TRAP (REFER TO UTILITY PLAN, SHEET C2) (19 CS)
- BIKE RACK (4 CS)
- ACCESSIBLE FLARED RAMP (11 CS)
- MONOLITHIC CURB AND SIDEWALK (13 CS)
- TRANSITION CURB (4 CS)
- 3 FT HIGH CONCRETE KNEE WALL (REFER TO ARCHITECTURAL PLANS) (4 CS)
- SIDEWALK RAMP (6 CS)
- DETECTABLE WARNING (1 CS)
- EXISTING WATER STRUCTURE (REFER TO UTILITY PLAN, SHEET C2) (2 CS)
- CURB AND GUTTER (2 CS)
- NEW DRAINAGE STRUCTURE (REFER TO GRADING AND DRAINAGE PLAN, SHEET C3) (2 CS)
- BENCH ON CONCRETE PAD. CONTRACTOR SHALL COORDINATE WITH OWNER FOR SPECIFICATIONS. (2 CS)

CONTRACTOR'S NOTE:
CONTRACTOR SHALL PROVIDE A COMPREHENSIVE AS-BUILT SURVEY FOR THE PROJECT AS REQUIRED BY THE GOVERNING AGENCY. CONTACT THE ENGINEER OF RECORD FOR THE REQUIREMENTS OF THE AS-BUILT SURVEY.

FDOT NOTE:
ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFORM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS (INDEXES), THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FDOT UTILITY ACCOMMODATION MANUAL.

ALL SIDEWALK ALONG THE FRONTAGE OF THE PROPERTY IN FDOT RIGHT OF WAY MUST BE TURNED OVER TO FDOT MEETING ADA STANDARDS AND UNBROKEN. CONTRACTOR MUST MAKE REPAIR TO ANY SIDEWALK NOT MEETING ADA STANDARDS.



REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS AND LEGENDS IN ADDITION TO SITE SPECIFIC NOTES AND REQUIREMENTS.

Z DEVELOPMENT
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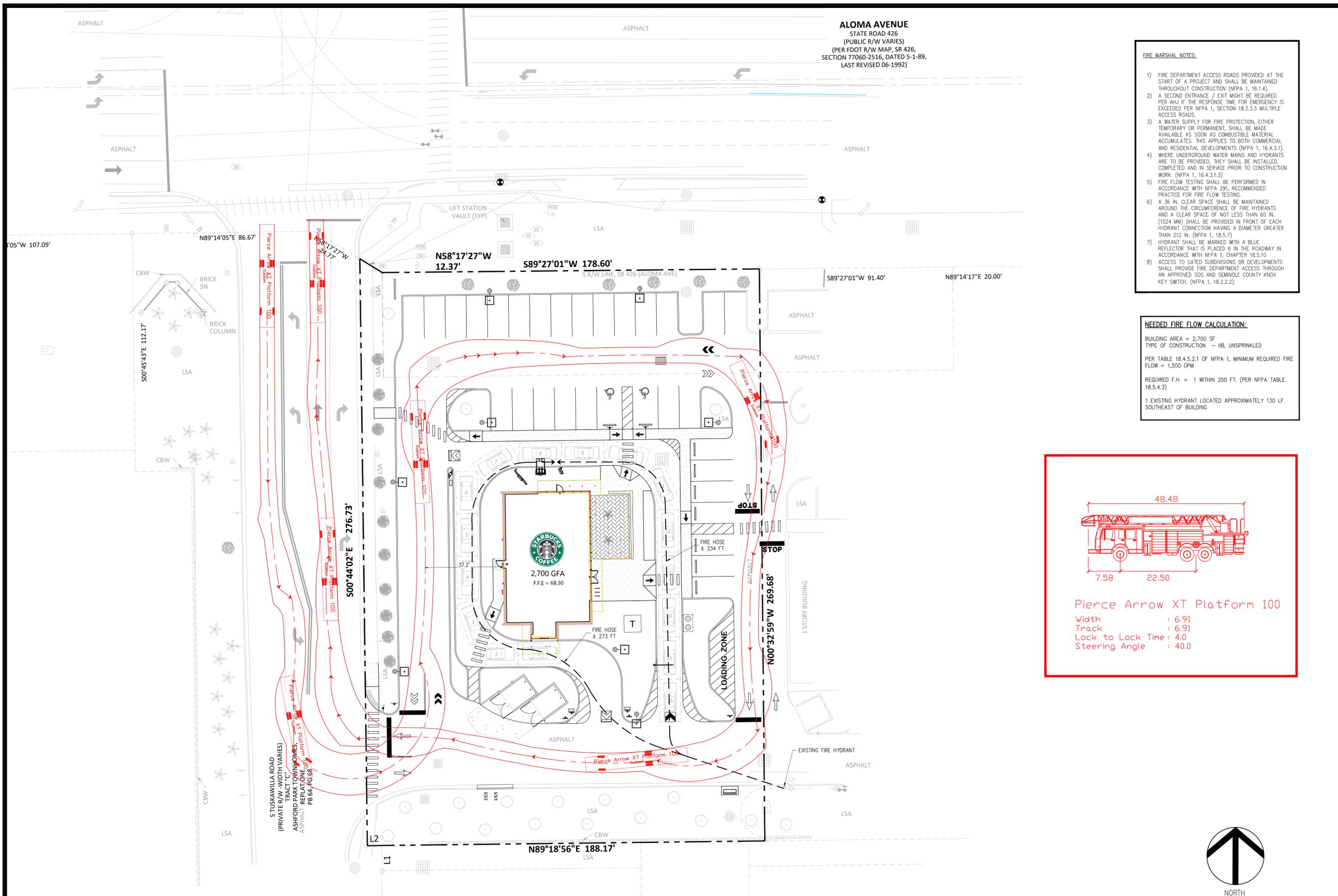
REVISION	DATE	REVISION	DATE
1	06-08-23	1	06-08-23
2	06-28-23	2	06-28-23
3	08-10-23	3	08-10-23

STARBUCKS RESTAURANT
3645 ALOMA AVE
OVIEDO
FLORIDA 32765

DATE: 05-05-23
DRAWN: LF
CHECKED: SC

C1
SITE PLAN

PROJECT NO.: 2023.103

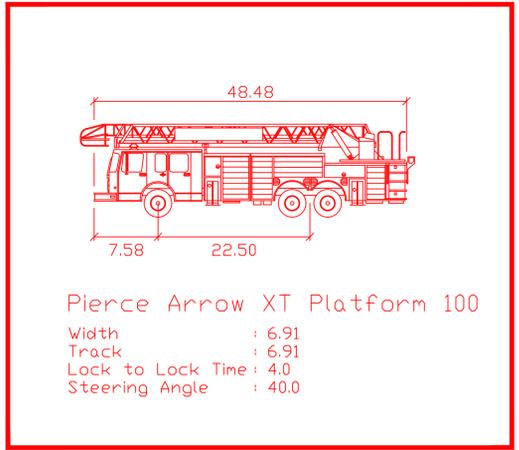


ALOMA AVENUE
 STATE ROAD 426
 (PUBLIC R/W VARIES)
 (PER FDOT R/W MAP, SR 426,
 SECTION 77060-2516, DATED 5-1-89,
 LAST REVISED 06-1992)

- FIRE MARSHAL NOTES:**
- 1) FIRE DEPARTMENT ACCESS ROADS PROVIDED AT THE START OF A PROJECT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION (NFPA 1, 16.1.4).
 - 2) A SECOND ENTRANCE / EXIT MIGHT BE REQUIRED PER AHJ IF THE RESPONSE TIME FOR EMERGENCY IS EXCEEDED PER NFPA 1, SECTION 18.2.3.3 MULTIPLE ACCESS ROADS
 - 3) A WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ACCUMULATES. THIS APPLIES TO BOTH COMMERCIAL AND RESIDENTIAL DEVELOPMENTS (NFPA 1, 16.4.3.1).
 - 4) WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED AND IN SERVICE PRIOR TO CONSTRUCTION WORK. (NFPA 1, 16.4.3.1.3)
 - 5) FIRE FLOW TESTING SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 291, RECOMMENDED PRACTICE FOR FIRE FLOW TESTING.
 - 6) A 36 IN. CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS AND A CLEAR SPACE OF NOT LESS THAN 60 IN. (1524 MM) SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 212 IN. (NFPA 1, 18.5.7)
 - 7) HYDRANT SHALL BE MARKED WITH A BLUE REFLECTOR THAT IS PLACED 6 IN THE ROADWAY IN ACCORDANCE WITH NFPA 1, CHAPTER 18.5.10
 - 8) ACCESS TO GATED SUBDIVISIONS OR DEVELOPMENTS SHALL PROVIDE FIRE DEPARTMENT ACCESS THROUGH AN APPROVED SOS AND SEMINOLE COUNTY KNOX KEY SWITCH. (NFPA 1, 18.2.2.2).

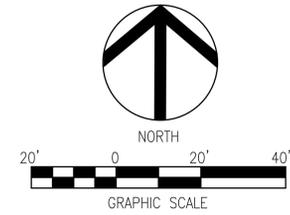
NEEDED FIRE FLOW CALCULATION:

BUILDING AREA = 2,700 SF
 TYPE OF CONSTRUCTION - IIB, UNSPRINKLED
 PER TABLE 18.4.5.2.1 OF NFPA 1, MINIMUM REQUIRED FIRE FLOW = 1,500 GPM
 REQUIRED F.H. = 1 WITHIN 250 FT. (PER NFPA TABLE 18.5.4.3)
 1 EXISTING HYDRANT LOCATED APPROXIMATELY 130 LF SOUTHEAST OF BUILDING



FIRE TRUCK TURN PLAN

LINE	BEARING	DISTANCE
L1	S00°41'10"E	11.94'
L2	S89°21'32"W	6.77'



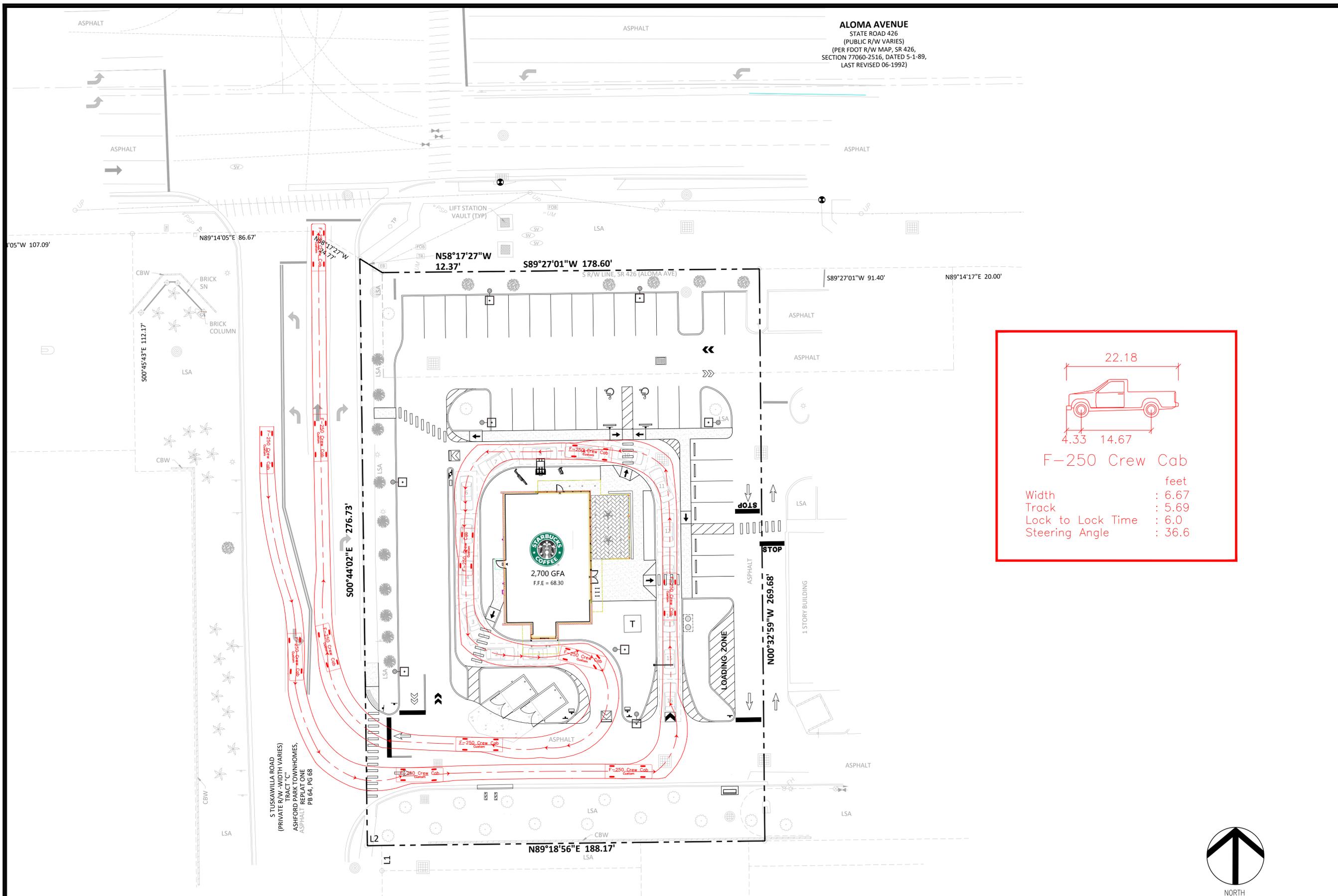
Z DEVELOPMENT
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REVISION	DATE	REVISION	DATE
1	06-28-23		

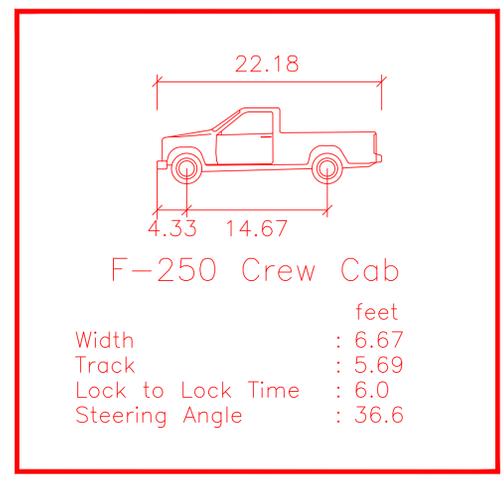
SARAH CULOTTA, P.E.
 FL REG # 87413

STARBUCKS RESTAURANT
 3645 ALOMA AVE
 OVIEDO
 FLORIDA 32765

DATE: 05-05-23
 DRAWN: LF
 CHECKED: SC
C1.1
 FIRE TRUCK TURN
 PLAN
 PROJECT NO.: 2023.103

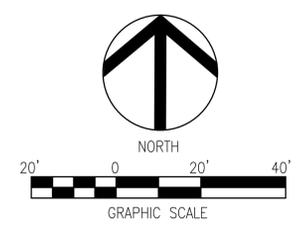


ALOMA AVENUE
 STATE ROAD 426
 (PUBLIC R/W VARIES)
 (PER FDOT R/W MAP, SR 426,
 SECTION 77060-2516, DATED 5-1-89,
 LAST REVISED 06-1992)



F250 TRUCK TURN PLAN

LINE	BEARING	DISTANCE
L1	S00°41'10"E	11.94'
L2	S89°21'32"W	6.77'



Z DEVELOPMENT
 s e r v i c e s
 CA 29354
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 ORLANDO, FL 32803 FAX: (407) 442-0604

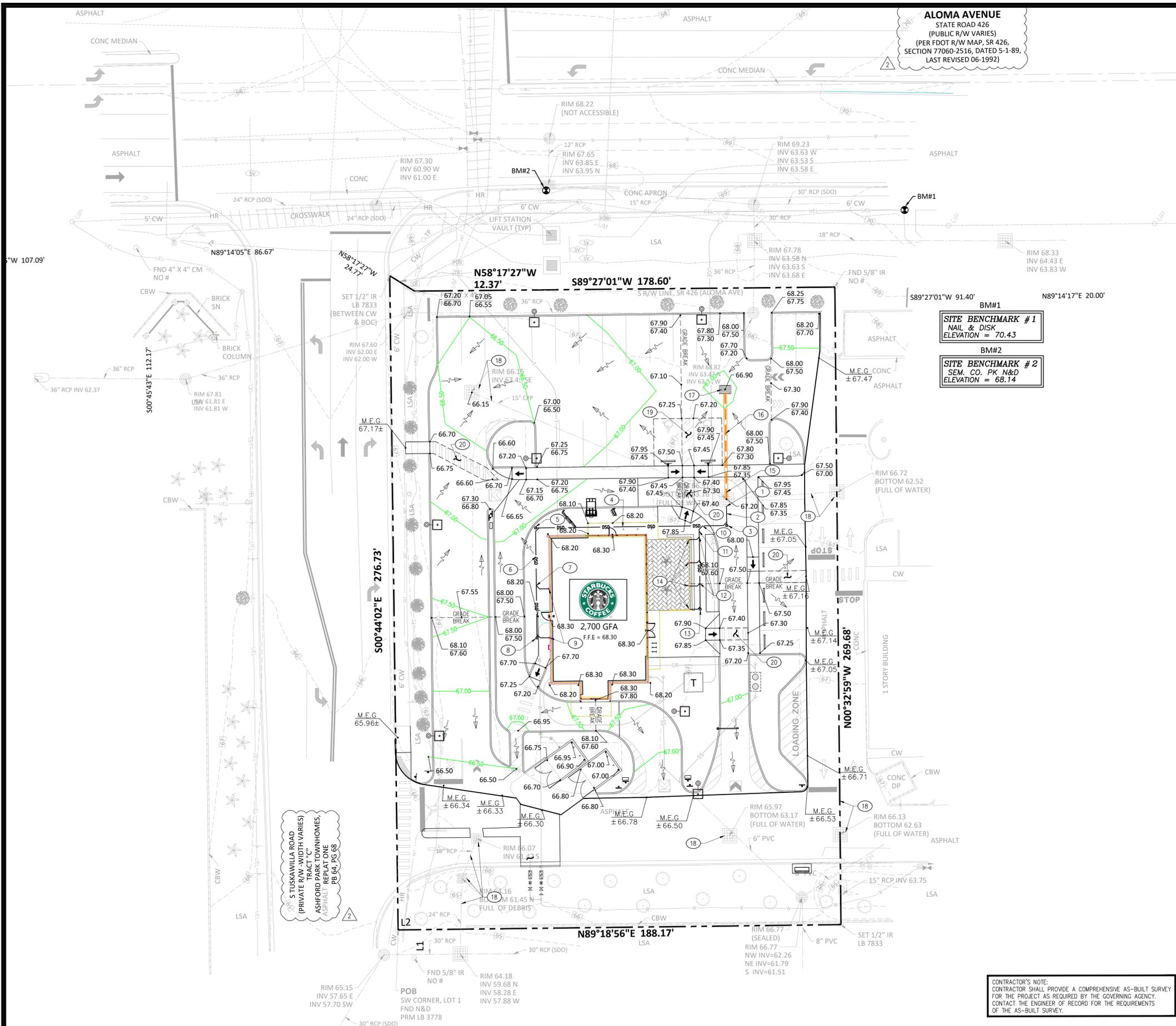
REVISION	DATE	REVISION	DATE
Δ COUNTY COMMENTS	06-28-23		

SARAH CUIOTTA, P.E.
 FL REG # 87413

STARBUCKS RESTAURANT
 3645 ALOMA AVE
 OVIEDO
 FLORIDA 32765

DATE: 05-05-23
 DRAWN: LF
 CHECKED: SC

C1.2
 F250 TRUCK TURN
 PLAN
 PROJECT NO.: 2023.103



ALOMA AVENUE
 STATE ROAD 426
 (PUBLIC R/W VARIES)
 (PER FDOT R/W MAP, SR 426,
 SECTION 77060-2516, DATED 5-1-89,
 LAST REVISED 06-1992)

GRADING & DRAINAGE NOTES

- NOTE: CONTRACTOR SHALL LAY PIPING BEGINNING AT THE LOW POINT OF THE SYSTEM (CONNECTION TO OFFSITE SYSTEM).
- CORE DRILL AND CONNECT TO EXISTING STORMWATER INLET @ INV. ELEV. = 63.20
 RAISE RIM ELEV. FROM 66.51' TO 67.20'
 - 9 LF - 8" PVC @ 1.0% SLOPE (101/66) TYP.
 - CLEANOUT @ INV. ELEV. = 63.29' (9/65) TYP.
 - 81 LF - 8" PVC @ 1.0% SLOPE
 - CLEANOUT @ INV. ELEV. = 64.10'
 - 46 LF - 8" PVC @ 1.0% SLOPE
 - 8" X 6" WYE CONNECTION @ INV. ELEV. = 64.35'
 - CLEANOUT @ INV. ELEV. = 64.56'
 - 6 LF - 6" PVC @ 1.0% SLOPE MIN. (2 PLACES).
 CONNECT TO BUILDING STUB-OUT @ INV. ELEV. = 64.60
 - 8" X 8" WYE CONNECTION @ INV. ELEV. = 63.39'
 - 35 LF - 8" PVC @ 1.7% SLOPE
 - CLEANOUT @ INV. ELEV. = 64.00'
 - 5 LF - 3" PVC @ 1.0% SLOPE MIN. (4 PLACES).
 CONNECT TO BUILDING STUB-OUT @ INV. ELEV. = 64.10
 - CORE DRILL AND CONNECT TO EXISTING STORMWATER INLET @ INV. ELEV. = 63.30
 - 45 LF - 15" HDPE @ 1.0% SLOPE
 - FDOT TYPE F INLET #1 (3/65.1)
 TOP OF FRAME = 66.90
 S. INV. = 63.75
 - EXISTING STORMWATER INLET AND / OR PIPE TO REMAIN
 - ACCESSIBLE ZONE - MAX 2.0% SLOPE IN ANY DIRECTION
 - ACCESSIBLE ROUTE - MAX 2.0% CROSS SLOPE AND / OR 5.0% RUNNING SLOPE

FDOT NOTES:

- ALL CONSTRUCTION IN FDOT R.O.W SHALL CONFORM TO THE LATEST FDOT STANDARD PLANS AND FDOT STANDARD SPECIFICATIONS
- ALL DISTURBED AREAS IN FDOT R.O.W SHALL BE SODDED

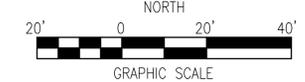
ALL ELEVATIONS SHOWN HEREON ARE BASED ON BENCHMARK DESIGNATION 4715101, BEING: 68,148 FEET, (NAVD 1988), PUBLISHED BY SEMINOLE COUNTY, FLORIDA

SITE BENCHMARK # 1
 NAIL & DISK
 ELEVATION = 70.43

SITE BENCHMARK # 2
 SEM. CO. PK N&D
 ELEVATION = 68.14

CONTRACTOR'S NOTE:
 CONTRACTOR SHALL PROVIDE A COMPREHENSIVE AS-BUILT SURVEY FOR THE PROJECT AS REQUIRED BY THE GOVERNING AGENCY. CONTACT THE ENGINEER OF RECORD FOR THE REQUIREMENTS OF THE AS-BUILT SURVEY.

REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS AND LEGENDS IN ADDITION TO SITE SPECIFIC NOTES AND REQUIREMENTS.



GRADING AND DRAINAGE PLAN

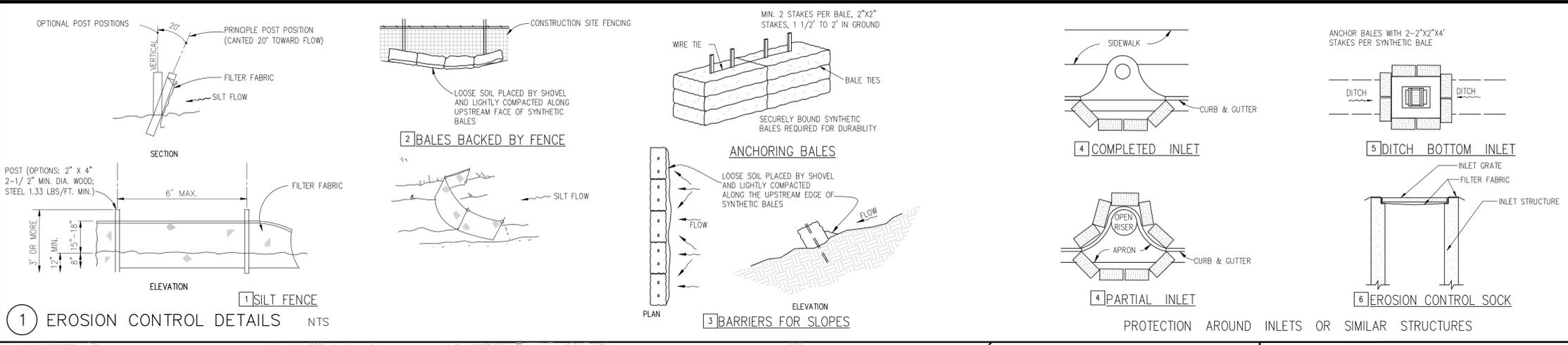
Z DEVELOPMENT
 s e r v i c e s
 CA 29354
 708 E. COLONIAL DR., STE 100
 ORLANDO, FL 32803
 PH: (407) 271-8910
 FAX: (407) 442-0604

REVISION	DATE	REVISION	DATE
1	06-28-23		

SARAH CULOTTA, P.E.
 FL REG # 87413

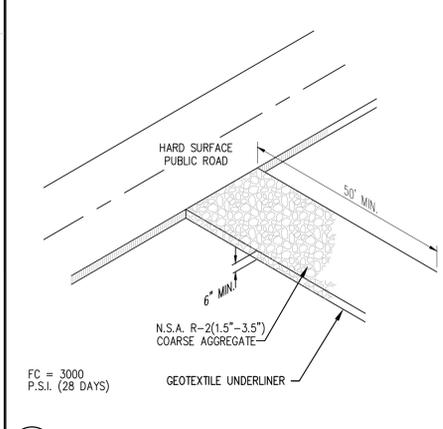
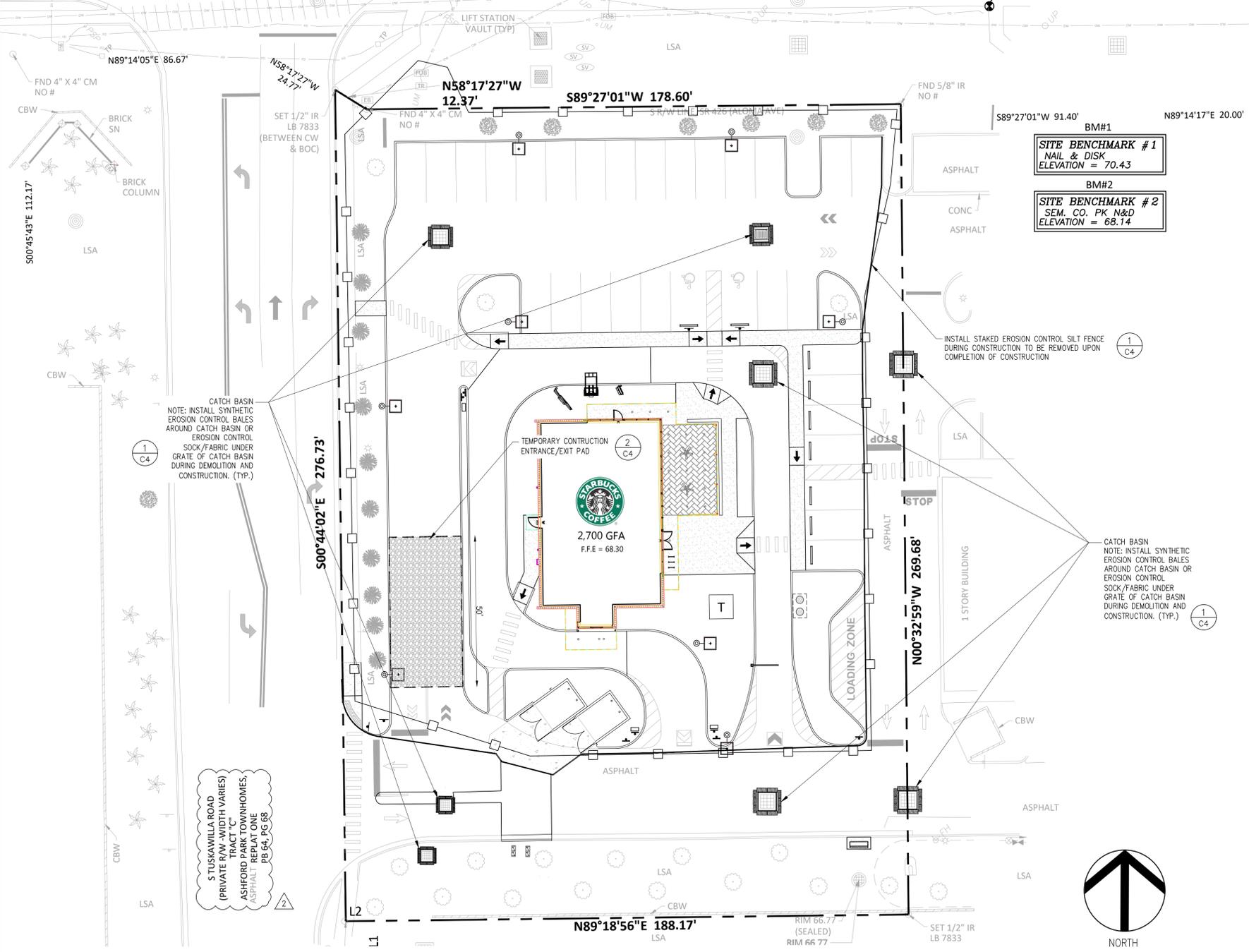
STARBUCKS RESTAURANT
 3645 ALOMA AVE
 OVIEDO
 FLORIDA 32765

DATE: 05-05-23
 DRAWN: LF
 CHECKED: SC
C3
 SITE GRADING AND DRAINAGE PLAN
 PROJECT NO.: 2023.103



POLLUTION CONTROL NOTES

- ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH LOCAL CITY/COUNTY AND WATER MANAGEMENT DISTRICT SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONS OF SITE PERMITS.
 - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN, CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
 - ALL AREAS AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
 - THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
 - PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET THE REQUIREMENTS OF LOCAL SPECIFICATIONS.
 - THE CONTRACTOR SHALL SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR CONSTRUCTION AND STABILIZE ANY POTENTIAL EROSION AREAS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.
 - CONTRACTOR SHALL KEEP ANY AND ALL SAND, SILT OR OTHER DEBRIS FROM MOVING OFF-SITE. USE AND MAINTAIN SILT FENCE JUST INSIDE OF PROPERTY LINE.
 - CONTRACTOR SHALL BLOCK INTRUSION OF SAND, SILT OR OTHER DEBRIS INTO ANY DRAINAGE OR SANITARY SEWER STRUCTURE OR PIPING ON OR ADJACENT TO SITE.
 - ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
 - FOR ADDITIONAL INFORMATION AND DETAILS, SEE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL MANUAL.
 - UNLESS SPECIFIED, SILT FENCES MAY BE USED IN LIEU OF HAY BARRIERS.
 - ADDITIONAL POSTS AND RAILS MAY BE NECESSARY TO SECURE AND SUPPORT BARRIERS.
 - ADDITIONAL BARRIER LENGTHS MAY BE REQUIRED BY THE COUNTY ENGINEER OR BY REGULATORY AGENCIES.
 - FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR HAY BALES, UNTIL THE LIMEROCK BASE IS FINISHED AND PRIMED.
 - THE CONTRACTOR IS REQUIRED TO HAVE THIS PLAN ALONG WITH A COPY OF THE NPDES NOTICE OF INTENT POSTED IN A VISIBLE LOCATION ON THE CONSTRUCTION SITE AT ALL TIMES.
 - CONTRACTOR IS REQUIRED BY NPDES TO KEEP A LOG ON SITE FOR THE SOIL EROSION AND SEDIMENT CONTROL MEASURES INDICATED ON THE PLAN. THE LOG SHALL CONTAIN DATES FOR: INSTALLATION OF CONTROL MEASURES, MAJOR SITE CONSTRUCTION ACTIVITIES, INSPECTION ON AT LEAST A WEEKLY BASIS AND INSPECTION AFTER ANY RAINFALL EVENT THAT IS 1/2" OR GREATER.
 - THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF TERMINATION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION UPON THE COMPLETION OF CONSTRUCTION.
 - CONTRACTOR SHALL RETAIN ALL RECORDS FOR A PERIOD OF THREE YEARS FOLLOWING THE NOTICE OF TERMINATION.
 - NON STORMWATER DISCHARGES SUCH AS FIRE HYDRANT FLUSHING, ETC SHALL BE DISCHARGED TO EXISTING UNDERGROUND STORMWATER FLOW OR ON SITE RETENTION POND.
 - ANY POTENTIALLY HAZARDOUS CHEMICALS BROUGHT ONTO THE JOB SITE WILL BE LIMITED AND KEPT IN ORIGINAL CONTAINER WITH MSDS LABEL.
 - NO SILT SHALL BE TRACKED ONTO PUBLIC ROADWAYS. ANY SILT DEPOSITED ON PUBLIC ROADWAYS SHALL BE REMOVED BY THE END OF THE WORK DAY.



2 CRUSHED STONE CONSTRUCTION EXIT

TOTAL AREA (SF) (AC)	*DISTURBED AREA (SF) (AC)	UNDISTURBED AREA (SF) (AC)	IMPERVIOUS* AREA (SF) (AC)	PERVIOUS* AREA (SF) (AC)
50,940 SF 1.17 AC	50,940 SF 1.17 AC	0	37,510 SF 0.86 AC	13,430 SF 0.31 AC

*IMPERVIOUS + PERVIOUS = DISTURBED

Stormwater Pollution Prevention Plan Inspection Report Form

Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

Project Name: _____
FDEP NPDES Stormwater Identification Number: _____

LOCATION	RAIN DATA	TYPE OF CONTROL	DATE INSTALLED	CURRENT CONDITION / CORRECTIVE ACTION

Condition Code:
G = Good M = Marginal, needs maintenance or replacement soon
P = Poor, needs immediate maintenance or replacement C = Needs to be cleaned
O = Other

Control Type Codes

1. Silt Fence	10. Storm drain inlet protection	19. Reinforced soil retaining system
2. Earth dikes	11. Vegetative buffer strip	20. Gabion system
3. Structural diversion	12. Vegetative preservation area	21. Sediment Basin
4. Swale	13. Retention Pond	22. Temporary seed / sod
5. Sediment Trap	14. Construction entrance stabilization	23. Permanent seed / sod
6. Check dam	15. Perimeter ditch	24. Mulch
7. Subsurface drain	16. Curb and gutter	25. Hay Bales
8. Pipe slope drain	17. Paved road surface	26. Geotextile
9. Level spreaders	18. Rock outlet protection	27. Rip-rap
28. Tree protection	31. Waste disposal/housekeeping	33. Sand Bag
29. Detention pond	32. Dam	34. Other
30. Retention pond		

Inspector Information:
Name: _____ Date: _____
Qualification: _____
The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non-compliance identified above.

Name (Responsible Authority) Date: _____
NOTE: THIS EXAMPLE INSPECTION LOG IS GIVEN FOR REFERENCE PURPOSES. THIS OR A SIMILAR FORM IS REQUIRED PER NOTE 16.

CONTRACTOR(S) AND SUBCONTRACTOR(S) THAT IMPLEMENT ANY PART OF THE EROSION/POLLUTION CONTROL MEASURES REQUIRED BY THE NPDES PERMIT SHALL SIGN BELOW:

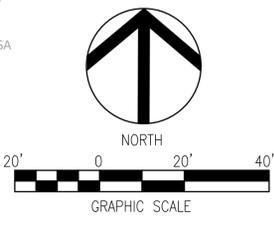
Name	Title	Company Name, Address & phone number	Date

ENGINEER'S CERTIFICATION:
I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

OWNER/AGENT CERTIFICATIONS:
I HAVE REVIEWED THIS PLAN AND AGREE TO COMPLY WITH THE REQUIREMENTS SHOWN HEREON.

OWNER/AUTHORIZED REPRESENTATIVE Date: _____

STORMWATER POLLUTION PREVENTION PLAN



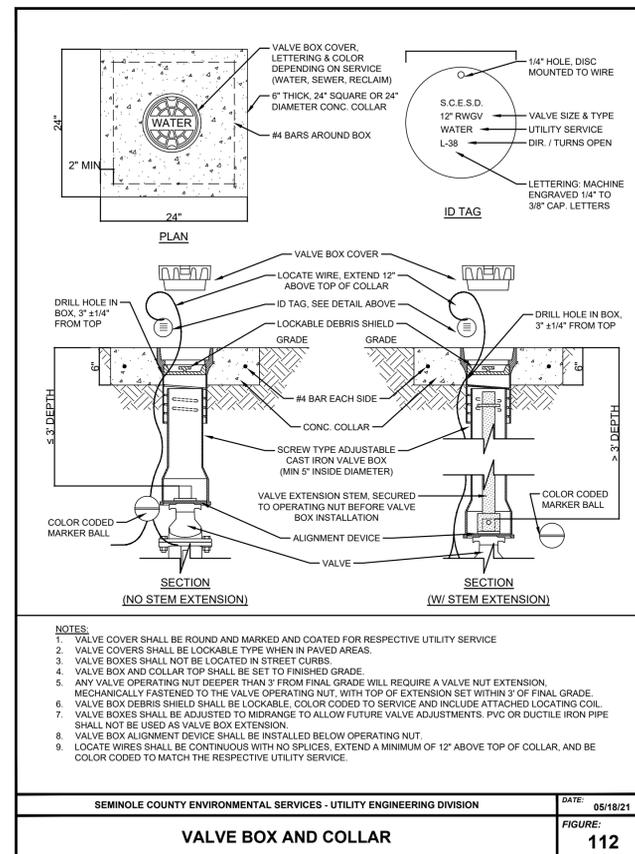
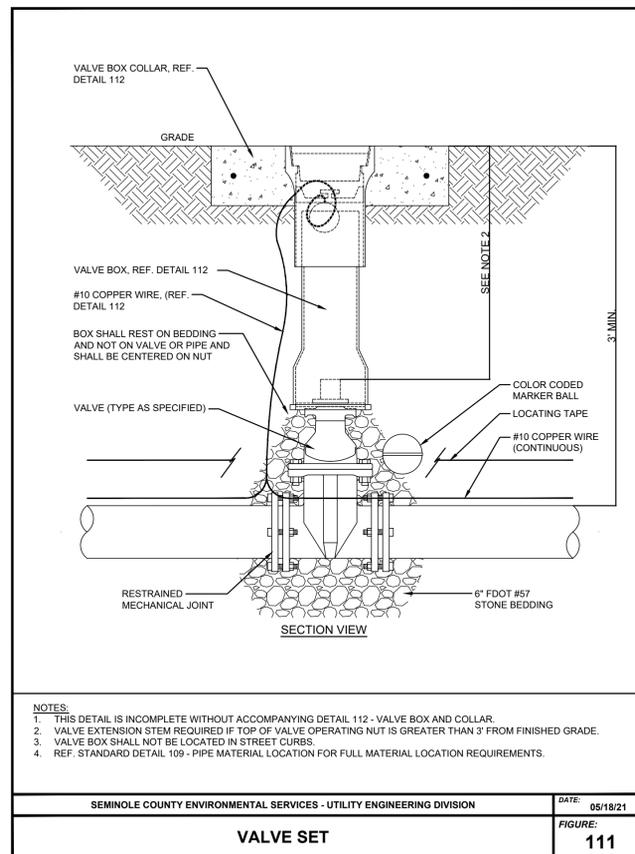
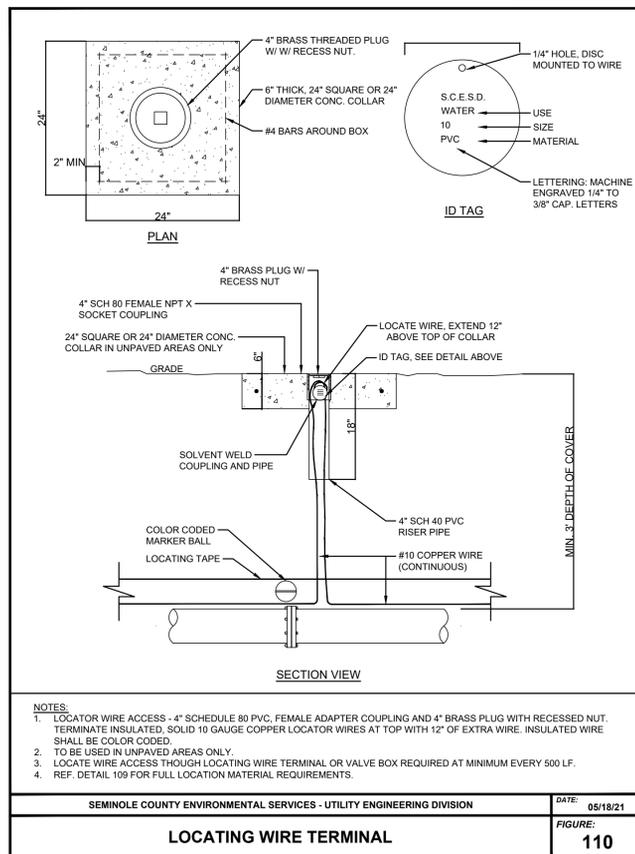
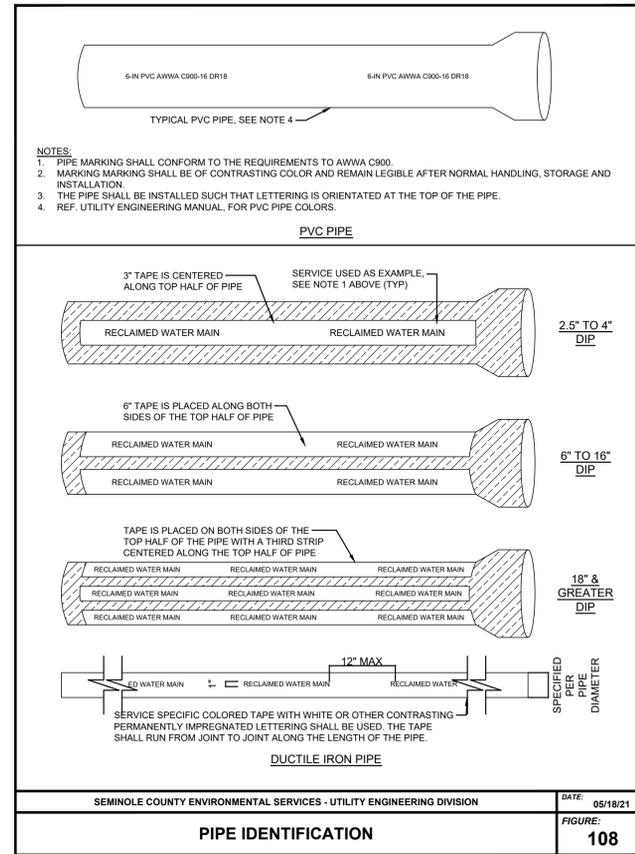
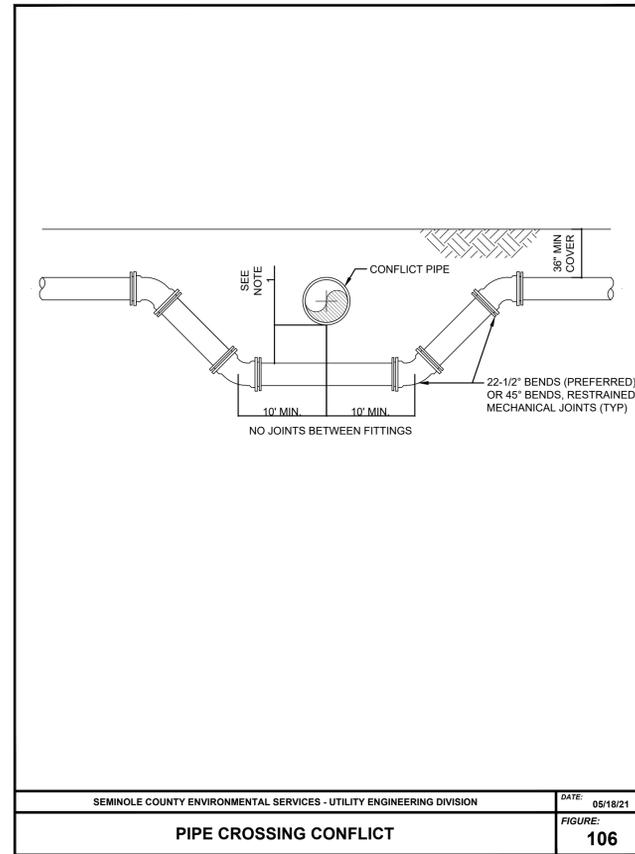
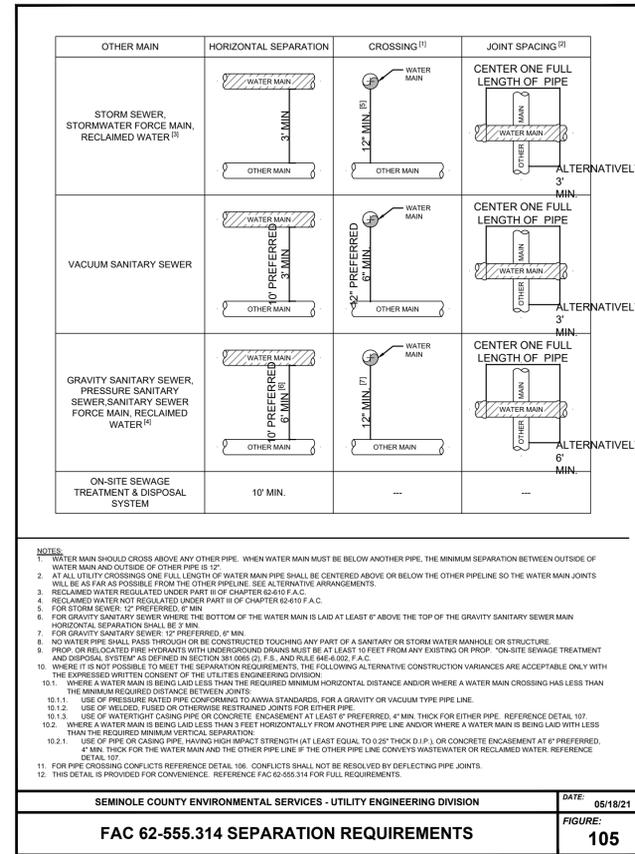
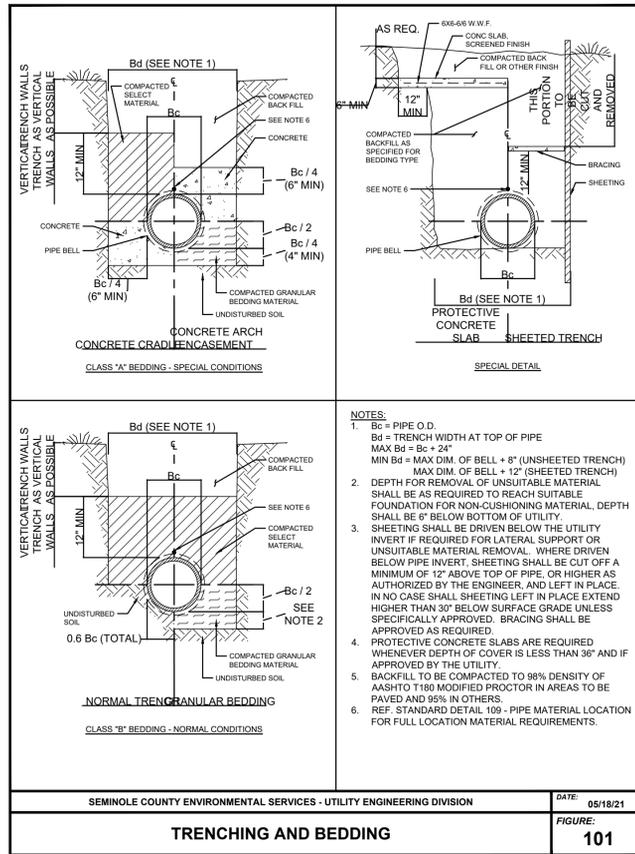
Z DEVELOPMENT
e r v i c e s
CA 29354
708 E. COLONIAL DR., STE 100
ORLANDO, FL 32803
PH: (407) 271-8910
FAX: (407) 442-0604

DATE	REVISION	COMMENTS
06-28-23	06-28-23	COUNTY COMMENTS

STARBUCKS RESTAURANT
3645 ALOMA AVE
OVIEDO
FLORIDA 32765

DATE: 05-05-23
DRAWN: LF
CHECKED: SC

C4
STORMWATER POLLUTION PREVENTION PLAN
PROJECT NO.: 2023.103



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s e r v i c e s
CA 29354

DATE: _____
REVISION: _____

708 E. COLONIAL DR., STE 100
ORLANDO, FL 32803
PH: (407) 271-8910
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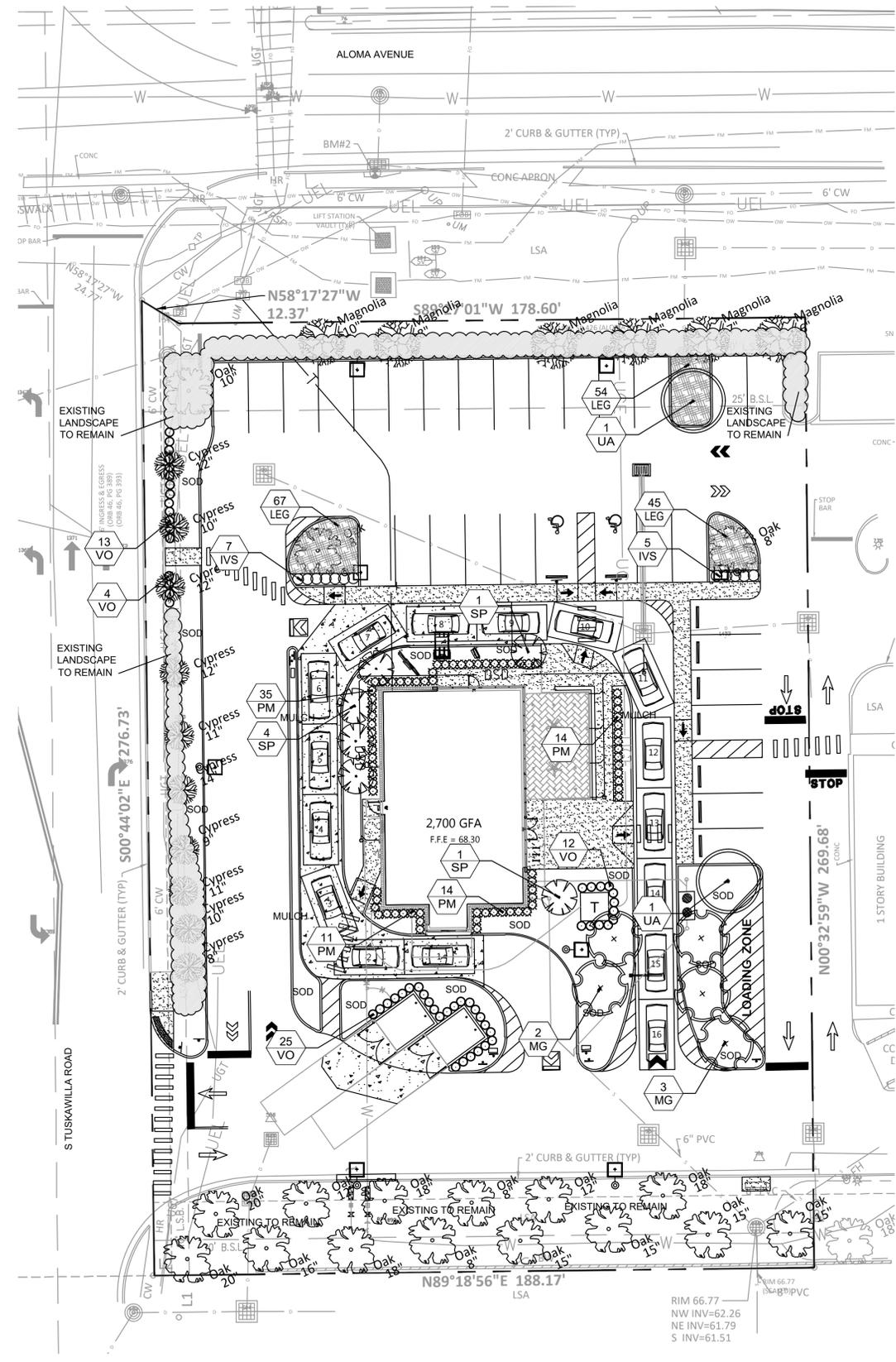
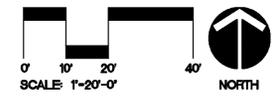
STARBUCKS RESTAURANT
3645 ALOMA AVE
OVIEDO
FLORIDA 32765

DATE: 05-05-23
DRAWN: LF
CHECKED: SC

C6
SEMINOLE COUNTY
DETAILS
PROJECT NO.: 2023.103

OPEN SPACE REQUIREMENT: PLAN PROVIDES FOR 26.4% OPEN SPACE WITH A BENCH LOCATED IN THE SOUTHEAST CORNER OF THE PROPERTY, IN SHADED AREA.

NOTE: ANY LANDSCAPING DISTURBED DURING CONSTRUCTION WILL BE SUPPLEMENTED TO PROVIDE WHAT WAS EXISTING PRIOR (4 CANOPY TREES PER 100' LINEAR FEET AND A 3' CONTINUOUS HEDGE).



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 Florida Landscape Architecture Firm
 432 Nowell Loop
 Deland, FL 32724
 Office: 407 310-5567
 Florida Water Star AP
 jasonbridgewater@gmail.com
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IT'S THE LAW IN FLORIDA
 FLORIDA LAW REQUIRES
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 FACILITIES NO LESS THAN TWO
 (2) DAYS PRIOR TO EXCAVATION

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 ORLANDO, FL 32803
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REVISION	DATE	REVISION	DATE
COUNTY COMMENTS	7/24/23		

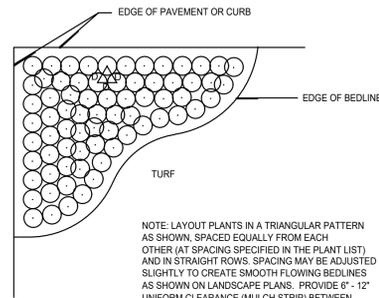
DATE: 2023-08-13

 Jason P. Bridgewater
 Registered Landscape Architect
 FL Registration - LA 6667308

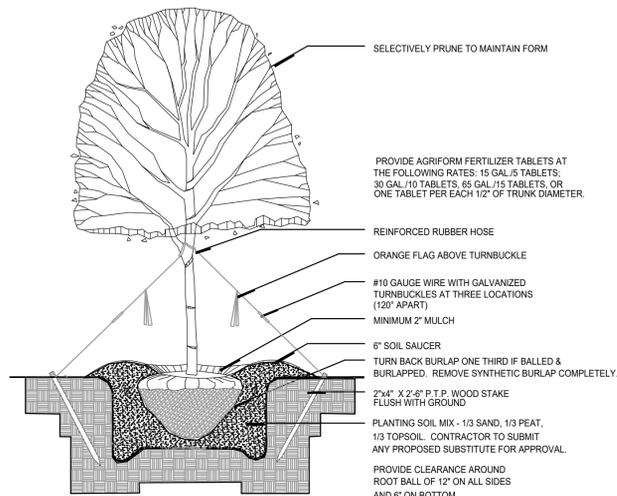
STARBUCKS RESTAURANT
3645 ALOMA AVE
OVIEDO
FLORIDA 32765

DATE: 2023-05-15
 DRAWN: JB
 CHECKED: JB

L-2
LANDSCAPE PLAN
 PROJECT NO.: 2023.103



SHRUB/GROUNDCOVER SPACING DETAIL
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE

PROVIDE AGRIFORM (20-10-5) FERTILIZER TABLETS AT THE FOLLOWING RATES:
3 GAL / 2 TABLETS; 1 GAL / 1 TABLET.

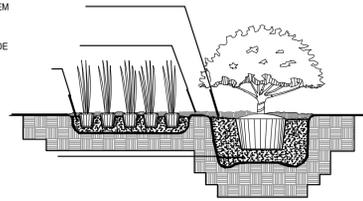
PROVIDE 6" MINIMUM CLEARANCE AROUND ROOT BALL (SIDES AND BOTTOM).

2" MULCH MINIMUM - DO NOT COVER MAIN STEM

SET TOP OF ROOTBALL 1" ABOVE FINISH GRADE

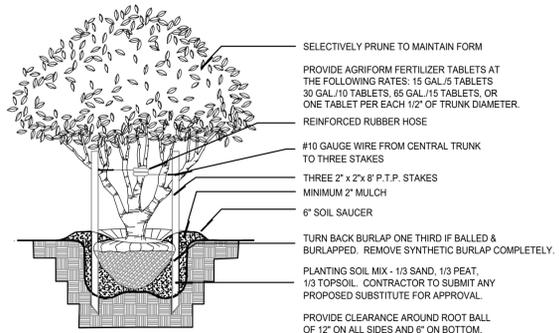
12" MINIMUM DEPTH OF PLANTING SOIL MIX IN SHRUB/GROUNDCOVER PLANTING BEDS.

PLANTING SOIL MIX - 1/3 SAND, 1/3 PEAT, 1/3 TOPSOIL. CONTRACTOR TO SUBMIT ANY PROPOSED SUBSTITUTE FOR APPROVAL.



SHRUB AND GROUNDCOVER PLANTING DETAIL

NOT TO SCALE



MULTI-TRUNK TREE PLANTING DETAIL

NOT TO SCALE

LANDSCAPE PLANTING NOTES:

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL FREE OF PESTS AND DISEASES.
2. ALL PLANTS SHALL BE FLORIDA NO. 1 OR BETTER, AS GRADED IN FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
3. ALL PLANTS ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER BEFORE, DURING, AND AFTER INSTALLATION.
4. ALL SINGLE-TRUNKED TREES SHALL BE STRAIGHT TRUNKED WITH ONE CENTRAL LEADER AND HAVE A FULL, DENSE CROWN.
5. ALL TREES SHALL BE STAKED AND GUYED AS SHOWN IN PLANTING DETAILS.
6. ALL MULCH PLANTING AREAS SHALL BE A MINIMUM OF 2" IN DEPTH.
7. ALL PLANTING AREAS SHALL HAVE A MINIMUM OF 3" TOPSOIL.
8. ALL TREES SHALL BE FREE OF OPEN WOUNDS AND WOUND SCARS IN THE CLEAR TRUNK AREA.
9. ANY SYNTHETIC BURLAP AND/OR WIRE BASKETS MUST BE TOTALLY REMOVED PRIOR TO INSTALLATION OF PLANT MATERIAL. IF NATURAL BURLAP IS USED, IT MAY BE TURNED DOWN 1/3 OF THE ROOTBALL.

LANDSCAPE CONTRACTOR NOTES:

1. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING AREAS, UNTIL THE JOB IS ACCEPTED IN FULL BY THE OWNER. "IN FULL" MEANS WATERING, PEST CONTROL, MULCHING, MOWING, FERTILIZING AND RESETTING TREES THAT ARE OUT OF PLUMB.
2. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL INSTALLED PLANT MATERIAL FOR A PERIOD OF ONE CALENDAR YEAR BEGINNING ON THE DATE OF 100% COMPLETION. ANY AND ALL REQUIRED PLANT REPLACEMENTS SHALL BE MADE PROMPTLY AND AT NO ADDITIONAL COST TO THE OWNER.
3. THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATIONS OF ALL PLANT MATERIAL AND PLANTING BED LINES FOR REVIEW BY THE LANDSCAPE ARCHITECT AND OWNER.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL WRITTEN PLANT QUANTITIES PRIOR TO INITIATION OF THE WORK. IN THE EVENT THAT THE PLANS CONTRADICT THE PLANT LIST, THE PLANS SHALL RULE.
5. THE LANDSCAPE CONTRACTOR SHALL BE FAMILIAR WITH AND ACCEPT THE EXISTING SITE CONDITIONS PRIOR TO INITIATION OF THE WORK. ANY VARIATION FROM THE SPECIFIED WORK SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES, DRAINAGE STRUCTURES, CURBS, SIDEWALKS, AND ANY OTHER OBJECTS WHICH MIGHT BE DAMAGED DURING THE WORK.
7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ANY AND ALL NECESSARY REPAIRS TO DAMAGE CAUSED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.
8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, AND FOLLOWING ALL APPLICABLE LOCAL CODES PERTAINING TO THE PROJECT DURING THE COURSE OF HIS WORK.

PLANT LIST						
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	DESCRIPTION	WATER USE	REMARKS
TREES						
MG	5	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	16-18"x-6" 4" C. ST. LOW WATER USE PARKING LOT TREE / MITIGATION TREE	LOW	SPACE AS SHOWN GUY
SP	6	SABAL PALMETTO	CABBAGE PALM	8' CLEAR TRUNK - HURRICANE CUT PARKING LOT TREE	LOW	SPACE AS SHOWN GUY
UA	2	ULMUS ALATA	WINGED ELM	16-18"x-6" 4" C. ST. LOW WATER USE PARKING LOT TREE / MITIGATION TREE	LOW	SPACE AS SHOWN GUY
SHRUBS						
IVS	12	ILEX VOMITORIA SCHILLINGS	SCHILLINGS DWARF YAUPOH HOLLY	18" HT. x 18" SPRD. / FULL 7 GAL CAN FULL	LOW	30" O.C.
PM	74	PODOCARPUS MACROPHYLLUS	PODOCARPUS HEDGE	30" HT. x 30" SPRD. / FULL 7 GAL CAN FULL	LOW	30" O.C.
VO	54	VIBURNUM ODORATISSIMUM	SWEET VIBURNUM	36" HT. x 30" SPRD. / FULL 7 GAL CAN FULL	LOW	30" O.C.
GROUNDCOVERS						
LEG	166	LIRIOPE MUSCARI "EVERGREEN GIANT"	EVERGREEN GIANT LIRIOPE	1 GAL CAN FULL	LOW	24" O.C.
SOD						
PNO	SEE PLANS	PASPALUM NOTATUM "ARGENTINE"	ARGENTINE BAHIA SOD	SOLID, FREE OF PESTS AND DISEASES DRAINAGE SLOPED AREAS	LOW	FIELD VERIFY QTY.
MULCH						
	SEE PLANS	MINI PINE BARK NUGGETS	MINI PINE BARK NUGGETS	FREE OF DIRT AND DEBRIS		FIELD VERIFY QTY.

LANDSCAPE CODE NOTES:

PARKING LOT LANDSCAPING

31 PARKING SPACES X 30 SQ.FT. = 930 / 200 SQ.FT. = 4.65 X 2 = 9.3 UNDERSTORY TREES REQUIRED IN PARKING AREA

DIGITAL SIGNATURES - THE FOLLOWING REQUIREMENT PERTAINS TO ALL STATE LICENSED PROFESSIONAL ENGINEERS, ARCHITECTS, LANDSCAPE ARCHITECTS, AND PROFESSIONAL SURVEYORS AND MAPPERS: **DIGITAL SIGNATURES MUST CONTAIN A SECURITY CERTIFICATE THAT HAS BEEN ISSUED THROUGH A 3RD PARTY CERTIFICATION AUTHORITY. CERTIFICATES MAY BE PURCHASED THROUGH ANY 3RD PARTY CERTIFICATION AUTHORITY WHOSE CERTIFICATE IS FOR DIGITAL SIGNING OF ELECTRONIC FILES THAT THE SIGNER HAS BEEN PAID TO PRODUCE FOR A CLIENT FOR THE PURPOSE OF APPROVAL OF DEVELOPMENT AND/OR CONSTRUCTION. **THE FOLLOWING VERBIAGE IS REQUIRED TO ACCOMPANY THE DIGITAL SIGNATURE IMAGE AND MUST BE PLACED IN THE AREA WHERE A FILE WOULD NORMALLY BE SIGNED AND SEALED IF IN HARD COPY: 1) THIS FILE HAS BEEN SIGNED ELECTRONICALLY USING A DIGITAL SIGNATURE. 2) PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. FOR SPECIFIC SIGNING REQUIREMENTS, VISIT THE COUNTY DIGITAL SIGNATURE WEB PAGE AT:
[HTTP://WWW.SEMINOLECOUNTYFL.GOV/DEPARTMENTS-SERVICES/DEVELOPMENT-SERVICES/PLANNING-DEVELOPMENT/ELECTRONIC-PLAN-REVIEW/DIGITAL-SIGNATURE.STML](http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/electronic-plan-review/digital-signature.stml)
 IF YOU WOULD LIKE THE COUNTY TO CHECK THAT YOUR DIGITAL SIGNATURE MEETS ALL REQUIREMENTS PRIOR TO SUBMITTING ANY WORK, PLEASE USE THE DIGITAL SIGNATURE DELIVERY FORM AT:
[HTTP://WWW.SEMINOLECOUNTYFL.GOV/DEPARTMENTS-SERVICES/DEVELOPMENT-SERVICES/PLANNING-DEVELOPMENT/ELECTRONIC-PLAN-REVIEW/DIGITAL-SIGNATURE.STML](http://www.seminolecountyfl.gov/departments-services/development-services/planning-development/electronic-plan-review/digital-signature.stml)

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PH: (407) 271-8910
FAX: (407) 442-0604

DATE	REVISION	DATE	REVISION
		7/24/23	

REVISION COUNTY COMMENTS

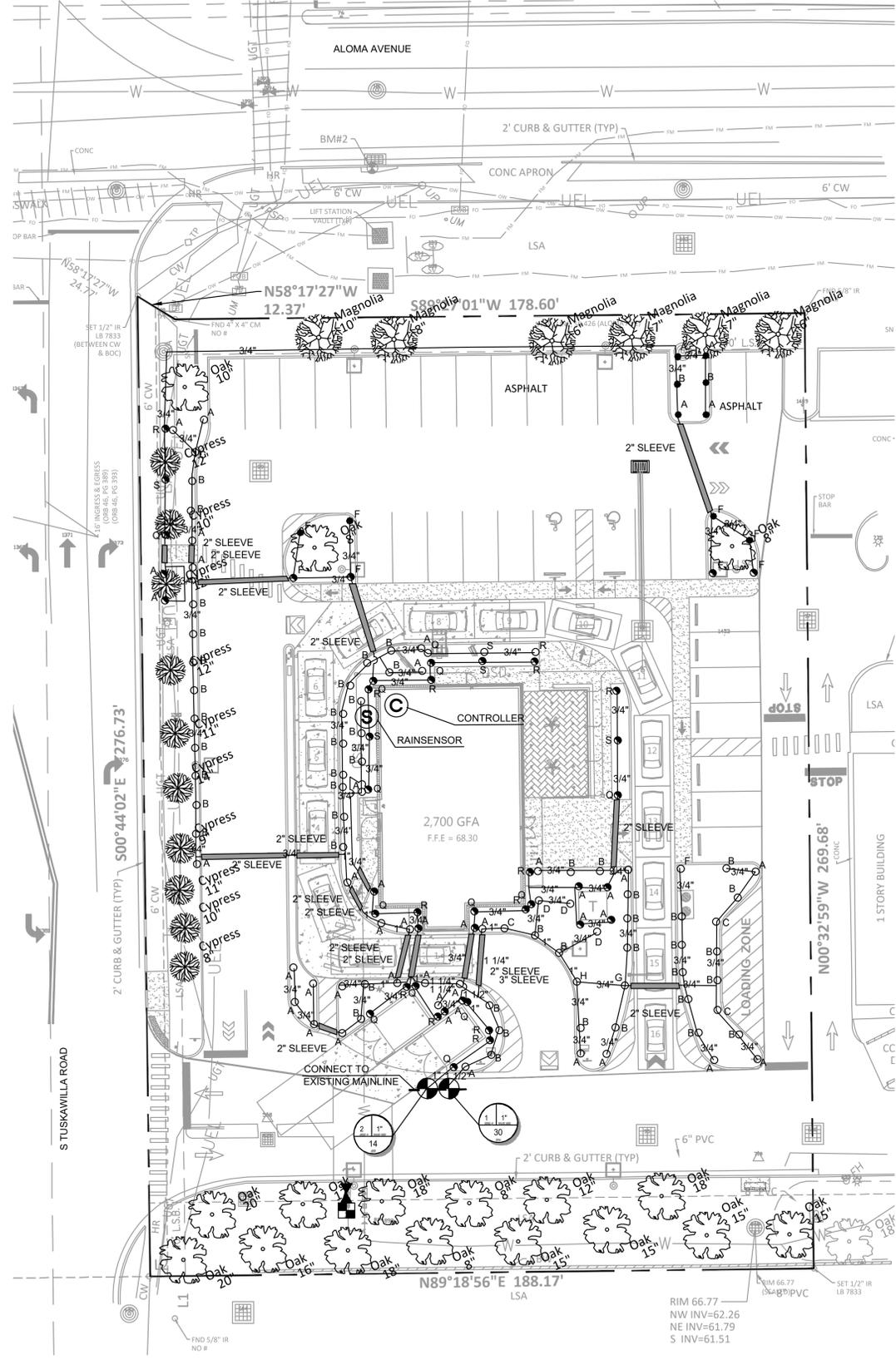
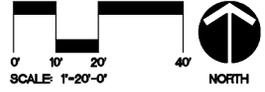
DATE: 2023-08-13

Jason P. Bridgewater
Registered Landscape Architect
FL Registration -LA 6667308

STARBUCKS RESTAURANT
3645 ALOMA AVE
OVIEDO
FLORIDA 32765

DATE: 2023-05-15
DRAWN: JB
CHECKED: JB

L-3
LANDSCAPE
DETAILS
PROJECT NO.: 2023.103



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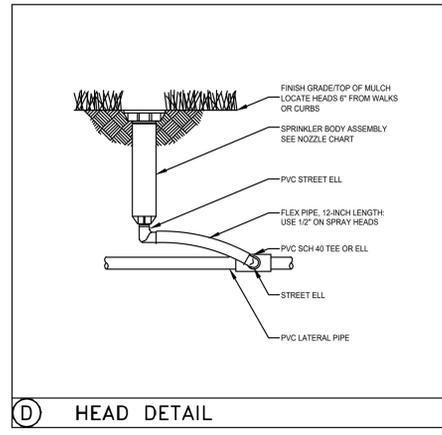
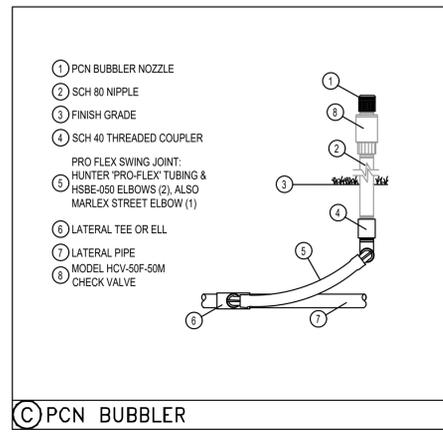
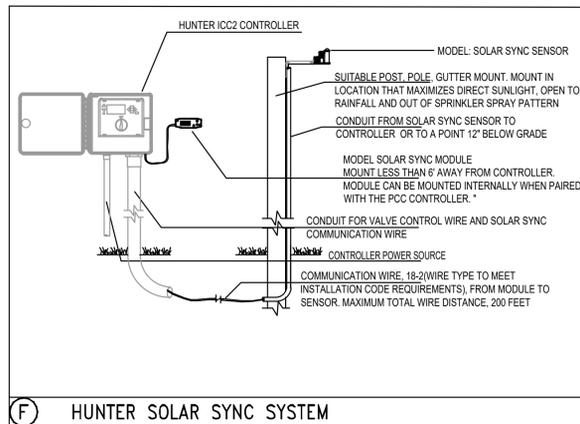
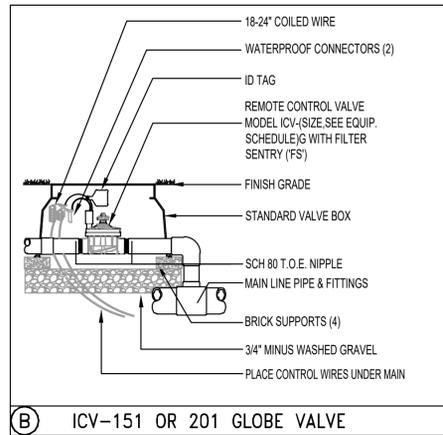
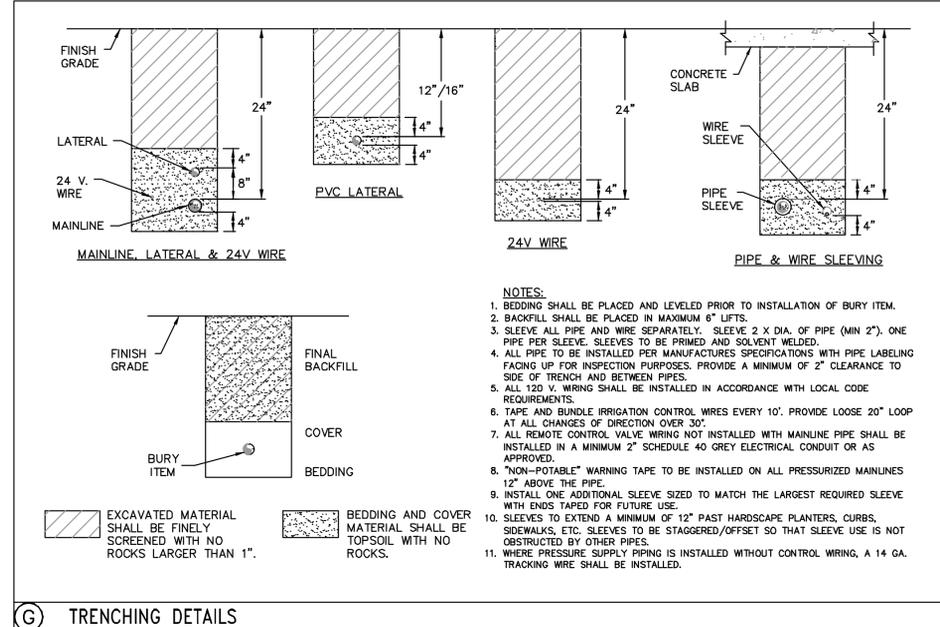
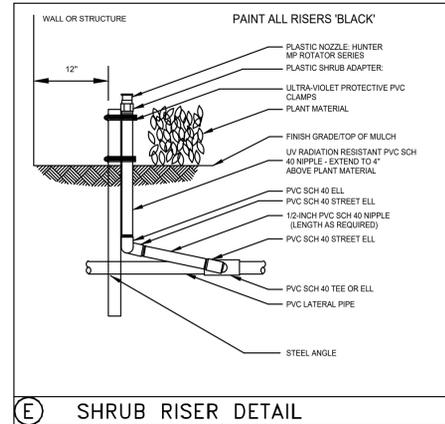
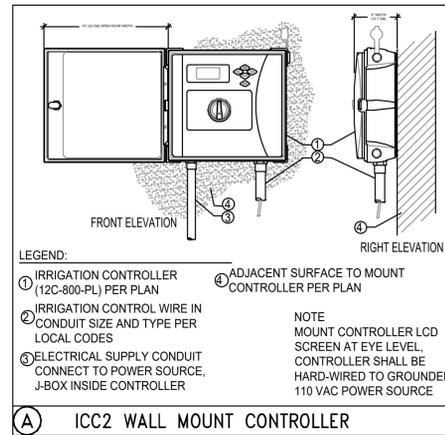
REVISION	DATE	COMMENTS
1	7/24/23	DATE: 2023-08-13



STARBUCKS RESTAURANT
3645 ALOMA AVE
OVIEDO
FLORIDA 32765

DATE: 2023-05-15
DRAWN: JB
CHECKED: JB
L-4
IRRIGATION PLAN
PROJECT NO.: 2023.103

IRRIGATION DETAILS



IRRIGATION NOTES

- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS.
- ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- ALL POP-UP ROTORS AND SPRAY HEADS SHALL BE INSTALLED USING AN 18" P.V.C. FLEX PIPE CONNECTION. DO NOT USE FUNNY PIPE.
- ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES AND BUILDING WALLS.
- THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING.
- ALL RISERS SHALL BE PAINTED BLACK.
- ALL RISERS SHALL BE STAKED WITH A STEEL ANGLE AND SECURED WITH ULTRA-VIOLET LIGHT PROTECTED P.V.C. CLAMPS.
- ALL CONTROL WIRE SPLICES SHALL BE MADE IN VALVE BOXES USING SNAP-TITE CONNECTORS AND SEALANT.
- THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE PAPER (SEPIA OR MYLAR) SHOWING ALL INSTALLED IRRIGATION. A MYLAR OR SEPIA OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE DRAWING SHALL LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES.
- ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES.
- ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.
- ALL RISERS SHALL BE INSTALLED 12" FROM ANY WALL AND A MINIMUM OF 36" FROM ANY SIDEWALK, PATIO OR ROAD.
- THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- CONTRACTOR TO USE MIN. OF 12 GAUGE WIRE FOR ALL COMMON WIRES AND 14 GAUGE WIRE FOR ALL CONTROL WIRES. CONTRACTOR ALSO TO PROVIDE 3 SPARE CONTROL WIRES FOR ANY FUTURE USE.
- CONCRETE THRUST BLOCKS ARE TO BE UTILIZED AT ALL MAINLINE DIRECTION CHANGES.
- ALL IRRIGATION SHOWN ON PLANS IS SCHEMATIC AND DOES NOT REFLECT ALL FITTINGS AND APPURTENANCES WHICH SHALL BE INCLUDED TO PROVIDE A FULLY FUNCTIONAL IRRIGATION SYSTEM CAPABLE OF PROVIDING 100 PERCENT COVERAGE WITH A 50 PERCENT OVERLAP.

EQUIPMENT LIST

SYMBOL	DESCRIPTION	QUANTITY
●	0.50 GPM BUBBLER (2 PER TREE)	0
○	6" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 WMP2000 NOZZLES	91
●	12" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 WMP2000 NOZZLES	10
●	SPRAY ON RISER - HUNTER INDUSTRIES INST-00-CV-MP2000	43
●	HUNTER 'ICV' SERIES ELECTRIC VALVE WITH ACCU-SET PRESSURE REGULATOR	2
○	HUNTER ICC2 8 STATION CONTROLLER, 120VOLT INSTALL WITH A SOLAR SYNC (WITH EVAPOTRANSPIRATION SENSOR AND RAIN SENSOR AND BY-PASS BOX.) GROUND WITH AN 8' COPPER CLAD ROD.	1
○	HUNTER "SOLAR SYNC" RAIN SENSOR	1
■	1" POTABLE IRRIGATION METER TO PROVIDE 30 GPM AT 40 PSI CONTRACTOR TO VERIFY LOCATION	1
▶	1" DOUBLE CHECK VALVE BACKFLOW PREVENTOR	1
---	LATERAL LINE SIZE PER PLAN	SEE PLAN
---	1-1/2" MAINLINE CLASS 200 P.V.C. SIZE PER PLAN CONTRACTOR TO VERIFY LOCATION	SEE PLAN
■	SLEEVING - SCH. 40 P.V.C. MIN. DEPTH OF 24" (ALL 3" SLEEVES TO HAVE ACCOMPANYING 2" SLEEVE FOR WIRES)	SEE PLAN

SPRAY NOZZLE CHART

SYM	NOZZLE	NOZZLE PATTERN	GPM
A	MAROON	90° ADJUSTABLE ARC	.19
B	MAROON	180° ADJUSTABLE ARC	.37
C	LT. BLUE	210° ADJUSTABLE ARC	.43
D	LT. BLUE	270° ADJUSTABLE ARC	.57
E	OLIVE	360° ARC	.75
F	BLACK	90° ADJUSTABLE ARC	.40
G	BLACK	180° ADJUSTABLE ARC	.74
H	GREEN	210° ADJUSTABLE ARC	.86
I	GREEN	270° ADJUSTABLE ARC	1.10
J	RED	360° ARC	1.47
K	BLUE	90° ADJUSTABLE ARC	.86
L	BLUE	180° ADJUSTABLE ARC	1.82
M	YELLOW	210° ADJUSTABLE ARC	2.12
N	YELLOW	270° ADJUSTABLE ARC	2.73
O	GRAY	360° ARC	3.64
P	TURQUOISE	45°-105° ADJUSTABLE ARC	.45
Q	IVORY	5x15' LEFT STRIP	.22
R	COPPER	5x15' RIGHT STRIP	.22
S	BROWN	5x30' SIDE STRIP	.44
T	PCN10	1.00 GPM FLOOD BUBBLER	1.00
U	PCN50	.50 GPM FLOOD BUBBLER	.50
V	SR-2Q	90° 2' RADIUS	.11
W	SR-2H	180° 2' RADIUS	.16
X	MS-F	360° 5' RADIUS	.50

Zone Chart

Zone#	GPM	Water Use	Program
1	30	Sod	B
2	14	Shrubs	A

Z DEVELOPMENT
e r v i c e
CA 29354
708 E. COLONIAL DR., STE 100
ORLANDO, FL 32803
PH: (407) 271-8910
FAX: (407) 442-0604

DATE	REVISION
7/23/23	

DATE: 2023-08-13
REGISTERED LANDSCAPE ARCHITECT
JASON P. BRIDGEMAN
FLORIDA
Registered Landscape Architect
FL Registration - LA 6667308

STARBUCKS RESTAURANT
3645 ALOMA AVE
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FLORIDA 32765

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jasonbridgewater@gmail.com

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CALL SUNSHINE
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FLORIDA LAW REQUIRES
EXCAVATORS TO NOTIFY
OWNERS OF UNDERGROUND
FACILITIES NO LESS THAN TWO
(2) DAYS PRIOR TO EXCAVATION

DATE: 2023-05-15
DRAWN: JB
CHECKED: JB
L-5
IRRIGATION
DETAILS
PROJECT NO.: 2023.103

