

ARCHITECT'S GENERAL CONDITIONS

I GENERAL CONDITIONS

1. THESE INSTRUCTIONS ARE TO BE FOLLOWED BY ALL CONTRACTORS AND SUBCONTRACTORS WHEN PERFORMING THIS WORK. FAILURE TO DO SO MAY RESULT IN THE SUSPENSION OF ALL ACTIVITIES UNTIL DISPUTES ARE RESOLVED. ANY EXPENSES AND/OR DAMAGES INCURRED AS A RESULT OF DELAYS IN THE COMPLETION OF THE WORK DUE TO CONTRACTORS DISREGARD OF THESE INSTRUCTIONS SHALL BE BORNE BY THE CONTRACTOR.
2. CONTRACTOR SHALL PROVIDE AND MAINTAIN FULL INSURANCE AS REQUIRED BY THE GENERAL CONDITIONS OF THE OWNER. INSURANCE (EXCEPT WORKERS COMPENSATION) SHALL INCLUDE ARCHITECT AS ADDITIONAL INSURED. EVIDENCE OF INSURANCE SHALL BE PROVIDED TO THE OWNER AND ARCHITECT PRIOR TO COMMENCING WORK.
3. ARCHITECT IS NOT RESPONSIBLE FOR ERRORS, OMISSIONS OR DELAYS BY THE CONTRACTOR.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR, PROVIDE, AND PAY FOR ALL MATERIALS, LABOR, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, WAREHOUSING, TRANSPORTATION AND DELIVERY COSTS, HOISTING, REMOVAL AND DISPOSAL OF TRASH AND DEBRIS, AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE EXECUTION AND COMPLETION OF THIS WORK AND THAT OF HIS/HER SUBCONTRACTORS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ACTS AND OMISSIONS OF THE CONTRACTORS EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
6. OWNER MAY PERFORM ADDITIONAL WORK IN THIS AREA THAT MAY OR MAY NOT BE A PART OF THIS CONTRACT WITH HIS OWN FORCES, UNDER SEPARATE CONTRACTS AND/OR WITH OTHER CONTRACTORS WHICH MAY BE WORKING ON THE PREMISES SIMULTANEOUS WITH THE DURATION OF THIS WORK. NO ACTION SHALL BE TAKEN ON THE PART OF THIS CONTRACTOR OR ANY SUBCONTRACTOR TO IMPEDE THE ACCESS OR OPERATION OF ANY OTHER CONTRACTOR ON THE PREMISES, REGARDLESS OF CONTRACTING PARTY OR UNION AFFILIATION. ANY CHANGES OR DELAYS ARISING FROM CONFLICTS DUE TO THIS CIRCUMSTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPATIBILITY, APPROVAL AND APPROPRIATE USE OF ALL ASSEMBLIES AND COMPONENTS REQUIRED THAT ARE NOT SPECIFICALLY IDENTIFIED OR SPECIFIED AS PART OF THIS WORK BUT MAY BE REQUIRED BY JURISDICTIONAL AGENCIES HAVING AUTHORITY OR THAT MAY BE REQUIRED TO COMPLETE THIS WORK.
8. CONTRACTOR IS RESPONSIBLE FOR WORKSITE SAFETY AND SHALL TAKE NECESSARY PRECAUTIONS TO ENSURE THE SAFETY AND PROTECTION OF THE WORKERS AND BUILDING OCCUPANTS AT ALL TIMES. REQUIREMENTS INCLUDE, BUT SHALL NOT BE LIMITED TO O.S.H.A. PART 1926, LATEST EDITION IN FORCE.
9. THE SPRINKLER SUBCONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE SYSTEM, AND SUBMISSION OF ANY DRAWINGS, EQUIPMENT INFORMATION AND FLOW CALCULATIONS OR TEST DATA REQUIRED BY GOVERNING AUTHORITIES.
10. CONTRACTOR IS RESPONSIBLE FOR CONTRACTING WITH AN ENGINEER LICENSED IN THE STATE WHERE THE WORK IS BEING PERFORMED TO PROVIDE LIGHT GAUGE STEEL STUD FRAMING DESIGN (SPACINGS, GAUGES, SIZES, CONNECTIONS, ETC.)
11. CONTRACTORS CONTRACT AMOUNT SHALL INCLUDE A CONTINGENCY SUM OF 4% TO BE USED TO COVER COSTS ARISING FROM CONCEALED CONDITIONS WHICH COULD NOT HAVE BEEN REASONABLY FORESEEN OR ANTICIPATED, AND CHANGES IN SCOPE ARISING FROM ASSUMPTIONS AND CLARIFICATIONS PROVIDED BY THE CONTRACTOR TO THE OWNER AND ARCHITECT.
12. THE AUTHORITY HAVING JURISDICTION MAY REQUIRE A SURVEY BE PERFORMED AND SUBMITTED TO DEMONSTRATE THE STRENGTH OF RADIO SIGNALS FOR EMERGENCY SERVICES PERSONNEL. THIS IS NOT INCLUDED IN THE SCOPE OF WORK. BASED ON THE RESULTS OF THE SURVEY, THE AUTHORITY HAVING JURISDICTION MAY REQUIRE THAT A TWO-WAY RADIO COMMUNICATION ENHANCEMENT SYSTEM BE PROVIDED. THE DESIGN OF THIS SYSTEM IS NOT INCLUDED IN THE SCOPE OF WORK.

II CHANGE ORDERS

1. CONTRACTORS DETERMINATION AND COMPLIANCE WITH GOVERNING REGULATIONS AND ORDERS AS ISSUED BY GOVERNING AUTHORITIES DOES NOT CONSTITUTE SUBSTITUTIONS AND DOES NOT CONSTITUTE A BASIS FOR CHANGE ORDERS.
2. ALL CHANGES, REVISIONS AND MODIFICATIONS TO THE WORK SHALL BE DOCUMENTED AND ISSUED BY THE ARCHITECT.
3. NO CONTRACTOR OR SUBCONTRACTOR SHALL PERFORM ADDITIONAL WORK UNLESS DIRECTED BY OWNER, OR ARCHITECT. ADDITIONAL CHARGES WILL NOT BE APPROVED FOR WORK WITHOUT PROPER AUTHORIZATION.
4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS INCURRED FOR NONCOMPLIANCE WITH THESE CONTRACT DOCUMENTS. CONTRACTOR WILL NOT BE ALLOWED CHANGE ORDERS FOR PROBLEMS ARISING FROM NEGLECT OF PROVISIONS INCLUDED IN THESE CONDITIONS.

III EXISTING CONDITIONS

1. ANY AREA OUTSIDE THE LIMITS OF CONSTRUCTION DISTURBED BY OPERATIONS OF THE CONTRACTOR SHALL BE RESTORED AT THE CONTRACTORS EXPENSE.
2. CONTRACTOR SHALL ACCEPT PREMISES AS FOUND. OWNER AND ARCHITECT ACCEPTS NO RESPONSIBILITY FOR THE CONDITION OF THE EXISTING SITE OR STRUCTURES AT THE TIME OF BIDDING OR THEREAFTER.
3. CONTRACTOR SHALL TAKE EXCEPTIONAL CARE TO PROTECT AND MAINTAIN EXISTING BUILDING AND PROPERTY AND SHALL CLEAN OR REPAIR ANY DAMAGE TO SAME CAUSED BY HIS/HER SUBCONTRACTORS, SUPPLIERS AND CRAFTSMAN AT NO COST TO THE OWNER.
4. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PURCHASING MATERIALS, INSTALLATION OR PERFORMING ANY WORK. INCLUDE COST FOR ALL WORK DESCRIBED IN CONTRACT DOCUMENTS AND REQUIRED OR IMPLIED BY EXISTING CONDITIONS. BIDDERS SHALL BE RESPONSIBLE FOR LACK OF VERIFICATION. NOTIFY ARCHITECT OF ANY CONFLICTS BETWEEN THE DRAWINGS AND EXISTING CONDITIONS RELATED TO THE EXECUTION OF THIS WORK.
5. ALL DEMOLITION ACTIVITIES SHALL COMPLY WITH NFPA CODE 241 'BUILDING CONSTRUCTION', ANSI-A10 SERIES STANDARD FOR 'SAFETY REQUIREMENTS' FOR CONSTRUCTION AND DEMOLITION', NECA ELECTRICAL DESIGN LIBRARY 'TEMPORARY ELECTRICAL FACILITIES', AND 'MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION' OF THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA.
6. CONTRACTOR SHALL VERIFY THE INTEGRITY OF ALL EXISTING FIRE RATED OPENINGS WITHIN THE SCOPE OF THIS WORK AND SHALL BE RESPONSIBLE FOR THE FIRE-SAFING AS REQUIRED BY JURISDICTIONAL AUTHORITIES TO PROVIDE A POSITIVE SMOKE-TIGHT SEAL TO MAINTAIN INTEGRITY OF WALL CONSTRUCTION AND RATING.
7. CONTRACTOR SHALL TAKE NECESSARY MEASURES TO ENSURE THAT NEIGHBORING TENANTS AND RESIDENTS ARE NOT DISTURBED IN ANY WAY DURING THE CONSTRUCTION PROCESS. ANY WORK CREATING LOUD NOISES, HAZARDOUS FUMES OR NOXIOUS OR OFFENSIVE ODORS MUST BE COORDINATED WITH OWNER IN ADVANCE SO ACCOMODATIONS CAN BE MADE.
8. ANY CONTACT WITH TENANTS OF SURROUNDING PROPERTIES SHALL BE CONDUCTED IN THE MOST COURTEOUS MANNER POSSIBLE.
9. IF CONSTRUCTION IS TAKING PLACE WITHIN AN OCCUPIED SPACE OR STRUCTURE, CONTRACTOR SHALL TAKE MEASURES TO ENSURE THAT DAY-TO-DAY OPERATIONS ARE NOT DISRUPTED OR AFFECTED IN ANY WAY.

10. PATCH WALLS, FLOORS AND CEILINGS AS REQUIRED ACCOMMODATING NEW CONSTRUCTION AND FINISHES.
11. CONTRACTOR SHALL COORDINATE W/OWNER REGARDING THE REMOVAL, DISPOSAL OR SALVAGE OF EXISTING FIXTURES, EQUIPMENT & FURNISHINGS EFFECTED BY THIS WORK.
12. ANY PORTION OF THIS WORK SHALL NOT OBSTRUCT OR CAUSE TO BE INOPERATIVE THE FIRE PROTECTION SYSTEMS OF EXISTING SITE AND/OR ADJACENT PROPERTIES. COORDINATE ALL WORK INVOLVING EXISTING FIRE ALARM/VOICE EVACUATION SYSTEM(S) WITH OWNER.

IV CONTRACT DOCUMENTS

1. BUILDING DEPARTMENT APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDUM'S AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES. THESE ARE TO BE KEPT UNDER THE CARE OF THE SUPERINTENDER.
2. ALL CONSTRUCTION ITEMS NOT SPECIFIED OR INDICATED ON DRAWINGS SHALL BE COORDINATED W/ ARCHITECT AND/OR ADDRESSED BY THE OWNER, THE CONTRACTOR OR HIS SUBCONTRACTORS.
3. CONTRACTOR SHALL BRING ANY CONFLICTS OR DISCREPANCIES FOUND IN THE DRAWINGS TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO PURCHASING, INSTALLATION AND/OR CONSTRUCTION.
4. MATERIALS, PRODUCTS AND ASSEMBLIES SPECIFIED IN THIS WORK BY THE ARCHITECT, ARE BASED UPON LITERATURE, DRAWINGS OR OTHER DESCRIPTIVE MATERIALS SUPPLIED BY THE MANUFACTURER. IF ANY PRODUCT, MATERIAL OR ASSEMBLY FAILS TO MEET THE CLAIMS OF THE MANUFACTURER WHEN INSTALLED AND USED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS, THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR LESS THAN SATISFACTORY RESULTS.
5. CONTRACTOR SHALL BE RESPONSIBLE TO REPORT TO AND DISCUSS WITH THE ARCHITECT PRIOR TO PURCHASING ANY MATERIALS OR INSTALLATIONS SPECIFIED OR INDICATED ON THE DRAWINGS WHICH THE CONTRACTOR BELIEVES WILL NOT PROVIDE SATISFACTORY RESULTS. CONTRACTOR WILL PROVIDE A WORKABLE SOLUTION TO THE ARCHITECT FOR REVIEW PRIOR TO INSTALLING. IF CONTRACTOR FAILS TO NOTIFY THE ARCHITECT OR IF RECOMMENDATIONS ARE ACCEPTED, CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLATION AND SATISFACTORY RESULTS.
6. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS TO DETERMINE LOCATIONS. LARGE SCALE DRAWINGS GOVERN OVER SMALLER SCALE DRAWINGS. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY WHICH OCCURS PRIOR TO CONTINUING WITH THE WORK.

V SHOP DRAWINGS, SUBMITTALS & SUBSTITUTIONS

1. CONTRACTOR SHALL PROCURE MATERIALS SO AS NOT TO DELAY SUBSTANTIAL COMPLETION. NOTIFY OWNER WHEN SUBMITTING FINAL BID OF ANY MATERIAL DELIVERY WHICH COULD DELAY COMPLETION OF CONTRACT BEYOND THE CONTRACT DATE.
2. G.C. SHALL SUBMIT SHOP DRAWINGS AND PRODUCT INFORMATION PRIOR TO PURCHASING, INSTALLATION AND/OR CONSTRUCTION.
3. ALL SUBMITTALS TO THE ARCHITECT SHALL BE SUBMITTED 16 DAYS PRIOR TO DATE REQUIRED.
4. CONTRACTORS SHALL REVIEW ALL SUBMITTALS PRIOR TO SUBMITTING TO ARCHITECT FOR ARCHITECT'S REVIEW. SUBMITTALS SHALL BEAR THE STAMP OF THE CONTRACTOR INDICATING HIS/HER REVIEW. NO SUBMITTAL SHALL BE PROCESSED BY ARCHITECT WITHOUT THIS STAMP.
5. MANUFACTURER'S OF SPECIFIED ITEMS ARE NOTED FOR QUALITY AND DESIGN. SUBSTITUTE PRODUCTS ARE SUBJECT TO APPROVAL BY ARCHITECT AND OWNER. WHERE SUBSTITUTIONS OF EQUIVALENT PRODUCTS OR ASSEMBLIES ARE PERMITTED, CONTRACTOR IS ENCOURAGED TO SUBMIT ALTERNATE PRODUCTS FOR CONSIDERATION IN AN EFFORT TO REDUCE THE CONSTRUCTION COST OR TIME. REASONABLE REQUESTS WILL BE REVIEWED FOR COMPLIANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS. IF DOCUMENTS STATE THAT SUBSTITUTIONS ARE NOT PERMITTED, CONTRACTOR SHALL PROVIDE MANUFACTURER/PRODUCT SPECIFIED.

VI FIRE-RESISTANCE-RATED CONSTRUCTION

1. REFERENCE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR DETAILS OF UTILITY WALL PENETRATIONS. ALL FIRE-RATED WALLS MUST BE CLEARLY AND PERMANENTLY LABELED ABOVE FINISH CEILING LEVEL AS REQUIRED BY CODE.
2. ALL FIRE-RATED MATERIALS, ASSEMBLIES AND PENETRATIONS MUST COMPLY WITH REQUIREMENTS OF THEIR ASSOCIATED U.L. (OR OTHER APPROVED TESTING AGENCY) DESIGN.
3. CONTRACTOR SHALL ATTACH AND STAGGER WALLBOARD ON ALL FIRE-RATED WALLS AS REQUIRED BY U.L. DESIGN DESCRIPTION.

VII EXECUTION

1. CONSTRUCTION BARRICADES ARE TO BE INSTALLED TO PREVENT ACCESS BY UNAUTHORIZED PERSONAL TO CONSTRUCTION AREA. BARRICADES SHALL BE CONSTRUCTED IN A MANNER TO PREVENT DEMOLITION DEBRIS AND DUST FROM CONTAMINATING ADJACENT AREAS.
2. CONTRACTOR SHALL EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN AND READY TO RECEIVE FINISHES PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIALS.
3. PERFORM ALL WORK IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS AND IN A MANNER CONSISTENT WITH THE HIGHEST STANDARD OF WORKMANSHIP.
4. ALL FURNISHINGS AND EQUIPMENT SHALL BE PROVIDED AND INSTALLED BY THE OWNER UNLESS NOTED OTHERWISE. CONTRACTOR SHALL COORDINATE WITH OWNER'S CONSULTANTS AND REPRESENTATIVES TO PROVIDE ACCESS SO WORK CAN BE ACCOMPLISHED IN A TIMELY MANNER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE WORK IS IN PROGRESS, AND UNTIL THE JOB IS COMPLETE AND HAS BEEN ACCEPTED BY THE OWNER.
6. POSSESSION, USE OR BEING UNDER THE INFLUENCE OF ALCOHOL, NARCOTICS OR ILLEGAL SUBSTANCES OF ANY TYPE ON THE PREMISES IS STRICTLY PROHIBITED.
7. CONTRACTOR SHALL INSTALL AND MAINTAIN ALL NECESSARY COVERINGS, PROTECTIVE ENCLOSURES AND DUST BARRIERS TO PROTECT ALL WORK AND FINISHES. REPAIR AND REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTIONS AT NO ADDITIONAL COST TO THE OWNER.
8. PROVIDE TEMPORARY WATERTIGHT WEATHERPROOF CLOSURES AT ALL ROOF OPENINGS UNTIL AFTER INSTALLATION OF ROOFTOP MOUNTED MECHANICAL UNITS, DRAINS, VENTS, ETC. ROOF IS THEN TO BE SEALED IN ACCORDANCE WITH ROOF WARRANTY.
9. PROVIDE CONTROL JOINTS TO PREVENT CRACKING IN ALL MATERIALS AND ASSEMBLIES. SUBMIT CONTROL JOINT LAYOUTS TO OWNER AND ARCHITECT FOR REVIEW PRIOR TO PURCHASE, INSTALLATION AND / OR CONSTRUCTION.
10. ALL LOAD BEARING WALLS AND NON LOAD BEARING CMU WALLS ARE TO BE CAULKED AT INTERSECTIONS. TYPICAL.
11. WHERE DISSIMILAR METALS CONTACT, PAINT FACE OF ONE WITH TWO COATS OF BITUMINOUS PAINT AT THE AREA OF CONTACT.

12. ALL ATTACHMENT HARDWARE SHALL BE APPROPRIATELY CAMOUFLAGED AND CONCEALED. FINISH COLOR OF ALL ATTACHMENT HARDWARE SHALL MATCH ADJACENT SURFACES U.N.O.
13. PROVIDE PRESSURE TREATED WOOD FOR ALL FRAMING, BLOCKING, FURRING, NAILING STRIPS, BUILT INTO EXTERIOR MASONRY WALLS, WOOD IN CONTACT WITH CONCRETE AND IN CONJUNCTION WITH ROOFING AND MOISTURE-PERMEABLE FLOORS. PROVIDE FIRE-RETARDANT TREATED WOOD FOR CONCEALED BLOCKING AND FOR EXPOSED LUMBER AND PLYWOOD IN HABITABLE SPACE. NON-STRUCTURAL WOOD ON EXTERIOR WALLS TO BE MOISTURE-RESISTANT.
14. ALL WOOD, LUMBER AND PLYWOOD MATERIALS SHALL BE FIRE-RESISTANT AND/OR FIRE-RATED AS REQUIRED BY CODE.
15. COMBUSTIBLE MATERIALS SHALL NOT BE PERMITTED IN THE RETURN AIR PLENUM. ALL INSULATION EXPOSED TO CEILING PLENUM SHALL BE FIRE AND DUST PROOF.
16. CONTRACTOR SHALL PROVIDE SOLID 3" WOOD BACKING WITHIN WALLS FOR ANCHORAGE OF ALL WALL MOUNTED SHELVES, RAILS, TOILET ACCESSORIES, WOODWORK, ETC. AND AT ALL LOCATIONS DIRECTED BY OWNER. 2x6 CONT. WOOD BLOCK'G SHALL BE PROVIDED AT TOP AND BOTTOM OF ALL MILLWORK. COORDINATE LOCATION OF ALL BLOCKING / BACKING W ID DWGS. ALL WOOD BACKING SHALL MEET THE REQUIREMENTS OF FBC 603 FOR COMBUSTIBLE MATERIAL.
17. CONTRACTOR SHALL PROVIDE, FRAME AND FINISH ALL OPENINGS AS REQUIRED FOR ELECTRICAL AND MECHANICAL PENETRATIONS. ELECTRICAL PANELS, JUNCTION BOXES, RECESSED CABINETS, ETC. OCCURRING IN FIRE-RATED WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH U.L. DESIGN REQUIREMENTS.
18. COORDINATE WITH ELECTRICAL CONTRACTOR REGARDING THE MOUNTING HEIGHT OF ALL SWITCHES AND OUTLETS AT MILLWORK, COUNTERS, SHELVING, SINKS ETC. COMPLY WITH APPLICABLE ACCESSIBILITY REQUIREMENTS. REFER QUESTIONABLE MOUNTING HEIGHTS TO ARCHITECT FOR REVIEW.
19. ALL PENETRATIONS THROUGH ROOF SHALL BE COORDINATED WITH THE HOLDER OF THE ROOF WARRANTY AND SHALL NOT VOID ANY EXISTING WARRANTIES IN ANY WAY. PROVIDE POSITIVE DRAINAGE AWAY FROM OPENINGS. CONTRACTOR IS SOLELY RESPONSIBLE FOR MAINTAINING INTEGRITY OF ROOFING AND ROOF WARRANTY. COORDINATE WITH OWNER.
20. SMOKING IS PROHIBITED INSIDE THE BUILDING AT ANY TIME.
21. COORDINATE THE STAGING AREA WITH THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO STARTING WORK. G.C. SHALL MAINTAIN A CLEAN AND WELL DEFINED STAGING AREA. PROVIDE DEMISING WALLS / VISUAL SCREENS WHERE REQUIRED BY OWNER OR AHJ.
22. STORAGE OF MATERIALS: CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER CARE AND PROTECTION OF ALL HIS/HER MATERIALS, EQUIPMENT, TOOLS, ETC. NO SUBCONTRACTOR SHALL STORE HIS/HER MATERIALS, EQUIPMENT, TOOLS, ETC., SO THAT THEY IMPEDE THE WORK OF ANY OTHER SUBCONTRACTOR OR THE USE OF THE BUILDING BY THE OWNER.
23. CLEANUP: CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP OF DEBRIS ACCUMULATED BY HIS/HER WORK AND THAT OF HIS/HER SUBCONTRACTORS AND SUPPLIERS. AT THE COMPLETION OF THE DAYS WORK, CONTRACTOR SHALL REMOVE ALL TOOLS AND DEBRIS AND LEAVE CONSTRUCTION AREA - INCLUDING OUTDOORS - CLEAN AND FREE OF OBSTRUCTION. OCCUPIED AREAS SHALL BE MAINTAINED IN A CLEAN AND ORDERLY MANNER AT ALL TIMES.
24. TRASH AND RECYCLE DUMPSTERS SHALL BE LOCATED AS APPROVED BY OWNER. USE OF EXISTING TRASH DUMPSTERS AND COMPACTORS SHALL NOT BE UTILIZED UNDER ANY CIRCUMSTANCES.
25. PARKING: CONTRACTOR SHALL COORDINATE THE PARKING AREA WITH THE OWNER AND OWNER'S REPRESENTATIVE PRIOR TO START OF THE WORK. VEHICLES ARE NOT PERMITTED TO REMAIN PARKED IN HANDICAPPED DESIGNATED SPACES. LOADING AREAS ARE FOR LOADING AND UNLOADING ONLY.
26. G.C. SHALL PROVIDE AND INSTALL PORTABLE FIRE EXTINGUISHERS AS INDICATED ON PLAN AND AS REQUIRED BY AHJ. PROVIDE TYPE AND SIZE REQUIRED AT THE LOCATIONS INDICATED. IF VISIBLE TO THE PUBLIC, PROVIDE A RECESSED CABINET, COORDINATE AND VERIFY W/ SPECIFICATIONS. MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER SHALL BE 75 FEET.

VIII CLOSE-OUT

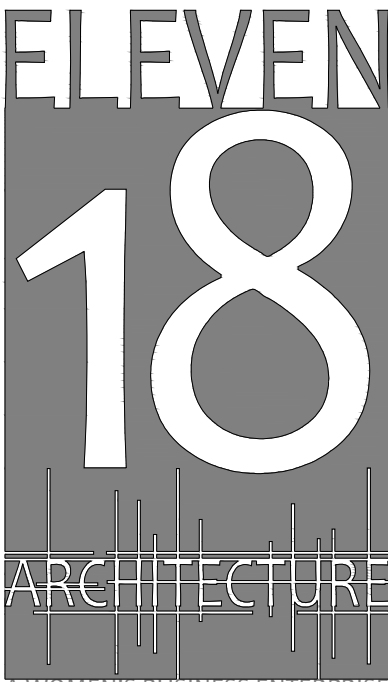
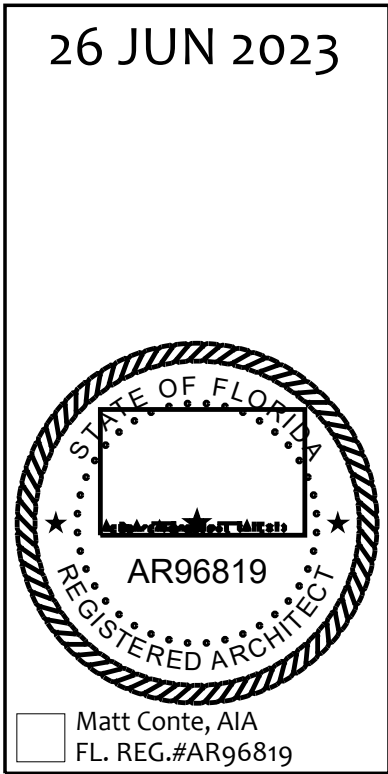
1. G.C. IS RESPONSIBLE FOR PROVIDING AND INSTALLING ADDRESS / UNIT NUMBER SIGNAGE AT FRONT AND REAR ENTRIES OR AS INDICATED ON DRAWINGS. SIGNAGE TO MEET LOCAL CODES.
2. 24 HOURS PRIOR TO PUNCH-LIST OF ANY PHASE, THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL SURFACES OF DUST, DEBRIS, AND LOOSE CONSTRUCTION MATERIAL.
3. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL CLEAN THE WORK AREA TO OWNERS SATISFACTION. FINAL CLEANUP SHALL INCLUDE THE FOLLOWING: VACUUM OR MOP ALL FLOORS. SWEEP, DAMP MOP, AND WAX RESILIENT FLOORING. DUST, DIRT, PAINT DRIPPINGS, OIL, GREASE, MASTIC, ADHESIVES, AND OTHER FOREIGN MATERIALS AND BLEMISHES SHALL BE REMOVED FROM SIGHT-EXPOSED FINISHES, INCLUDING PIPES AND EQUIPMENT. WINDOWS, GLASS UNITS, GLASS DOORS AND MIRRORS SHALL BE WASHED. PAINT OVERRUNS AND PUTTY SMEARS SHALL BE REMOVED AND HARDWARE SHALL BE RUBBED CLEAN WITH FLANNEL CLOTH.
4. WORK DAMAGED DURING CONSTRUCTION OR NOT CONFORMING TO SPECIFIED STANDARDS, TOLERANCES OR MANUFACTURERS INSTRUCTIONS FOR INSTALLATION SHALL BE REPLACED BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR (OR CONTRACTUALLY AGREED UPON TERM REQUIRED BY OWNER) AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.
6. AN OPERATIONAL TEST OF THE EMERGENCY LIGHTING SYSTEM MAY BE REQUIRED. COORDINATE WITH BUILDING OFFICIALS.

FLORIDA PRODUCT APPROVALS & MIAMI-DADE NOTICES OF ACCEPTANCE

PRODUCT DESCRIPTION	MANUFACTURER / MODEL	FILE NO.	DATE APPROVED	DATE EXPIRES
TPO ROOF	FIRESTONE / ULTRAPLY	NOA 15-0209.04	29 AUG 2019	29 AUG 2024
ALUMINUM STOREFRONT SYSTEM	KAWNEER /TRIFAB 451T STOREFRONT SYSTEM	FL 32590	13 APR 2021	31 DEC 2023
DRIVE-THRU WINDOW	READY ACCESSTM SERIES 600 MOER DRIVE-THRU SERVICE WINDOW	FL 5102-R6	13 OCT 2020	31 DEC 2023
HOLLOW METAL DOOR	MESKER DOOR, LLC / N SERIES OUTSWINGING STEEL OPAQUE DOOR	NOA 20-0708.03	23 DEC 2020	16 JUL 2025
WOOD PANELS SYSTEM	NICHIIHA (AWP) ARCHITECTURAL WALL PANELS 3030	NOA 22-0427.05	19 MAY 2022	01 JUN 2027

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PROJECT NAME:

STARBUCKS
TUSKAWILLA

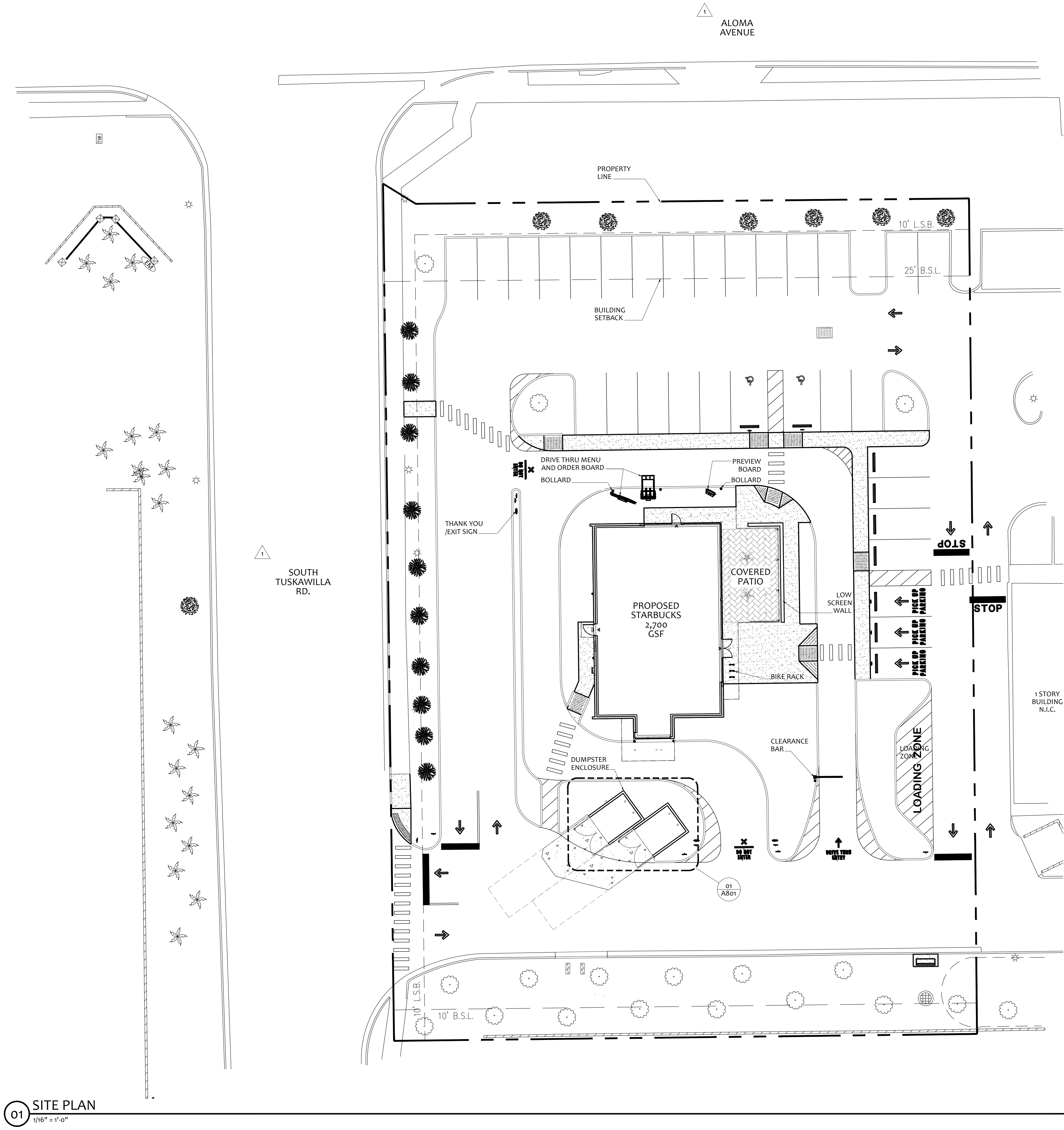
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#	DATE	DESC.
-	06.26.2023	PERMIT SUBMITTAL

A001
GENERAL CONDITIONS

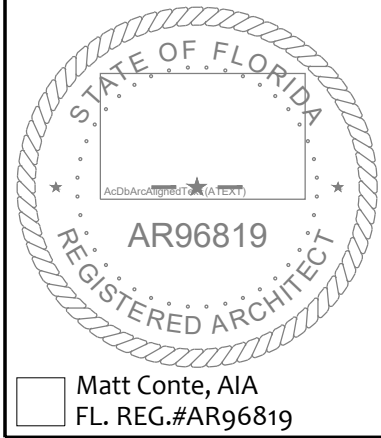


SITE PLAN NOTES

1. REFERENCE SHEET A-001 FOR GENERAL CONDITIONS AND ADDITIONAL REQUIREMENTS AFFECTING THIS WORK.
2. SITE INFORMATION SHOWN HEREIN IS TAKEN FROM INFORMATION PROVIDED BY OTHERS NOT UNDER CONTRACT/CONTROL OF THE ARCHITECT. THE ARCHITECT HAS VERIFIED THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION BASED ON VISUAL OBSERVATION ONLY. THEREFORE THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR ERRORS, OMISSIONS, CONFLICTS, DEFICIENCIES OR INACCURACIES ARISING FROM DISCOVERY OF CONCEALED, UNKNOWN OR DIFFERING CONDITIONS AS A RESULT OF THIS CIRCUMSTANCE. CONTRACTOR SHOULD FULLY AQUAINT HIMSELF WITH THE SITE AND FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PERFORMING ANY WORK.
3. REFERENCE CIVIL DRAWINGS FOR LOCATION OF BUILDING ON SITE.
4. AFTER FINAL GRADING AND PRIOR TO CONSTRUCTION, PRE-TREAT SOIL UNDER NEW CONSTRUCTION FOR WOOD DESTROYING ORGANISMS PER FBC 1816.
5. SITE ACCESSORIES SHOWN FOR REFERENCE ONLY, REFERENCE CIVIL DRAWINGS FOR FINAL LOCATIONS.
6. AREA OF WORK SHOWN HATCHED.

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30 AUG 2023



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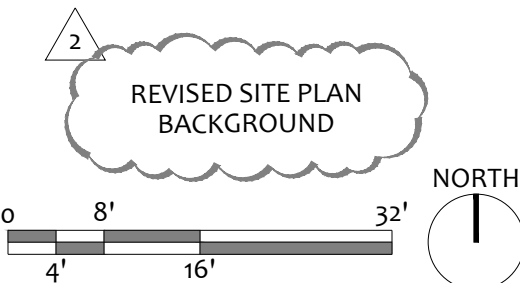
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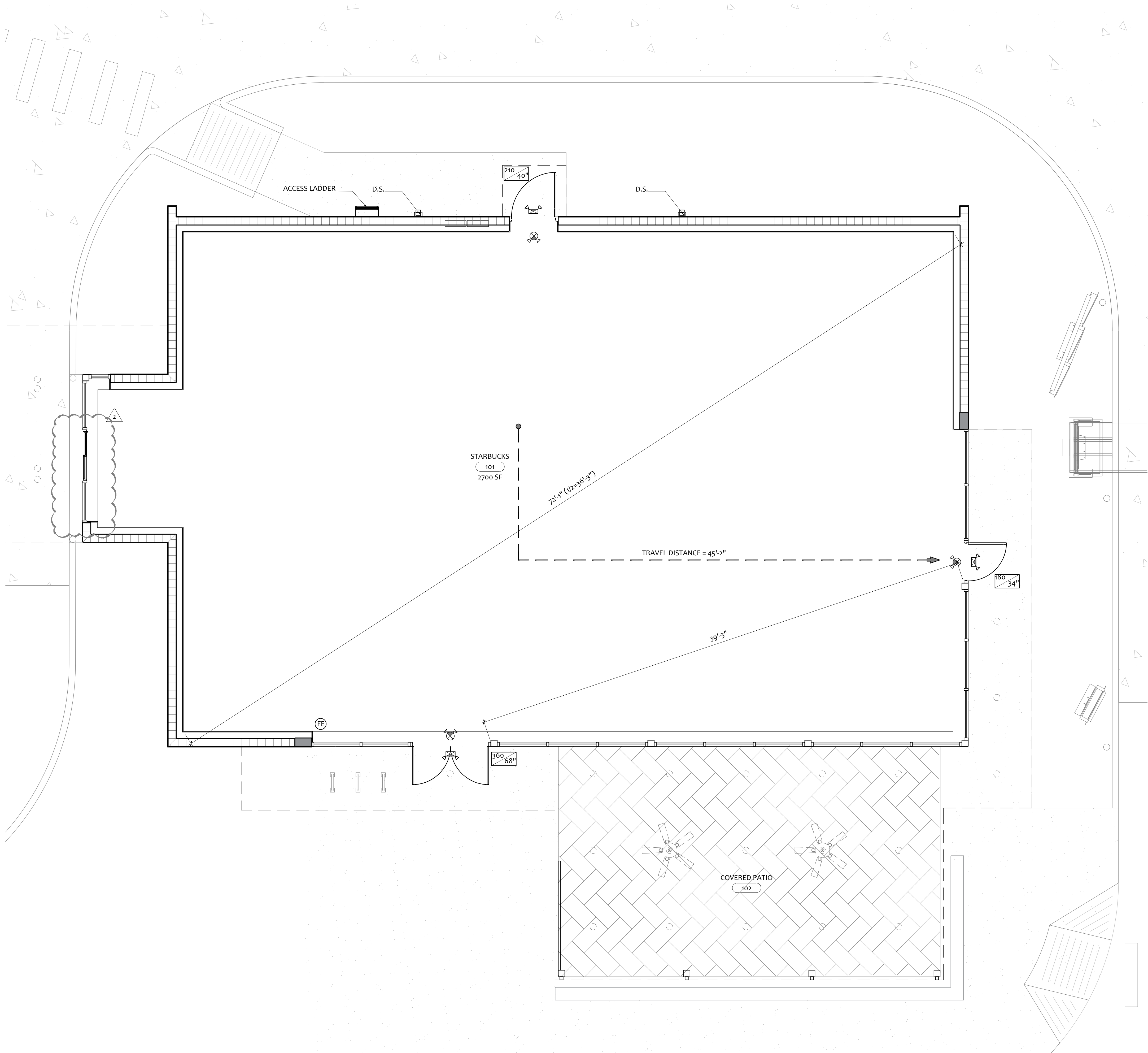
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REVISIONS		
#	DATE	DESC.
-	06.26.2023	PERMIT SUBMITTAL
1	07.10.2023	COUNTY COMMENTS
2	08.30.2023	COUNTY COMMENTS

A002
SITE PLAN

01 SITE PLAN
1/16" = 1'-0"





GENERAL LIFE SAFETY NOTES

- REFERENCE SHEET A-000 FOR RATINGS OF STRUCTURAL ELEMENTS
- FIRE EXTINGUISHERS SHALL BE LOCATED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 10 & SECTION 13-6 OF NFPA 1 OF THE FPFC LOCATED SO THAT ALL AREAS ARE WITHIN 75'-0" OF AN EXTINGUISHER. FOR MECHANICAL AND ELECTRICAL ROOMS, USE A "2A:10B:C" LOCATED SO THAT ALL AREAS ARE WITHIN 50'-0" OF AN EXTINGUISHER. FOR KITCHENS USE A "K" EXTINGUISHER SO THAT ALL AREAS ARE WITHIN 30'-0" OF AN EXTINGUISHER.
- COORDINATE FIRE EXTINGUISHER FINAL LOCATIONS WITH TI DRAWINGS.
- EXIT DOOR TACTILE SIGNAGE SHALL BE PROVIDED AT EACH EXIT DOOR IN ACCORDANCE WITH SECTION 7.10.1.3, NFPA 101, 2018 EDITION

LIFE SAFETY LEGEND

	EXIT WIDTH INDICATOR (SHOWING CLEAR WIDTH OF OPENING AND NUMBER OF OCCUPANTS THAT CLEAR WIDTH CAN SERVE PER CODE)		TRAVEL DISTANCE INDICATOR (SHOWING EXIT ACCESS TRAVEL DISTANCE FROM MOST REMOTE POINTS IN EACH AREA)
	FIRE EXTINGUISHER (10LBS 2A/10B/C) IN SEMI-RECESSED CABINET, TBD		EXIT/EMERGENCY LIGHTING; SEE ELECTRICAL DRAWINGS

NOTES:
ALL EMERGENCY/NIGHT LIGHTS & EXITS SIGNS ARE ON EMERGENCY LIGHTING CIRCUITS, PER ELECTRICAL DWGS.

LIFE SAFETY SUMMARY CHART					
PER FBC TABLE 1004.1.1					
FBC 2020 FUNCTION OF SPACE	PROPOSED AREA (SQ. FT.)	SQ. FT. PER OCCUPANT	OCCUPANT LOAD	EGRESS WIDTH REQUIRED (HORIZONTAL)	EGRESS WIDTH PROVIDED (HORIZONTAL)
KITCHEN	1071.27	200 GROSS	6	6 X 0.2" = 1.2"	40"
ASSEMBLY (WITHOUT CIRC.)	1144.5	15 NET	77	77 X 0.2" = 15.4"	102"
TOTAL	--	--	83	16.6"	142"
FBC TABLE 1017.2 REQUIRES THAT THE MAXIMUM EXIT ACCESS TRAVEL DISTANCE NOT EXCEED 200' (UN-SPRINKLERED). NO TRAVEL DISTANCE EXCEEDS THIS DISTANCE.					

LIFE SAFETY SUMMARY CHART					
PER NFPA 101 7.3.1.2					
NFPA 101 FUNCTION OF SPACE	PROPOSED AREA (SQ. FT.)	SQ. FT. PER OCCUPANT	OCCUPANT LOAD	EGRESS WIDTH REQUIRED (HORIZONTAL)	EGRESS WIDTH PROVIDED (HORIZONTAL)
KITCHEN	1071.27	100 GROSS	11	11 X 0.2" = 2.2"	40"
ASSEMBLY (WITHOUT CIRC.)	1144.5	15 NET	77	77 X 0.2" = 15.4"	102"
TOTAL	--	--	88	17.6"	142"
NFPA 101 36.2.6 REQUIRES THAT THE MAXIMUM EXIT ACCESS TRAVEL DISTANCE NOT EXCEED 150' (UN-SPRINKLERED). NO TRAVEL DISTANCE EXCEEDS THIS DISTANCE.					

INSTALLATION OF FIRE EXTINGUISHERS SHALL COMPLY WITH FLORIDA FIRE PREVENTION CODE 1 SECTION 13.6.1.1 PROVIDE WALL MOUNTED, PORTABLE FIRE EXTINGUISHERS AS INDICATED ON THE PLAN. PROVIDE TYPE 2-A:10-B:C CLASS A LIGHT HAZARD.

TOP OF FIRE EXT SHALL BE INSTALLED SUCH THAT THE TOP IS NOT MORE THAN 5'-0" AFF

BOTTOM OF FIRE EXT SHALL BE INSTALLED SUCH THAT THE BOTTOM IS NOT LESS THAN 4" AFF

FINISHED FLOOR

3'-6"

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30 AUG 2023

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REVISIONS		
#	DATE	DESC.
-	06.26.2023	PERMIT SUBMITTAL
1	07.10.2023	COUNTY COMMENTS
2	08.30.2023	COUNTY COMMENTS



Tenant shall execute the delivery of possession form in accordance with the Lease or a written acknowledgement of delivery and acceptance if a delivery of possession form is not a part of the Lease.

If on the Scheduled Delivery Date, leased premises and the building of which the leased premises are a part are not in the condition required by the Landlord's Work Documents, and/or if Landlord fails to repair all punch list items at the time and in the manner described in the preceding paragraph, and if, in either case, Tenant elects to accept possession of the leased premises, then, in addition to any remedy provided in the Lease and without limitation thereof, and except as expressly provided to the contrary in the Lease, Tenant is hereby authorized to complete all or any portion of the outstanding Landlord's Work and/or punchlist items necessary to bring the leased premises into the required condition and Landlord shall reimburse Tenant for the actual cost of such work plus an administrative surcharge of fifteen percent (15%) of the amount otherwise due Tenant, to compensate Tenant for its employees' time, within thirty (30) days of receipt of an invoice for such sums. Landlord agrees that the Tenant's and its contractor's determination of the scope of all work that is necessary to bring the leased premises into the required condition is deemed appropriate and the cost thereof plus the surcharge referred to above shall be final and binding on Landlord. If Landlord does not reimburse Tenant as required by this Landlord Workletter then in addition to any remedy provided in the Lease and without limitation thereof, Tenant may offset such sum against the monthly base rent and all other charges payable by Tenant under the Lease until such sum has been fully recouped. Nothing herein shall limit or impair any of Tenant's rights and remedies set forth in the Lease or Landlord's obligations thereunder, including, without limitation, requirements for the condition of the leased premises and the building and the shopping center of which the leased premises are a part and Landlord's obligation to construct and complete all Landlord's Work.

3. Incorporation with Lease

This Landlord Workletter is attached to and forms a part of the Lease and is intended by the Landlord and Tenant to be interpreted in all respects in a manner that is consistent with the terms, conditions and provisions of such Lease. Notwithstanding the foregoing, the express terms, conditions and provisions of the Lease (including, without limitation, those terms, conditions and provisions of the Lease, if any, governing delivery dates and the rights and obligations of the parties in the event that on the Scheduled Delivery Date, the premises are not delivered to Tenant in the required condition) shall control in the event of any conflict or inconsistency between the express terms, conditions and provisions of the Lease and this Landlord Workletter.

DESCRIPTION OF LANDLORD WORK NEW AND/OR EXISTING CONSTRUCTION

CSI	Scope/Category	Details
014000	Quality Control	Landlord shall provide Tenant with construction status updates through regular weekly progress reports and OxBBlue site camera(s). Landlord will secure one (1) 12 Megapixel Cobalt Exterior OxBBlue Construction



CSI	Scope/Category	Details
		Camera with Solar panel (optional). Camera shall be located at an agreed upon location where the video feed can maintain visual connectivity w/ landlord related construction. The Landlord shall contact Starbucks national account representative @ OxBBlue to initiate rental and delivery. The camera shall be installed and operational within 72 hours of construction mobilization. Contact: OxBBlue Corporation / 1777 Ellsworth Industrial Blvd. NW / Atlanta, GA 30318 Attn: Jonathan DeBowles 678.528.1077 enterprisesupport@oxblue.com
014100	Regulatory Requirements	Landlord shall be responsible for planning and zoning approval, land entitlements, and all associated impact fees associated with Site improvements. If required by the local jurisdiction, Landlord shall also obtain an outdoor seating permit.
024000	Selective Demolition	Demolish, remove, and legally discard all site and building improvements including but not limited to: Site: Sidewalks, paving, site storm drainage, landscaping, partitions, site signage, foundations. Interior: Ceilings, floor coverings (including adhesive and mastics), interior partitions, fixtures, furniture, equipment, lighting, electrical conduit back to main distribution panel, HVAC duct work, sensors, plumbing. Plumbing: Scope lines and hydro flush sewer system to lateral termination at city lines. Surface Prep: Prepare impacted areas and surfaces to a condition ready to receive Tenant's construction. Interior spaces shall be left in a "broom clean" condition. Existing Items: Tenant shall identify any real and personal property items to remain and be protected prior to demolition. Landlord shall remove items and store in a temperature-controlled environment for Tenant's future use.
033000	Concrete	Site Footings: Landlord shall provide concrete footings with specified anchor bolts for Tenant provided signage and bollards per Tenant provided criteria package. Footing design shall consider bearing capacity of soils, wind loads, weight of signage and all applicable codes. Landlord shall coordinate anchor bolt placements, footing locations, and electrical/data stub-ups with Tenant provided cut sheets. Landlord



CSI	Scope/Category	Details
		shall install the following footings and tenants specified bollards in approved locations: 1. Tenant's dedicated monument sign(s) and/or pylon sign 2. 6" diameter steel pipe bollards 3. Pre-menu board 4. Order menu board 5. Drive thru order screen canopy 6. Directional signage two (2) minimum per store 7. Clearance/height restriction bar
033001	Building Subfloor	General: Landlord to provide full slab leave out for future Tenant construction. Subgrade Prep: Subgrade shall be clean, structural grade fill made level and compacted in accordance with Landlord's geotechnical report. Provide fill 4" below proposed finish floor elevation.
221113	Water Distribution	General: Permit, furnish, install at rear of Tenant's space isolated from electrical equipment a minimum: *One (1) 2" independent domestic water meter, designated for Tenant's use, with shut-off valves on either side and bypass valving for maintenance. Provide one (1) 2" copper domestic water line stubbed into the Premises. Location to be designated by Tenant. *One (1) certified & tested backflow preventer with protective enclosure and shut-off ball valve. Backflow prevention assembly shall provide maximum water pressure drop of 15 psig (pounds per square inch gauge). Preferred location is adjacent to the water filtration system in the Back of House (BOH). Water Pressure: Water service pressure should be a minimum of 50 psi (345 kPa) and no greater than 65 psi (448 kPa) residual pressure at the location where the water service enters the project space. Booster Pump: If the pressure is under 50 psi (345kPa) at point of entrance to Starbucks space, provide a domestic water booster pump and surge tank to meet Starbucks minimum requirements. The Landlord's engineer shall verify the inlet water pressure for each piece of equipment within the store. Locate booster pump above BOH ceiling adjacent to water filtration equipment. Temporary Service: If permanent utility service is not available at the



CSI	Scope/Category	Details
		scheduled delivery date as defined in the Lease, temporary service must be provided by Landlord.
221319	Grease Abatement	General: The Landlord shall utilize Starbucks National Purchasing Program for procurement and to assist with specifying an approved unit. The tenant's approved FOG interceptor manufacturer is Schier. Should any agency feel that it is necessary for a Starbucks store to install a Fats Oils and Grease (FOG) control system, Starbucks will provide the Landlord with the information required to specify an approved device. Approach: The Landlord shall install a Large HGI or gravity fed interceptor with connection to all sinks and/or floor drains as approved by the authority having jurisdiction. Tenants' preferred location is outside the building below grade, adjacent to BOH service door, and/or isolated from building entry and patio area. If a decision is made to challenge jurisdictional requirements, the Landlord will work with Schier's national account leads to interface with the authority having jurisdiction, and gain approval of an appropriately sized device. Documentation: When utilizing Starbucks National Purchasing Program, a photograph of the Schier interceptor label with model number and serial number clearly visible must be provided to the Tenant.
321200	Site Paving	General: Landlord shall be responsible for vehicular paving on the premises including drive-thru lanes, parking, and drive aisles. Landlord shall prepare subsurface soils, backfill sub-base, and properly compact per the jurisdictionally approved civil engineering plans. Trash Enclosure: Provide 6" thick sealed concrete paving at trash enclosure. Extend concrete wear apron 12'-0" from front edge of enclosure toward hauler access point. Asphalt Paving: Landlord shall provide asphalt paving throughout parking area. A licensed engineer shall appropriately specify sub-base, aggregate, asphaltic binder, and sealant to apply with applicable codes. Reinforced Concrete: Landlord shall provide 6" thick normal weight stained integral black reinforced Concrete paving. Paving shall start 12'-0" prior to Tenant's order point and extend 12'-0" beyond pick-up window. Concrete shall extend width of drive-thru Lane or minimum 12'-0" from edge of curb. A licensed engineer shall appropriately size



CSI	Scope/Category	Details
		form-work, aggregate mix, reinforcement, and control joints in compliance with applicable codes. Finish per Tenant's approval.
321300	Sidewalks & Patios	Hardscape: Landlord shall provide sidewalks, curbs, curb cuts, landscape retainage, ramps, and/or stairs as needed to ensure onsite pedestrian and vehicular access. All components shall be code compliant and accessible as required by the local jurisdiction. Sidewalks shall slope away from the building at all points of entry to promote positive drainage; maximum slope of 1/4" per foot. Cast-in-place concrete shall be engineered by a licensed professional per the geotechnical report and in conformance with all applicable codes. Canopy: Landlord to provide structural outdoor canopy for covered patio seating. The canopy design shall be integral with the buildings' façade, and approved by Starbucks prior to permitting. The construction shall be permanent and designed to conform with all local and national jurisdictional requirements. Railing: Provide patio railing throughout. Patio Finish: Colored paver or stamped concrete, sealed, color per Tenant selection.
321700	Pavement Markings & Wayfinding	Wayfinding: Provide parking lot pavement markings including: accessible marking, stall striping, pedestrian access signage, and drive thru wayfinding graphics per jurisdictional requirements, and as defined in the Tenant approved site plan. Install site signage including Starbucks dedicated parking signage and accessibility signage as approved by the local jurisdiction. Wheel Stops: Provide wheel stops at all parking spaces adjacent to Tenant's sidewalk, patio, and directly next to building.
322000	Trash & Recycling	Trash Enclosure: All trash enclosures shall be sufficiently sized to accommodate Tenant's trash, recycling, and composting needs. Landlord shall initiate contact with local service provider to determine service types, Bins which meet the below minimum dimensions, pickup frequency and schedule. Required Dimensions: Provide a trash enclosure of a minimal clear size of 18'-0" wide x 9'-0" deep x 7'-0" high, with space inside the enclosure to accommodate a four (4) cubic yard trash container, a four (4) cubic yard recycling container, and two (2) sixty-four (64) gallon containers



CSI	Scope/Category	Details
		for composting materials and all other adequately sized containers required by applicable Trash and Recycling Laws in the Trash and Recycling Area sufficient for the handling of all Trash and Recyclable Materials (the "Bins"). Bins: All openings on all Bins shall have a maximum height of 3'-0" from ground level, or if the opening on any Bin is higher than 3'-0" from ground level an appropriate step shall be provided by Landlord so that the opening is 3'-0" or less from the top of the step. Cladding: No open chain link enclosures will be allowed and all construction materials and fencing materials shall be approved by Tenant. Location & Access: The trash enclosure shall be physically located on the site in a mutually agreed upon location no greater than 300'-0" from the Tenant's service door without interrupting the flow to the drive-thru lane (if applicable) or access to the parking areas or ingress or egress to and from the Premises. Pathway: The pathway from the Premises to the enclosure and the enclosure itself shall be well lit. Access pathway from rear door to Tenant's trash area shall be ramped to allow rolling access. Hose Bib: Provide a lockable hose bib within the Trash and Recycling Area. If the trash enclosure is closer than 75'-0" from Tenant's rear access door, Tenant can use hose bib adjacent to door.
328000	Irrigation Systems	Installation: Landlord shall furnish and install irrigation system in compliance with local regulations. Irrigation system shall be type drip or micro spray with weather and soil moisture sensor and SMRT Logic internet compatible. System design shall maximize delivery of water to plant areas, including planters, while minimizing over-spray, runoff and customer disruption. Controls shall be set to run at optimal times; early morning and evening, to minimize evaporation loss and business hours disruption. Metering: Irrigation system shall be separately metered and include an integral backflow prevention device. Vault type control and valves are preferred and must be accessible by Tenant. Temporary Irrigation System: If a permanent irrigation system is NOT required due to landscape type then a temporary system should be installed until plants are established. Verification the landscaping does not require an irrigation system must be provided. The prescriptive requirements are defined in the Starbucks Landscaping and Plumbing Design Guidelines and specifications.



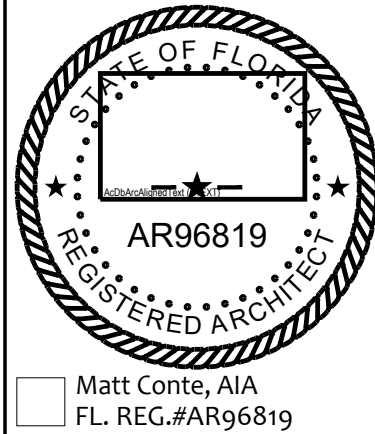
CSI	Scope/Category	Details
329300	Landscaping	Design: Landscape design must use native and adaptive variety species that are type low maintenance and require minimal to no irrigation. Additional requirements such as salt runoff or drought tolerance shall be considered regionally. Landscape shall minimize rain and irrigation run-off while conserving and utilizing existing vegetation as required. Designs shall include a mixture of trees, shrubs and ground cover to retain soil moisture, mitigate solar heat gain, and enhance the Tenant's customer experience. Trees: In no case will the caliper of newly planted trees be less than 2", and stand less than 7'-0" tall. All trees shall be staked minimum one year or until fully established. At no point shall a tree blocking visual access to prominent site features such as storefront windows, entrances, Tenant signage, site wayfinding, or pedestrian access when fully grown. Turf: No artificial turf grass is permitted on Tenant's site. Planters: All planters should be designed to ensure proper drainage and include an appropriate amount of native topsoil to ensure optimum plant health. Where applicable, provide a minimum 2" of mulch over landscape beds to retain soil moisture and minimize weed growth. Maintenance: Any landscaping designs that require maintenance items after the first year including, but not limited to, removal of planter stakes and temporary irrigation, must be scheduled at completion of landscaping work.
333100	Sanitary Sewer	General: Permit, furnish, and install at rear of Tenant's space, a 4" sanitary sewer waste line dedicated for Tenant's use. The invert elevation at the furthest point of connection shall be 27" below finished floor and maintain a minimum slope of 0-1/4" per lineal foot. Landlord shall hydro flush and video scope Tenant's sewer lateral to connection with city sewer main.
0334100	Storm Water Management	System: Provide a subsurface stormwater retention system to accommodate Tenant's building configuration, site circulation, patio, site amenities, and jurisdictional requirements as defined in the Landlord's approved site plan. Downspouts: Coordinate location of roof and canopy downspouts with Landlord's approved site plan. No direct discharge to sidewalks, drive aisles, patio, or parking lot are permitted.
335100	Gas Distribution	N/A

NOTES

LANDLORD WORK LETTERS/EXHIBITS ARE PROVIDED FOR INFORMATION AND TO BE CONSIDERED A PART OF THE CONTRACT DOCUMENTS FOR CONSTRUCTION. THE CONTRACTOR SHALL BECOME FULLY AWARE OF THE REQUIREMENTS OF THE WORK LETTERS. IF THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THE WORK LETTERS, THE WORK LETTERS TAKE PRECEDENCE. ADVISE THE OWNER OF ANY DISCREPANCY PRIOR TO PROCEEDING WITH WORK. CONFIRM THE SCOPE AND REQUIREMENTS OF THE WORK LETTER WITH THE OWNER AND ADDITIONALLY CONFIRM THE LETTERS INCLUDED HEREIN ARE CURRENT AND ACCURATE

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26 JUN 2023



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PROJECT TEAM:
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REVISIONS		
#	DATE	DESC.
-	06.26.2023	PERMIT SUBMITTAL

A004
WORK LETTER



CSI	Scope/Category	Details
073000	Roof Assembly	General: Landlord shall provide fully adhered or mechanically fastened 60 MILS (nominal thickness) EPDM or TPO roofing system. System shall conform with applicable federal, state, provincial, and local building codes, and be engineered to satisfy site specific structural, fire, and thermal requirements. Insulation shall be minimum R-38 or comply with the minimum prescriptive values outlined in the IECC (International Energy Conservation Code). System shall include underlayment, rigid board insulation, glass mat cover board, sheet flashing, edge sealants, saddles, corners, and vent flashing. Structure: Roof Structure shall be designed in conformance with local codes and engineered to resist uplift, live, and dead loads requirements. In addition, structure shall be sized to support Tenant's RTUs, utility fan, and remote condenser (if applicable, in locations to be coordinated with Tenant). Finish: SRI (Solar Reflectance Index) = 79 minimum Flexible Walkways: Install walkway products in locations to permit travel from rooftop access to all utilities. Heat weld to substrate or adhere with compatible adhesives. Penetrations: Landlord shall furnish and install rooftop penetrations, curbs, and associated flashings. Size and location of penetrations shall be coordinated with and approved by Tenant prior to installation. Penetrations shall include and not be limited to the following: 1. Plumbing Vents - Extend 12" into building for Tenant's tie-in 2. Water Heater B-Vent 3. Utility Set Fan Curb 4. RTU Curbs 5. Electrical and Gas penetration for RTU's (home run elec. conduit back to tenants distribution panel) 6. Electrical Signage penetrations (home run elec. conduit back to tenants distribution panel) 7. Line set penetration for Ice maker (if applicable) 8. Sleepers for condensers (if applicable) Rooftop Access (Exterior): Provide aluminum channel exterior rooftop access ladder at rear of building in Tenant approved location. Ladder shall be fixed exterior grade with lockable access. Ladder shall be in compliance with OSHA regulations and conform with local and national



CSI	Scope/Category	Details
		codes. Drainage: Landlord shall furnish and install jurisdictionally approved rooftop drainage to tie in with site and/or municipal stormwater management system. Scupper and downspouts shall be minimum .032" thickness formed and coated aluminum, color to match adjacent finish. Coordinate scupper/downspouts with exterior building elements and Tenant provided signage.
084000	Exterior Openings	General: Landlord shall furnish and install all exterior doors, frames, windows and/or storefront system in compliance with all local and national codes. Thermal resistance of all openings shall comply with the prescriptive requirement of the IECC (International Energy Conservation Code). Vestibule: In Climate Zone 5 and above, Landlord shall furnish and install heated entry vestibule in conformance with the barrier free provisions of the code and applicable energy code requirements. Steel Doors: Landlord shall furnish and install up to [2] commercial grade 42" x 84" rear service door(s). Door(s) shall be cold rolled and welded 16 gauge steel with polystyrene core. Frames shall be Double Rabbit fully welded 14 gauge steel. Finish hot dip galvanealed coating with two [2] coats shop prime color similar to finish. Aluminum Storefront: Storefront shall be 2" x 4-1/2" extruded aluminum section in conformance with ASTM B221; center set; flush design; thermally broken. Doors shall be heavy duty aluminum/glass type; out swinging with 10" bottom rail. Design and size members and anchorages to withstand wind loads as required by the jurisdictional code, and to resist door pivot and closer reaction forces. Finish shall be anodized; coordinate color with Tenant. Provide hurricane resistant frames and associated anchorage for special wind regions as defined in ASCE 7-05. Glazing: Storefront glazing to be clear, non-tinted, non-reflective, double glazed and low-e with U-value complying with the appropriate climatic zone in the IECC (International Energy Conservation Code) or local jurisdictional requirements. Provide impact resistant glazing in hurricane or special wind regions as defined in ASCE 7-05. Hardware: Landlord shall furnish and install all exterior door hardware in compliance with federal, state, provincial, and local building, life safety, and accessibility requirements. Aluminum Storefront: Weather stripping: Hard-backed poly pile in door and/or frame



CSI	Scope/Category	Details
		Threshold: Extruded aluminum with ribbed surface Sill Sweeps: Brush strip, concealed Pivoting/Hinging: Offset pivot; top and intermediate Closers: Dorma BTS 80 NHO; concealed floor closer; single acting; offset pivot Latches/Strike: Adams-Rite MS1830 with provisions for keyed cylinders on interior face only; mount to bottom rail Keying: All lockset and deadbolts shall be keyed as directed by owner Push/Pulls: Arcadia Radius Push-Pull Set; straight pull option; clear finish Cylinder Guard Transom Decal: ("THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS") Exterior Service Door: Threshold: National Guard - 325 Half Saddle Threshold Securing device: Falcon Lock - C607 7-Pin Core Combination "A" Keyway Securing device: Sur-Lock - I/O 2000L-031C Auto Locking Door Alarm, IC, No CTR Includes - Mortise Cylinder Closer: Dorma - 8916 Door Closer 8916 AF89P Kickplate: Rockwood - 10" Kickplate Peep Hole: DS-6 Door Spy Door Bell: Nutone - MCV309NWHGL Door Bell Door Stop: Rockwood 473 Door Stop with Hook Miscellaneous: National Guard - 16A Rain Drip Miscellaneous: National Guard - 137NA Weather Strip Regional: Provide fly fan and associated power per jurisdictional requirements Finishes: General: US26D, Satin Chrome Plated, except: Push Plates, Door Pulls, Kickplates: US32D, Satin Stainless Steel Door Closers: 689/Sprayed Aluminum
085000	Drive Thru Window	General: Landlord shall furnish and install fully operational Ready Access™ Series 600 MOER drive-thru service window. Include transom, sidelights, heater and/or air curtain as required per local code. Window and air curtain finish to match adjacent storefront. Select



CSI	Scope/Category	Details
		window based on Tenant provided criteria and geographic location of store. Coordinate window configuration (right to left or left to right) with Tenant. Electrical: Install Electrical for Drive thru window and fly fan per manufacturer's specifications. Heated Air Curtain: Install one [1] dedicated 40 amp 208/240 single phase circuit for heated air curtain system per manufacturer's specifications. Window Shelf: Install service window shelf at 36" AFF inside and 42" outside as measured above drive-thru surface. Finish shall be exterior grade, durable, no reflective surface per Tenant's approval. Example: Paperstone, Corian or equal
092000	Wall Assembly	General: Landlord shall provide exterior masonry wall construction and interior Gypsum Wallboard (GWB) demising walls. System shall be designed to resist dead and live loads, based on jurisdictional requirements. Insulation: Provide continuous wall insulation from floor to deck in sufficient thickness to meet the minimum resistance of R-21 or R13+R6.5ci (continuous insulation). In cold weather zones, provide additional insulation as required to meet the prescriptive envelope requirements of the IECC. Blocking: Landlord shall provide wall anchorage for all exterior Tenant furnished items. Design anchorage to resist vertical and lateral loads, with a safety factor of 2. Gypsum Wallboard (GWB): Landlord shall provide GWB on interior face of exterior masonry walls. Provide 6" interior furring and GWB on all exposed masonry walls. Furnish boards of maximum permissible length, with tapered edge for boards to be exposed, taped, and finished; min. 0-5/8" thick. Install per GA216 and requirements for each fire assembly. Coordinate all rough-in wall conduits, plumbing, and blocking with Tenant prior to installation of GWB. Provide interior furring and GWB on all exposed masonry walls. Interior walls shall be Level 4 finish primed white. Penetrations: Wall penetrations for Tenant provided fixtures, including but not limited to; building signage, sconce lighting, exterior speakers, exterior outlets, and frost-proof hose bibs shall be provided by the landlord. Penetration locations shall be coordinated with Tenant prior to installation and shall be properly waterproofed and flashed. Junction



CSI	Scope/Category	Details
		boxes with conduits and pull string shall be stubbed into Tenant's space for future connectivity.
095000	Ceiling Assembly	General: Landlord shall deliver Tenant's space with ceiling open to structure. Ceiling assembly shall meet the hourly fire ratings approved by the local jurisdiction having authority. Ceiling assembly, including fireproofing, insulation, wood, concrete, or metal structure, shall be prepped and primed to receive Tenant's future finish. Landlord shall coordinate height to bottom of structure with Tenant, and shall include adequate spacing for ceiling finishes, lighting, HVAC, and fire sprinkler system (if applicable).
107000	Site Accessories	Bike Rack: Landlord shall install Tenant approved bike rack(s). Install in a mutually agreed upon location which limits pedestrian disruption and adheres to the barrier free provisions of the code. Screening: Landlord shall provide site screening as necessary to reduce noise and light transfer to adjacent sites. Utility Screening: Landlord shall provide screen fence per Tenant's Design Criteria at rear of building to screen utility meters and rear access door from drive-thru lane. Finish: All screening shall be complementary to building aesthetic and placed in accordance with local jurisdictional requirements and Tenant's Design/Technical Criteria Package and coordinated site plan.
107300	Exterior Canopies	Metal: Landlord shall obtain permits, furnish, and install weather protective canopy above all entry and Egress doors at a minimum (9'-0") clear above finish floor. Canopy shall be metal type galvalume minimum 22-gauge steel in conformance with ASTM A792 A250. Canopies shall not drain onto pedestrian areas. Color: Color and canopy design per Tenant's approval.
107300A	Drive Thru Exterior Canopies	Drive Thru Canopy: Landlord shall obtain permits, furnish and install weather protective canopy above Drive-Thru window at a minimum (9'-6") clear above drive through lane. Canopy shall be metal type galvalume minimum 22-gauge steel in conformance with ASTM A792 A250. Minimum 5'-0" projection from the building per Tenant's Design Criteria. Color: Color and canopy design per Tenant's approval.



CSI	Scope/Category	Details
210000	Fire Protection	General: If required by applicable codes; Landlord shall engineer, obtain permits, furnish and install a certified fire sprinkler system in dedicated riser room. Locate fire main in BOH in Tenant approved location. Include flow valve, tamper devices, back flow prevention and applicable clearances as required by the authority having jurisdiction. System shall be fully operational and connect to Landlord provided fire alarm system. Installation: Landlord shall coordinate installation of sprinkler system with Tenant provided plans. Uprights, side wall, pendant, and concealed heads shall be fully coordinated with Tenant's interior layout plans and conform with all applicable codes. Sprinkler installation shall be coordinated with Tenant's GC to ensure system is inspected, certified, and fully operational prior to Tenant's occupancy.
224200	Plumbing Fixtures & Equipment	Plumbing Vents: Furnish, engineer, and install all plumbing vents required for tenant's future construction. Vents shall be properly sized based on tenant's future fixture unit count. Landlord shall properly flash roof penetration and extend pipe to terminate in the ceiling above tenant's space. Hose Bibs: Provide (2) lockable recessed frost-free bibs, located adjacent to tenants BOH entry and patio area. Final location shall be coordinated with tenant's plans prior to installation. Hose bibs shall be connected to a 0-3/4" insulated copper pipe, run through wall, and terminated above tenant's space. Leave piping exposed and visible for tenant's future connection. If system is pressurized provide ¼ turn shut off valve. Metering: If hose bibs are dedicated to Tenant, Landlord shall run water usage through Tenant's water meter.
233000	HVAC Ductwork	General: Landlord shall furnish and install RTU's drop plenum when units are set. Extend supply and return air 3'-0" below ceiling for future Tenant tie-in. Tenant will furnish and install all HVAC duct work throughout space.
233400	Exhaust Fan & Ducting	Fan: Furnish and install rooftop exhaust fan, associated curb, roofing, flashing, and electrical connection to ensure fully operational system. Size fan based on the following criteria: Exhaust 80 cfm per restroom (min. 2) and 70 cfm per oven (min. 2)

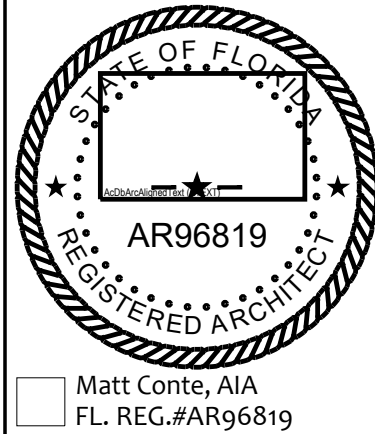


CSI	Scope/Category	Details
237000	HVAC	Units: Furnish and install high efficiency HVAC rooftop units (RTUs), including, curbs, structural support and associated electrical, plumbing and, gas connections as required to ensure completely functional system. Tenant's approved manufacturers are Carrier and Trane. Landlord shall utilize Starbucks National HVAC Purchasing Program for unit procurement, per Tenant provided criteria package. Capacity: Furnish no less than 1 ton of cooling capacity per 125 SF. Furnish heating capacity per engineered calculations specific to the local climate zone of the site. Tenant prefers minimum two [2] zones of conditioned air distributed between Tenant's BOH and café space. System shall be engineered per ASHRAE 90.1-2013 and in compliance with local energy code (whichever is more stringent). Provide ducted fresh air intake integrated into air handling system in accordance with ASHRAE 62.1-2013. Accessories: HVAC units shall include barometric relief and economizers when required by code. HVAC units 7.5 tons and larger with economizers shall have powered exhaust interlocked to operate with economizer. HVAC units with 2000 CFM delivery or greater shall be provided with a duct mounted smoke detector in the return air duct. Units serving café space shall provide Demand Control Ventilation. Plumb all condensation drain lines per local code requirements. Thermostats: Landlord shall provide a minimum length of 150'-0" of low voltage thermostat cable for Tenant's future use. Cable shall be looped and left in the ceiling space, wired to units. Start-Up: HVAC Unit(s) shall be tested, operable and furnished with minimum MERV 8 filters. Coordinate initial mechanical start-up per manufacturer's recommendation and provide Tenant with documentation of start-up as needed to support Tenant's Commissioning requirements. Required commissioning documentation includes: Starbucks Commissioning Photo List, and Starbucks Pre-Functional Checklist (HVAC sections only). Landlord shall provide repair & maintenance documentation including but not limited to unit specifications, operations manual, testing and balancing documentation, serial number and warranty. Temporary Heating/Cooling: Provide temporary heating/cooling to the premises if space is not tempered at start of construction or delivery.
260923	Electrical	Feeders: Landlord Shall furnish and install; concealed below grade, electrical feeders from utility service point to Tenant's main panel on Premises. Standard electric service shall be 600 amp, 208Y/120V, 3 phase, 4 wire.

NOTES

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26 JUN 2023



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Javier Rossa

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A005
WORK LETTER



CSI	Scope/Category	Details
		<p>Where these electrical service characteristics cannot be met due to site conditions, adjustments shall be made to the electric gear to accommodate the differences in voltage, and/or phase.</p> <p>Electrical Panels: Landlord shall furnish and install two electrical panels (Square D or equal) with a minimum of 84 circuit spaces, including breakers per Tenant's construction drawings . Provide sub-feed lugs in one panel for sub-feeding the other panel. Feeder entry shall be concealed in wall through stub-ups. Locate panels in the back of house area adjacent to rear delivery door with 36" (minimum) clearance in front of panels. The tenant main panel shall be 400A/600A main lug only panel. The tenant's sub-panel shall be 225A (minimum) main circuit breaker panel fed by sub-feed lugs in the main panel. Sub-panel shall be capable of accepting multi-pole GFCI circuit breakers up to 50A (as required to comply with NEC 210.8). The sub-panel shall be a series rated system between the main circuit breaker and the branch breakers within the panel to allow for 10kAIC rated breakers to be utilized. Label the panel as series rated per NEC requirements. Motor load on the sub-panel shall be less than 100A.</p> <p>Metering: Landlord shall provide metered service and disconnect for Tenant's use only. Starbucks service shall be metered; as required by local utility company and capable of recording instantaneous kilowatts, kilowatt-hours, and peak demand. The preferred location for the meter is on the exterior of the building adjacent to the delivery door, hidden from public view.</p> <p>Transformer: Landlord shall provide a step-down transformer when site conditions dictate an alternate service. The transformer shall be dry-type with minimum Class 155 insulation and shall meet the Department of Energy (DOE) requirements for efficiency. Step-down transformer shall be located at rear of building, mounted on a concrete pad in an area not to conflict with Tenant's drive thru (if applicable) and shielded from customer view.</p> <p>Temporary Power: If permanent electrical service is not available on the delivery date as defined in the lease, temporary service shall be provided by the Landlord. Provide service required for construction operations, with branch wiring and distribution boxes located to allow service and lighting by means of construction-type power cords. Landlord shall provide additional temporary lighting for construction operations.</p>



CSI	Scope/Category	Details
		<p>door. Actuator and bollard placement shall conform with the barrier free provisions of local and national codes. Conduit, pull string, and wiring shall be run through store front jamb or wall assembly, and terminate in header above entry door.</p>
265600	Site Lighting	<p>Infrastructure: Landlord shall provide exterior lighting, conduit, wiring, footings, poles, and fixtures necessary to ensure site illumination meets minimum lighting levels as outlined below. The lighting design shall satisfy all local jurisdictional requirements including site specific regulations such as dark sky ordinances.</p> <p>Performance: Exterior lighting shall meet the following foot-candle requirements: Minimum Illumination Requirements: 1. Signage: Locate to maximize visibility, provide illumination 750 cd/m2 at signage plane 2. Site entry: Provide 15-20 fc 3. Drive Thru Entry: Provide 15 fc at entry and 20 fc at window (if applicable) 4. Building Entry: Provide 20-25 fc average 5. Patio: Provide 15 fc average 6. Parking & Sidewalks: Provide 1.5 - 2.0 fc minimum 7. Service Door: Provide 5 fc average</p> <p>Energy Usage: Exterior lighting shall meet the following maximum energy usage requirements per (ASHRAE 90.1-2007) Fixtures: Fixtures shall be type LED, 3000K - 4000K 90+ CRI, fully sealed, aluminum fixtures with shielded luminaire. Pole lighting shall be in scale with Tenant's cafe, and never taller than the building. Lighting shall be held away from the building facade, fenestration, and entry to mitigate unwanted glare. Pole lighting shall be minimal in appearance, simple, modern, and non-obtrusive. Fixtures shall be anodized aluminum, single and twin pole luminaires with asymmetrical wide-spread distribution and adjustable reflectors. Provide 10'-0" to 12'-0" height (pedestrian scale) pole lighting at sidewalks and parking areas adjacent to building. Provide 18'-0" to 22'-0" height (tall) parking lot lighting at adequate spacing to ensure security lighting for parking field.</p> <p>Controls: Any exterior building lighting dedicated to Tenant occupancy shall require controls within Tenant's space.</p>

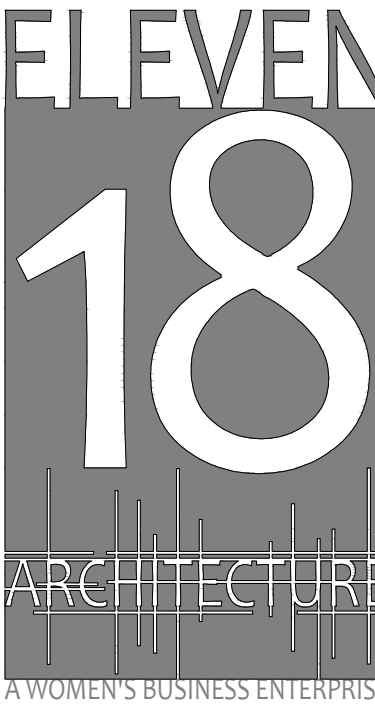
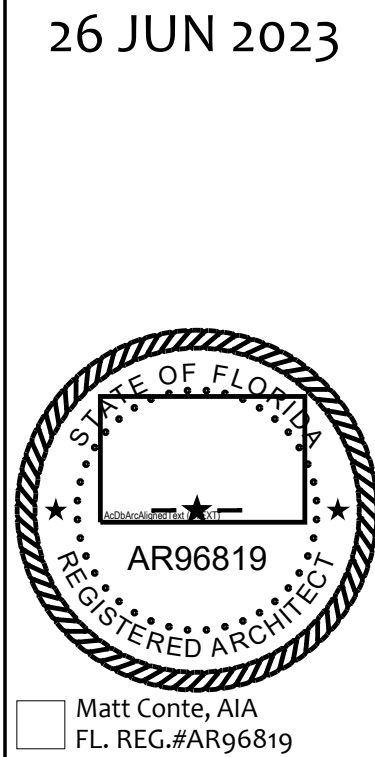


CSI	Scope/Category	Details
273300	Site Internet & Voice Systems	<p>Landlord Initiated Connectivity: Telecommunication services will be ordered by Starbucks for the space leased however to provide Starbucks with point of feed exhibits and Landlord to coordinate initial installation of communication infrastructure with local telco or broadband provider, including the termination of ONT (Optical Network Termination) fiber and/or broadband node at the minimum point of entry. Landlord to provide electrical connectivity for potential LEC (Local Exchange Carrier) fiber node or broadband router as well as a backboard per local specification for service termination and demarcation point placement. Starbucks will require at least fiber or broadband services with minimum speeds of 50x10 Mbps. In exceptional situations, Starbucks might need access to mount roof antennas.</p> <p>Distribution: Provide [2] - 2" conduit pathways with pull strings, [1] for voice cabling, and [1] for internet cabling from LEC (Local Exchange Carrier) and cable MPOE (Minimum Point Of Entry) to Tenant's space. LEC (Local Exchange Carrier) and cable MPOE (Minimum Point Of Entry) may not be co-located. Terminate conduit in Tenant's space at the ceiling above the manager's workstation in the back of house, or as otherwise designated by Tenant.</p> <p>Service Entry: Landlord shall provide minimum 4" conduit for service entrance, or size per requirements of local service provider. Provide labeled, end-to-end pull strings in all conduits for future use.</p> <p>Remote Spaces: If Tenant's cafe space is located in multiple spaces, (e.g. kiosk with remote office and/or cafe with remote storage), Landlord will provide (2) separate 2" conduit paths to allow voice and internet connectivity between detached spaces.</p>
284600	Fire Alarm	<p>Base System: If required by applicable code; Landlord shall obtain permits, furnish, and install building monitoring and fire protection system. System shall include audible alarms, visual strobes, duct smoke and heat detectors and actuators as required per applicable codes.</p> <p>Monitoring: Central station monitoring, if located in Tenant's space, shall be furnished and installed by Landlord, placed in Tenant's approved location, and in accordance with applicable codes.</p> <p>Installation: Landlord shall be responsible for installation of all conduits, boxes, and operable components of alarm system. Phased installation of alarm system (if applicable) shall be coordinated with Tenant's construction schedule. Landlord shall manage commissioning and inspection of alarm system prior to Tenant occupancy.</p> <p>Modifications: Modification to base building design, as required to</p>



CSI	Scope/Category	Details
		coordinate with Tenant's build-out, shall be performed by Landlord and finalized prior to owner's occupancy.
481000	Solar	N/A

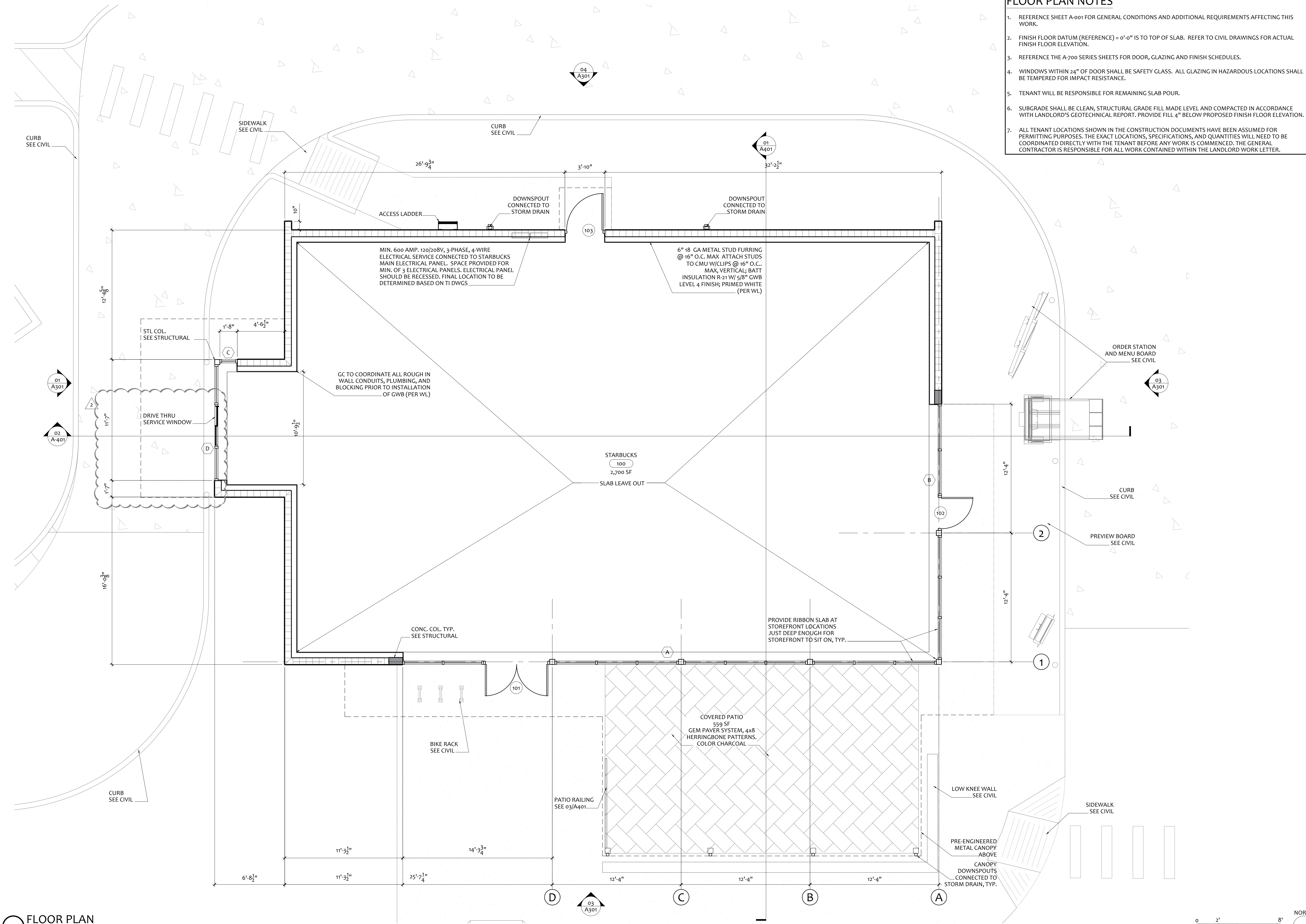
Landlord: Hill/Gray Seven LLC Tenant: _____
Print Name: _____ Print Name: _____
Title: _____ Title: _____
Date: _____ Date: _____



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NOTES

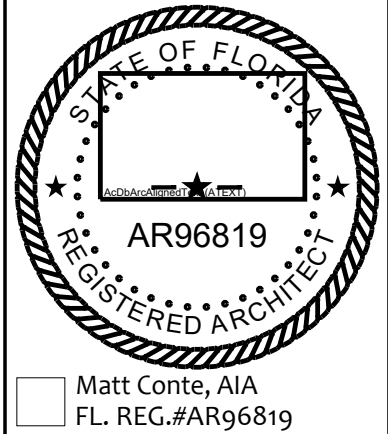
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- FLOOR PLAN NOTES**
- REFERENCE SHEET A-001 FOR GENERAL CONDITIONS AND ADDITIONAL REQUIREMENTS AFFECTING THIS WORK.
 - FINISH FLOOR DATUM (REFERENCE) = 0'-0" IS TO TOP OF SLAB. REFER TO CIVIL DRAWINGS FOR ACTUAL FINISH FLOOR ELEVATION.
 - REFERENCE THE A-700 SERIES SHEETS FOR DOOR, GLAZING AND FINISH SCHEDULES.
 - WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLASS. ALL GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED FOR IMPACT RESISTANCE.
 - TENANT WILL BE RESPONSIBLE FOR REMAINING SLAB POUR.
 - SUBGRADE SHALL BE CLEAN, STRUCTURAL GRADE FILL MADE LEVEL AND COMPACTED IN ACCORDANCE WITH LANDLORD'S GEOTECHNICAL REPORT. PROVIDE FILL 4" BELOW PROPOSED FINISH FLOOR ELEVATION.
 - ALL TENANT LOCATIONS SHOWN IN THE CONSTRUCTION DOCUMENTS HAVE BEEN ASSUMED FOR PERMITTING PURPOSES. THE EXACT LOCATIONS, SPECIFICATIONS, AND QUANTITIES WILL NEED TO BE COORDINATED DIRECTLY WITH THE TENANT BEFORE ANY WORK IS COMMENCED. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WORK CONTAINED WITHIN THE LANDLORD WORK LETTER.

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mlopez@eleven18architecture.com
PROJECT TEAM:
Javier Rosas

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2	08.30.2023	COUNTY COMMENTS

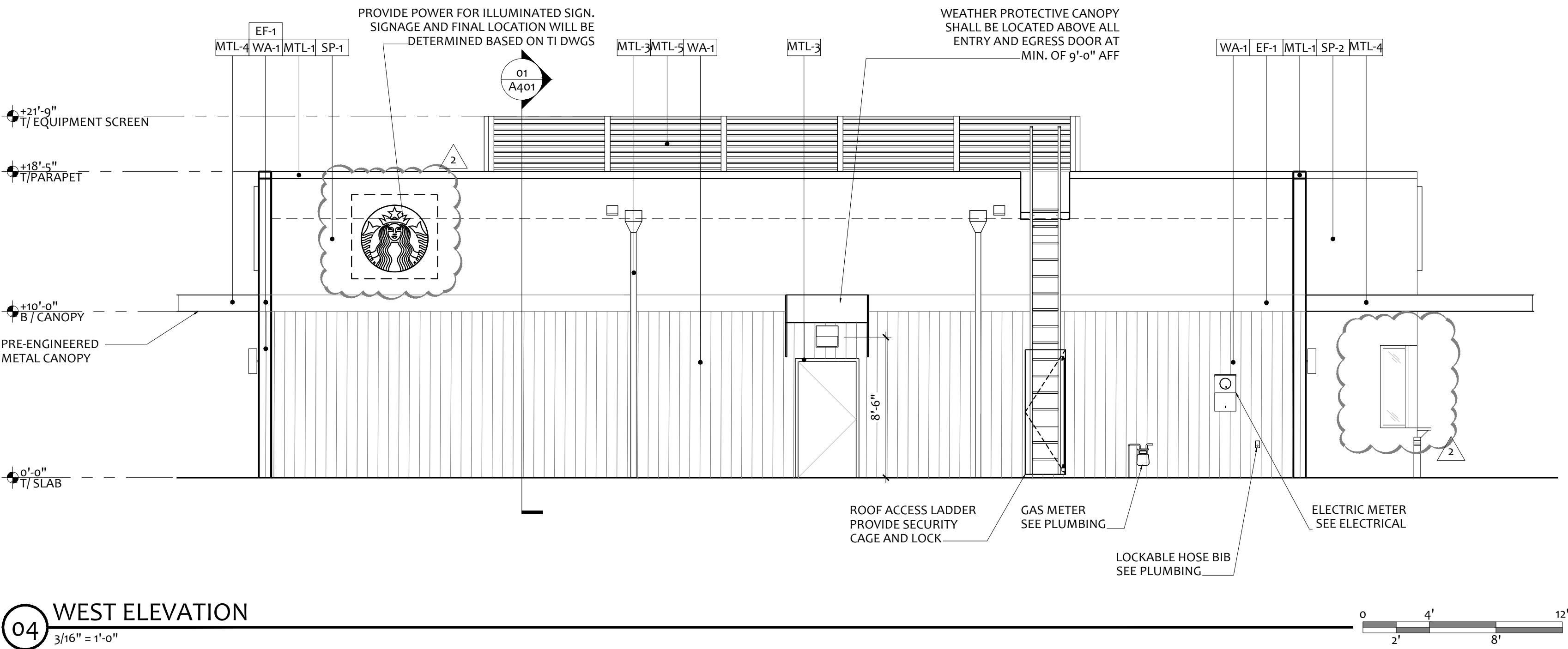
A201
FIRST FLOOR PLAN

ELEVATION NOTES

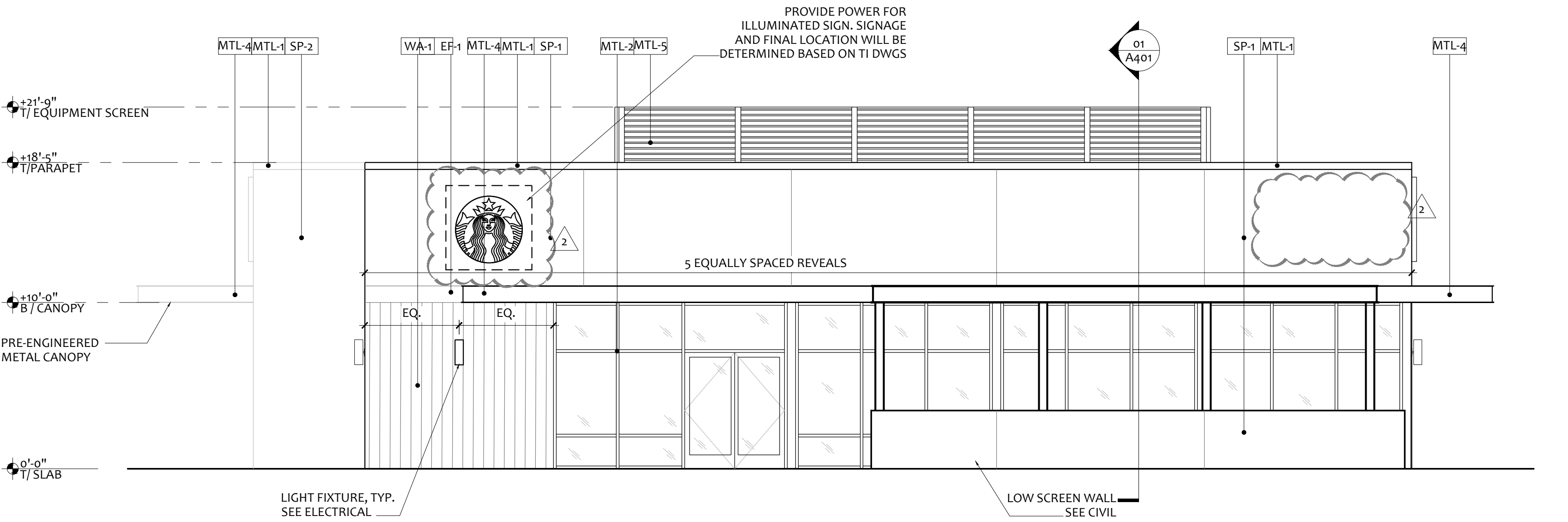
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- FINISH FLOOR DATUM (REFERENCE) = 0'-0" IS TO TOP OF SLAB. REFER TO CIVIL DRAWINGS FOR ACTUAL FINISH FLOOR ELEVATION.
- ALL PRE-MANUFACTURED TRIM, MOULDINGS, CLADDING & COMPONENTS SHALL BE FASTENED & ADHERED TO BUILDING PER MANUFACTURER SPECIFICATIONS TO WITHSTAND DESIGN WIND PRESSURE IDENTIFIED ON STRUCTURAL DRAWINGS.
- COORDINATE WITH ARCHITECT THE LOCATION OF ALL ADDITIONAL CONTROL JOINTS REQUIRED BUT NOT INDICATED ON PLANS.
- ALL EXTERIOR SURFACES TO BE PAINTED IN FIELD OR BE PROVIDED WITH FACTORY OR SHOP APPLIED FINISH AS REQUIRED. ALL COLORS SHALL BE SELECTED BY ARCHITECT, APPROVED BY OWNER.
- COLOR AND CANOPY DESIGN PER TENANT'S APPROVAL. CANOPIES SHALL NOT DRAIN ONTO PEDESTRIAN AREAS.
- DRIVE THROUGH CANOPY SHALL HAVE A MINIMUM 5'-0" PROJECTION FROM BUILDING PER TENANT'S DESIGN CRITERIA.

ELEVATION FINISH LEGEND

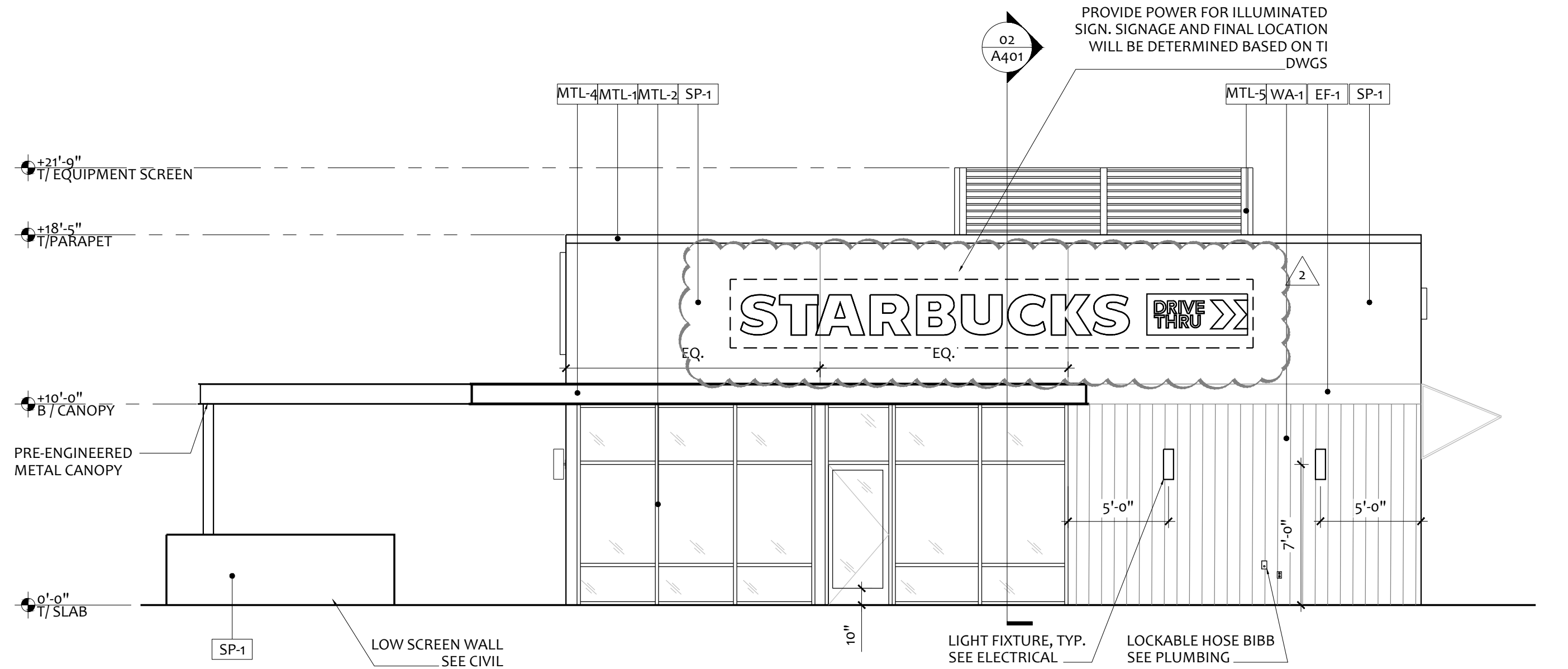
CODE	MATERIAL	MANUFACTURER	DESCRIPTION	
			COLOR	NOTES
SP-1	STUCCO	---	SW 7504 "KEYSTONE GRAY"	
SP-2	STUCCO	---	SW 7026 "GRIFFIN"	
EF-1	EIFS	---	MATCH FLAT BLACK CANOPY/STOREFRONT	
WA-1	WOOD PANEL SYSTEM	NICHIHA AWP 3030	VINTAGE WOOD / BARK	INSTALLED VERTICALLY
MTL-1	METAL COPING	---	PREFINISHED TO MATCH BLACK	
MTL-2	ALUMINUM STOREFRONT SYSTEM	---	BLACK ANODIZED	
MTL-3	HOLLOW METAL FRAME & DOWNSPOUT	---	PAINT SEMI GLOSS BLACK	
MTL-4	PRE-ENGINEERED METAL CANOPY	---	POWDERCOAT TO MATCH FLAT BLACK	METAL TYPE GALVALUME MIN 22GA STEEL
MTL-5	ROOFTOP EQUIPMENT SCREEN	ARCHITECTURAL LOUVERS / V6JF	POWDERCOAT TO MATCH FLAT BLACK	RECTANGULAR UNIT W/ STIFFENERS - INSET MOUNT



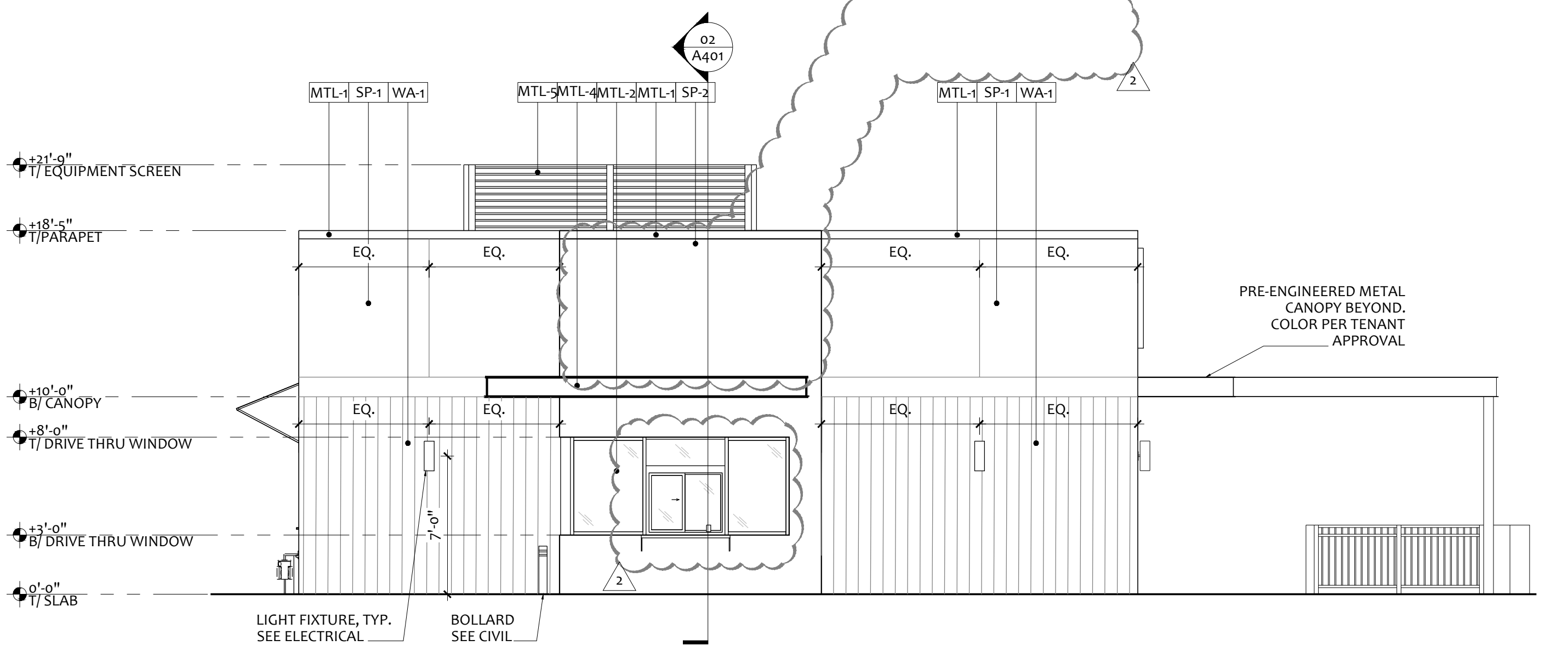
04 WEST ELEVATION
3/16" = 1'-0"



03 EAST ELEVATION
3/16" = 1'-0"

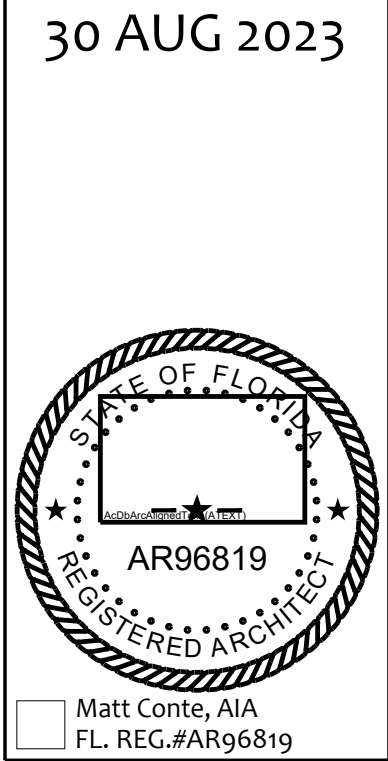


02 NORTH ELEVATION
3/16" = 1'-0"



01 SOUTH ELEVATION
3/16" = 1'-0"

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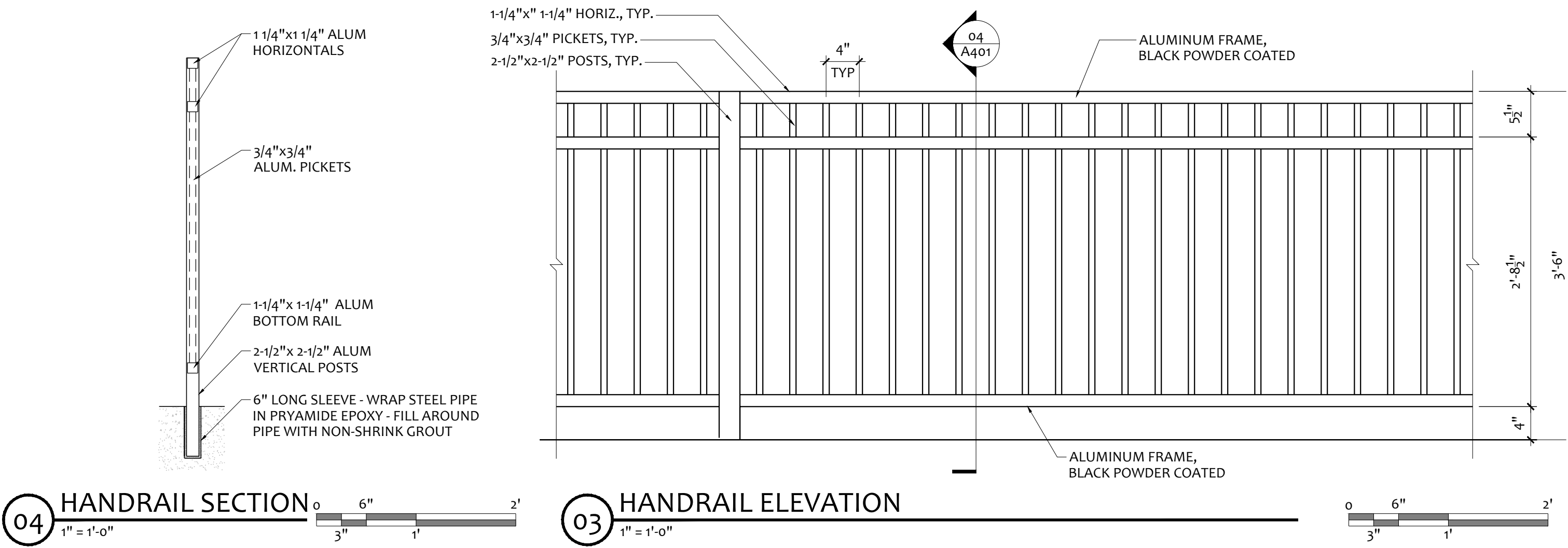
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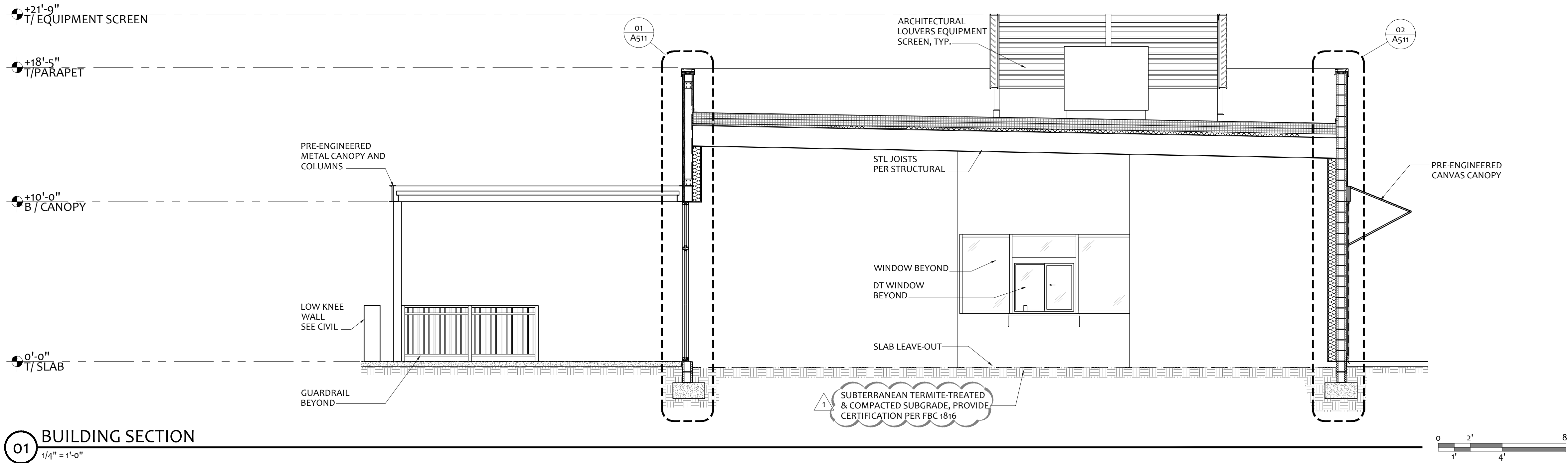
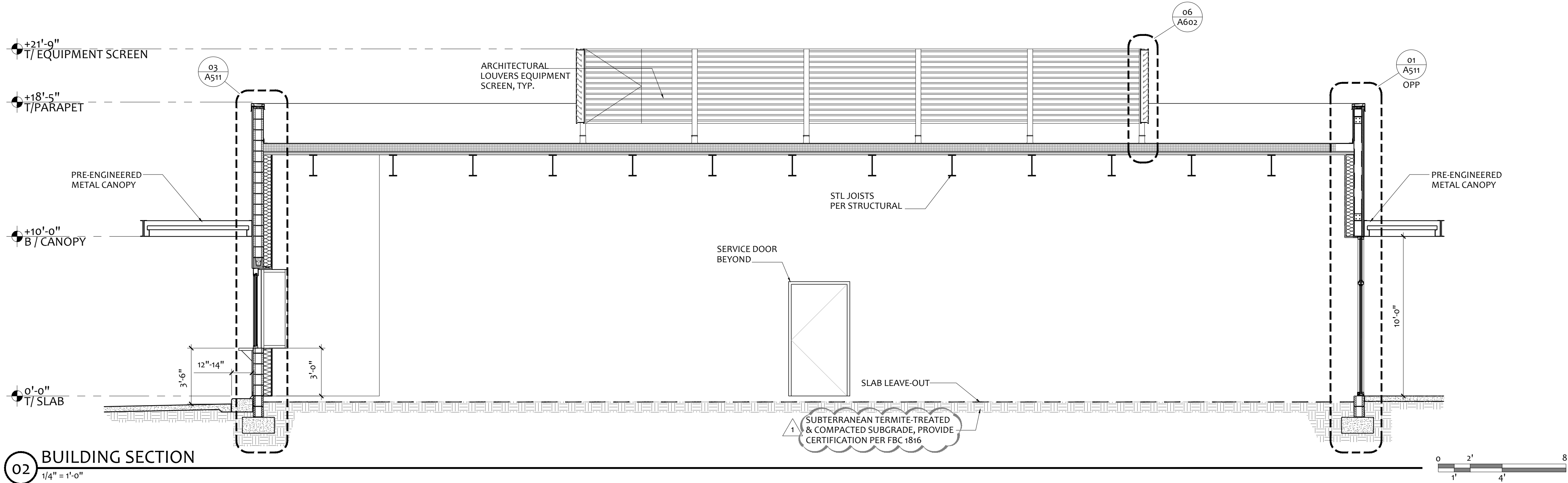
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A301
EXTERIOR ELEVATIONS

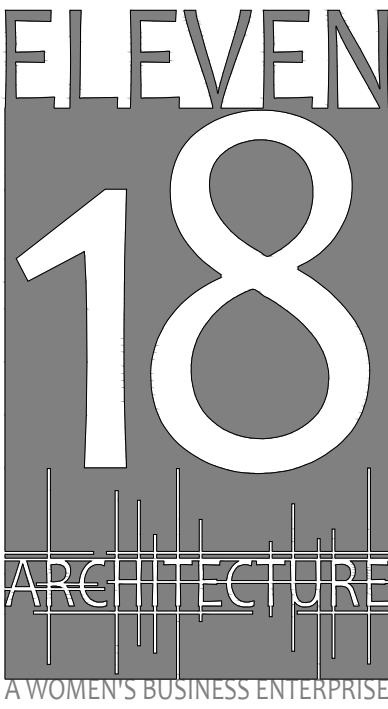
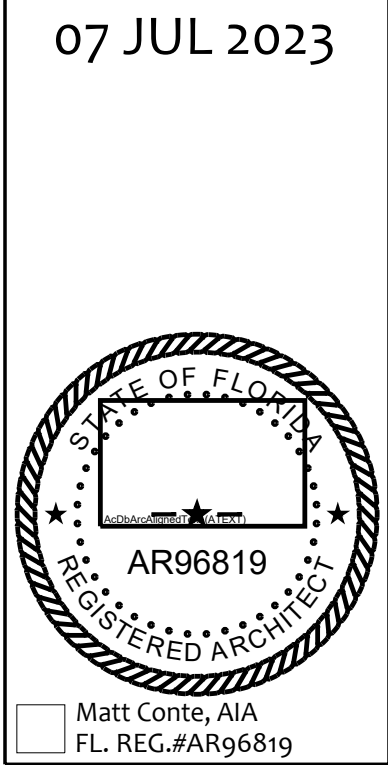


BUILDING SECTION NOTES

1. REFERENCE SHEET A-001 FOR GENERAL CONDITIONS AND ADDITIONAL REQUIREMENTS AFFECTING THIS WORK.
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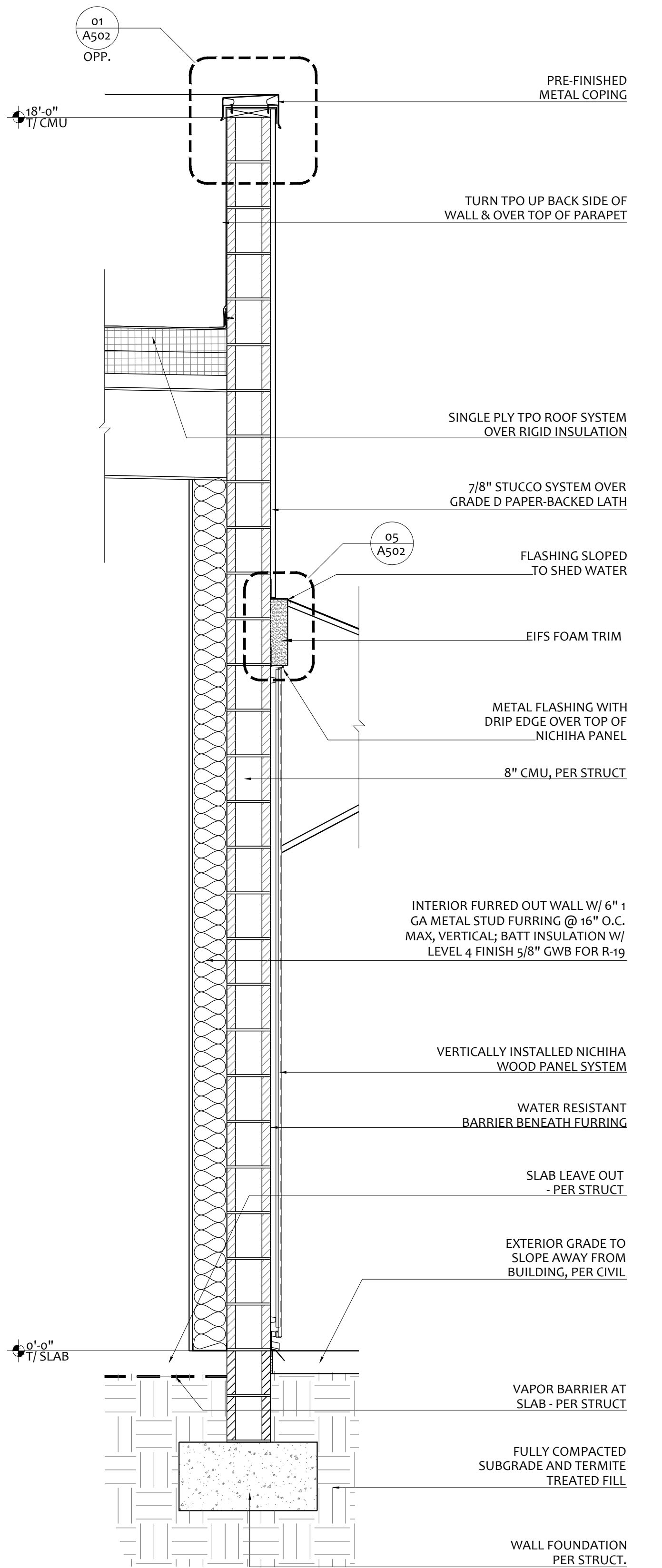
A401
OVERALL BUILDING
SECTIONS

WALL SECTION NOTES

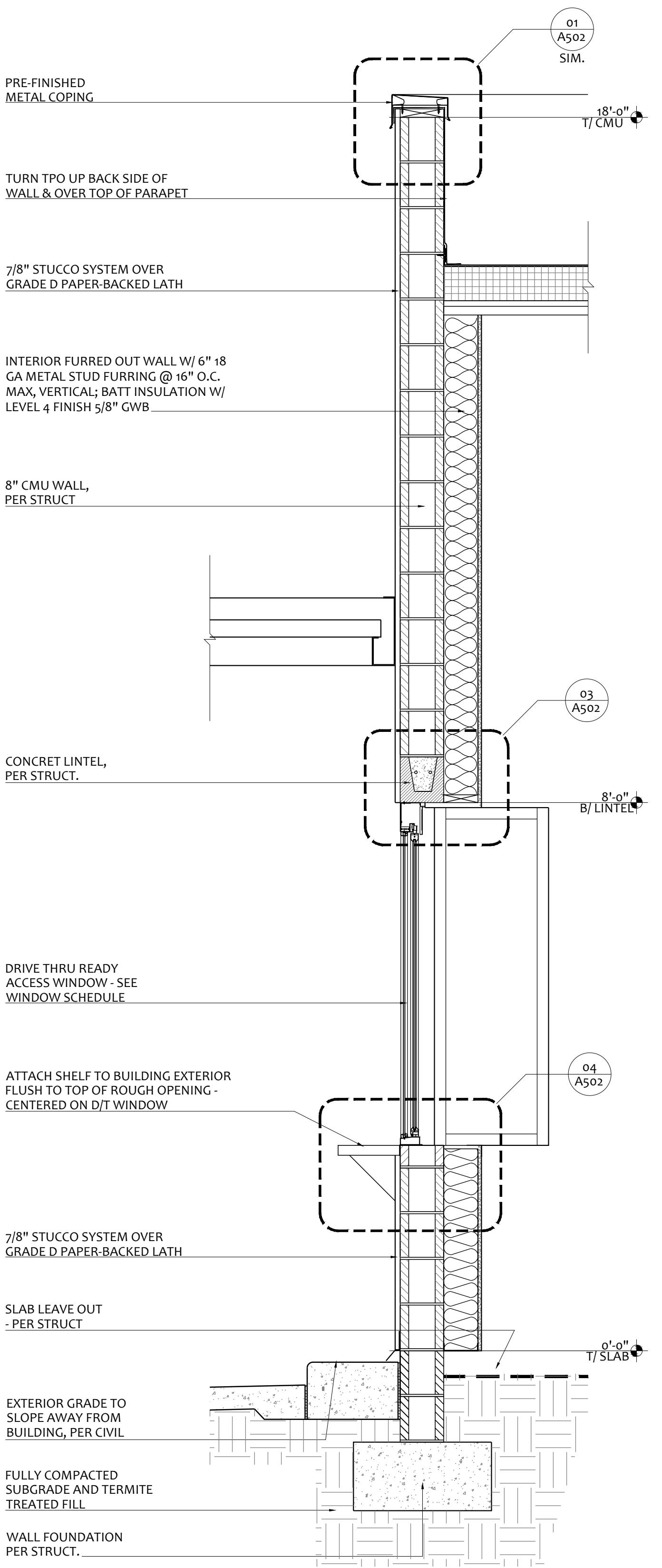
1. LANDLORD SHALL PROVIDE GWB ON INTERIOR FACE OF EXTERIOR MASONRY WALLS. PROVIDE 6" INTERIOR FURRING AND GWB ON ALL EXPOSED MASONRY WALLS. FURNISH BOARDS OF MAXIMUM PERMISSIBLE LENGTH, WITH TAPERED EDGE FOR BOARDS TO BE EXPOSED, TAPED, AND FINISHED; MIN. 5/8" THICK. INSTALL PER GA-216. COORDINATE ALL ROUGH-IN WALL CONDUITS, PLUMBING, AND BLOCKING WITH TENANT PRIOR INSTALLATION OF GWB. INTERIOR WALLS SHALL BE LEVEL 4 FINISH PRIMED WHITE.
2. WALL PENETRATIONS FOR TENANT PROVIDED FIXTURES, INCLUDING BUT NOT LIMITED TO, BUILDING SIGNAGE, SCONCE LIGHTING, EXTERIOR SPEAKERS, EXTERIOR OUTLETS, AND FROST-PROOF HOSE BIBS SHALL BE PROVIDED BY THE LANDLORD. PENETRATION LOCATIONS SHALL BE COORDINATED WITH TENANT PRIOR TO INSTALLATION AND SHALL BE PROPERLY WATERPROOFED AND FLASHED. JUNCTION BOXES WITH CONDUITS AND PULL STRING SHALL BE STUBBED INTO TENANT'S SPACE FOR FUTURE CONNECTIVITY.

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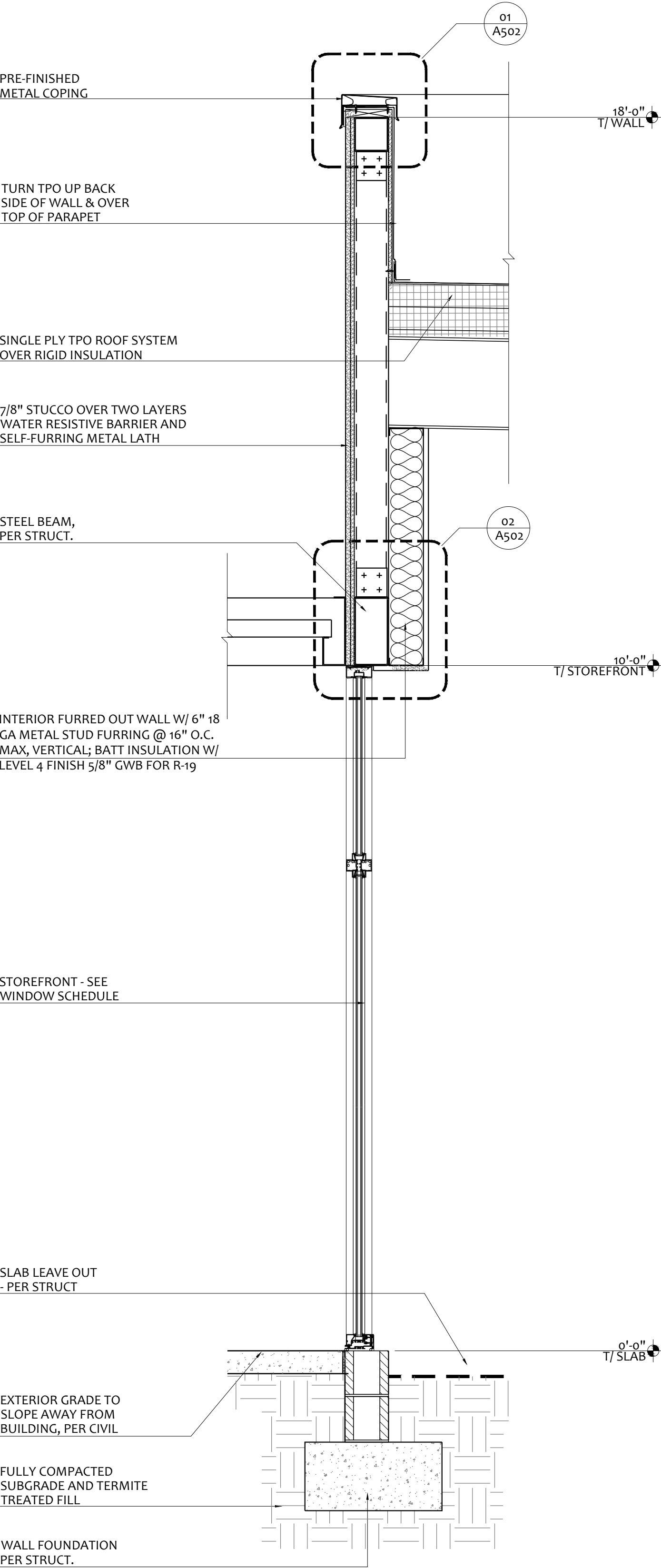
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03 WALL SECTION
3/4" = 1'-0"

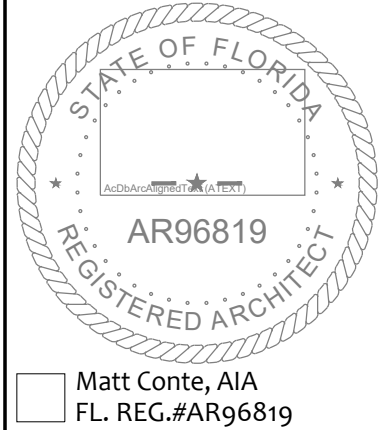


02 WALL SECTION
3/4" = 1'-0"



01 WALL SECTION
3/4" = 1'-0"

26JUN 2023



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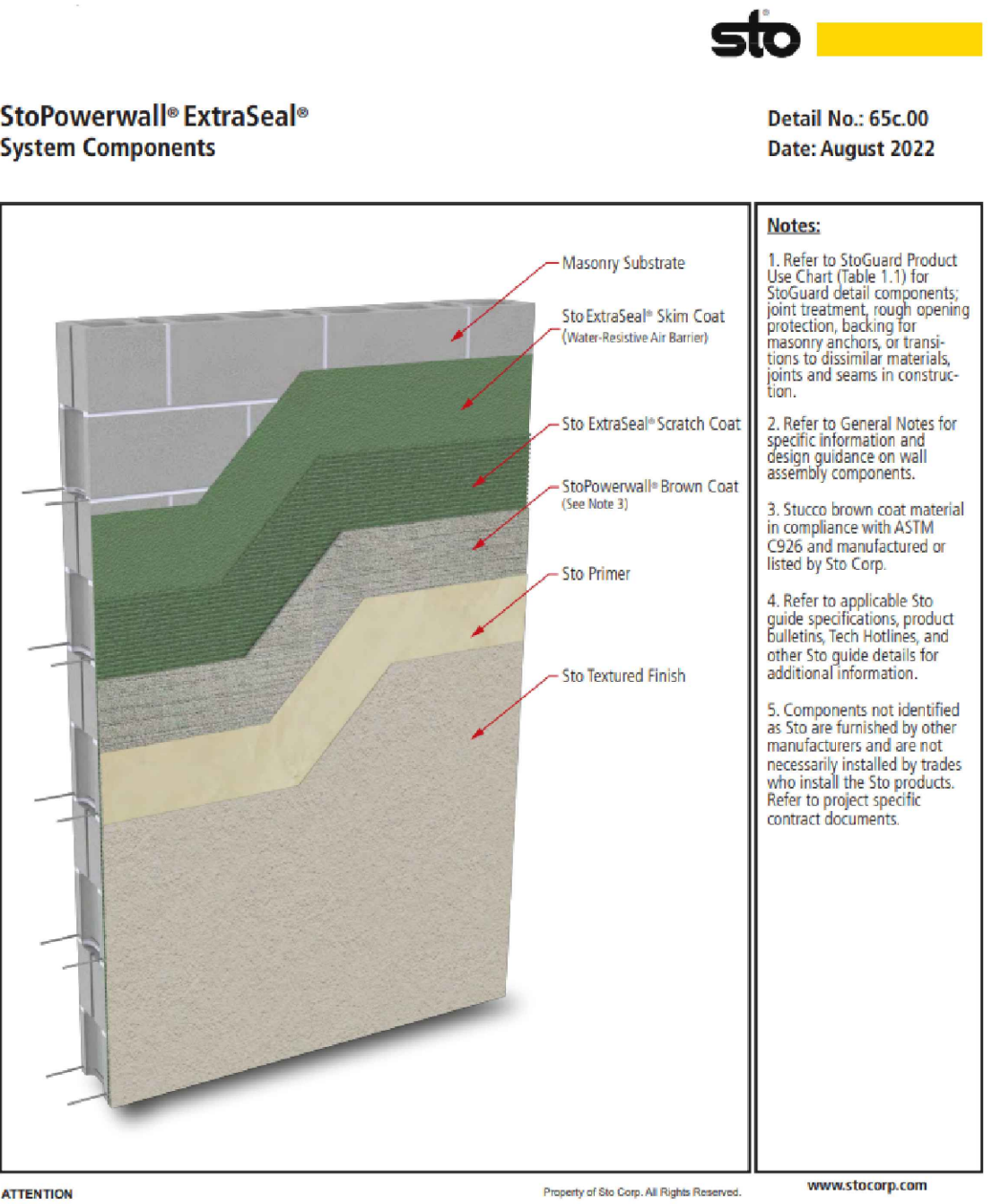
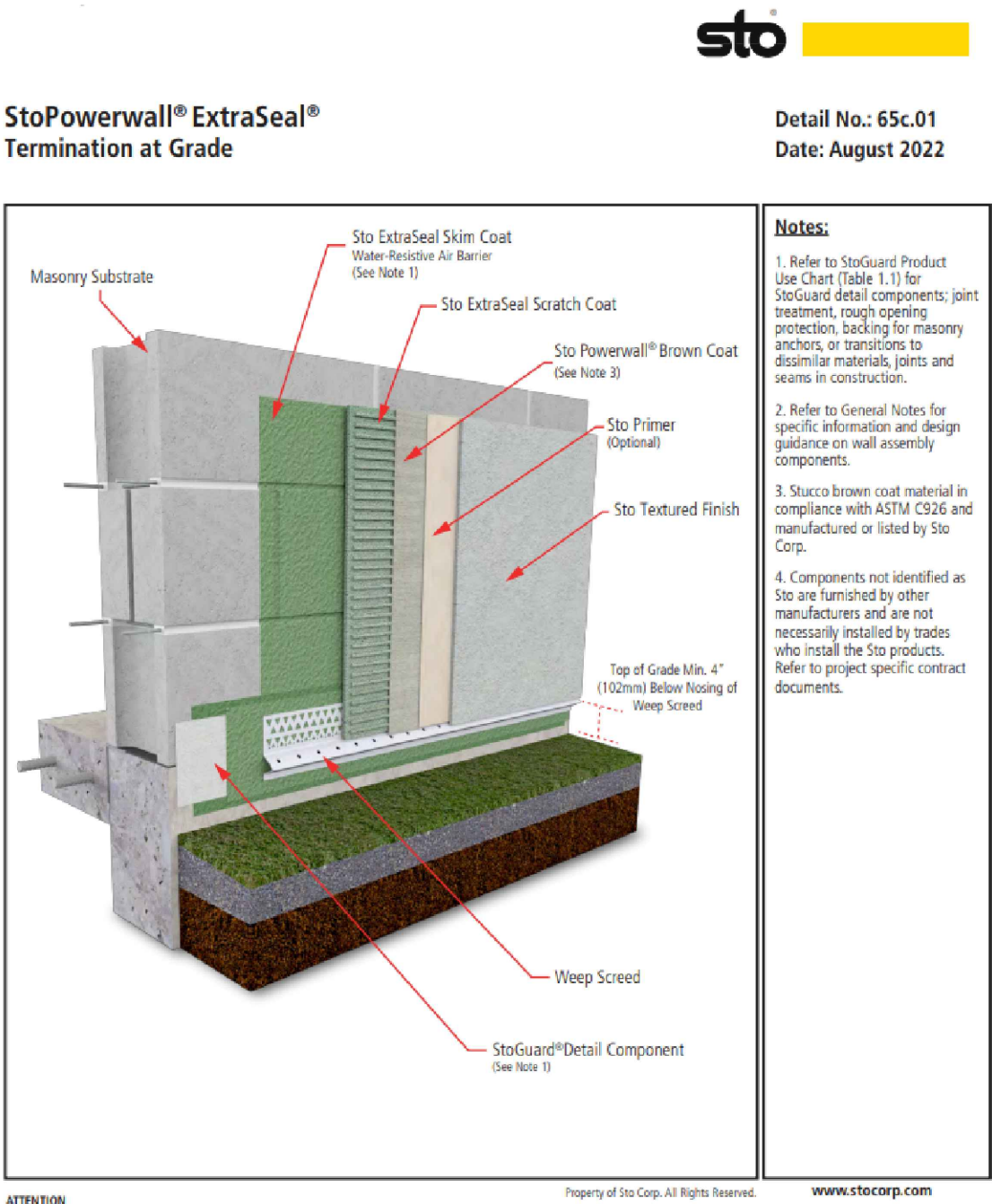
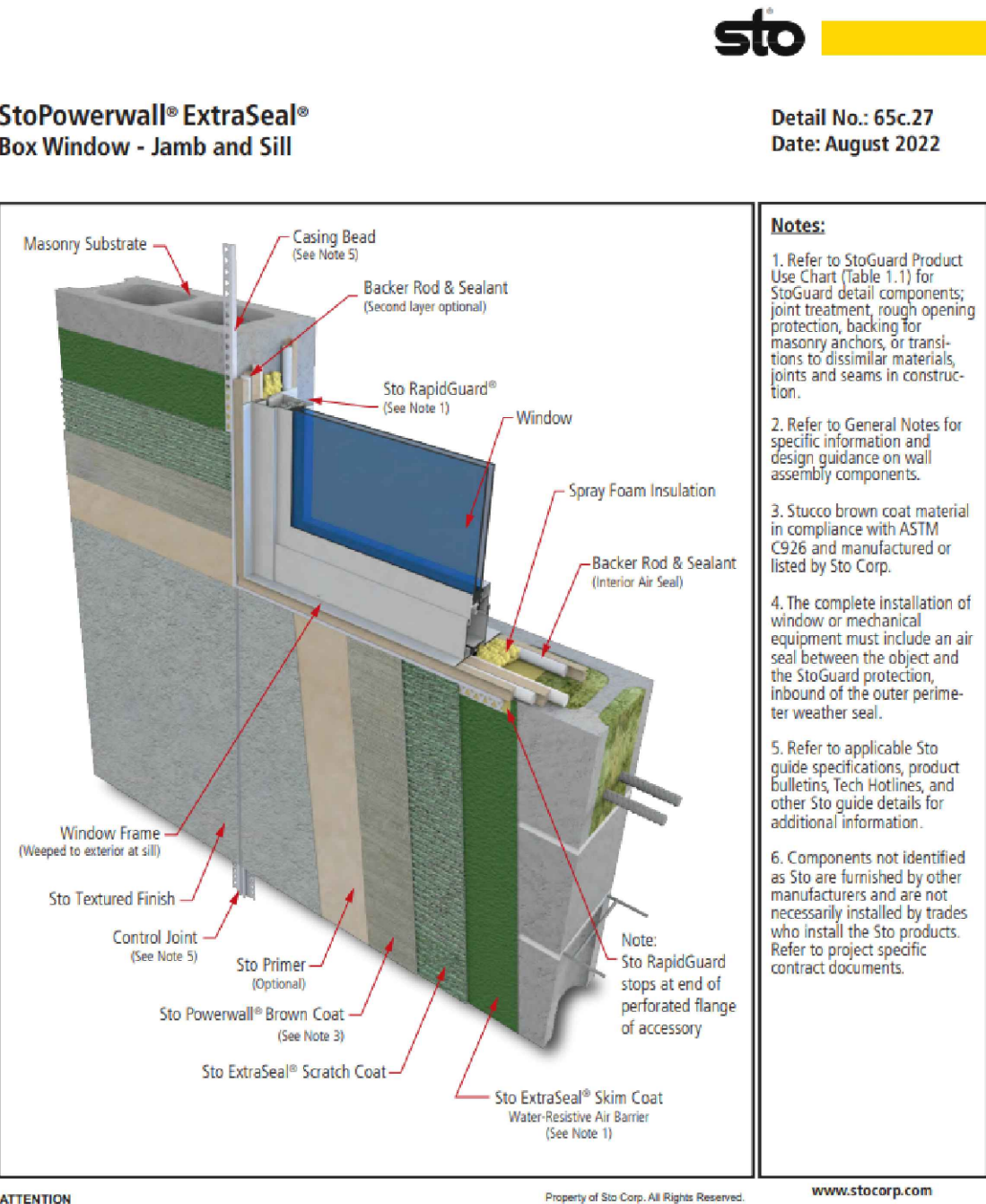
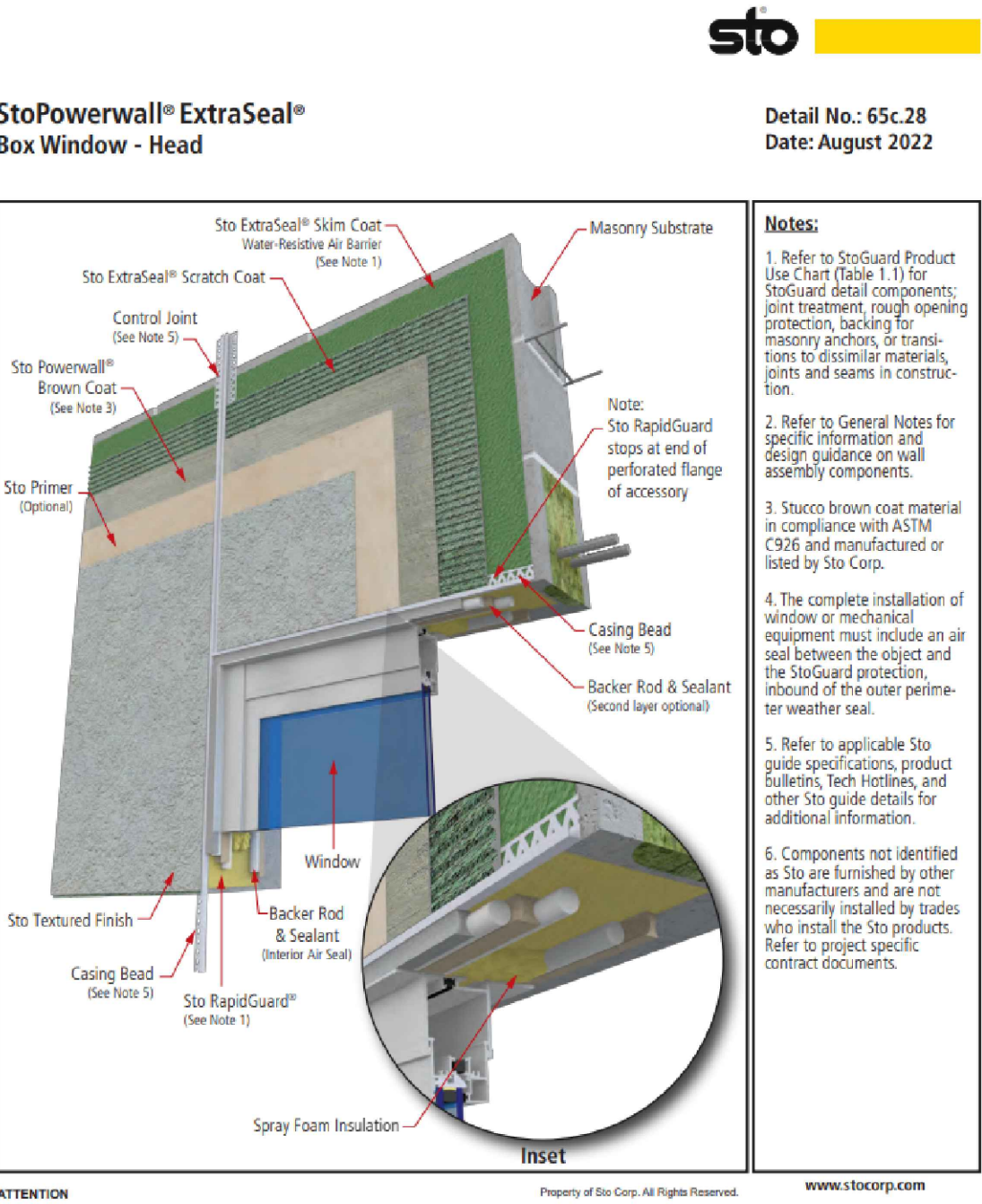
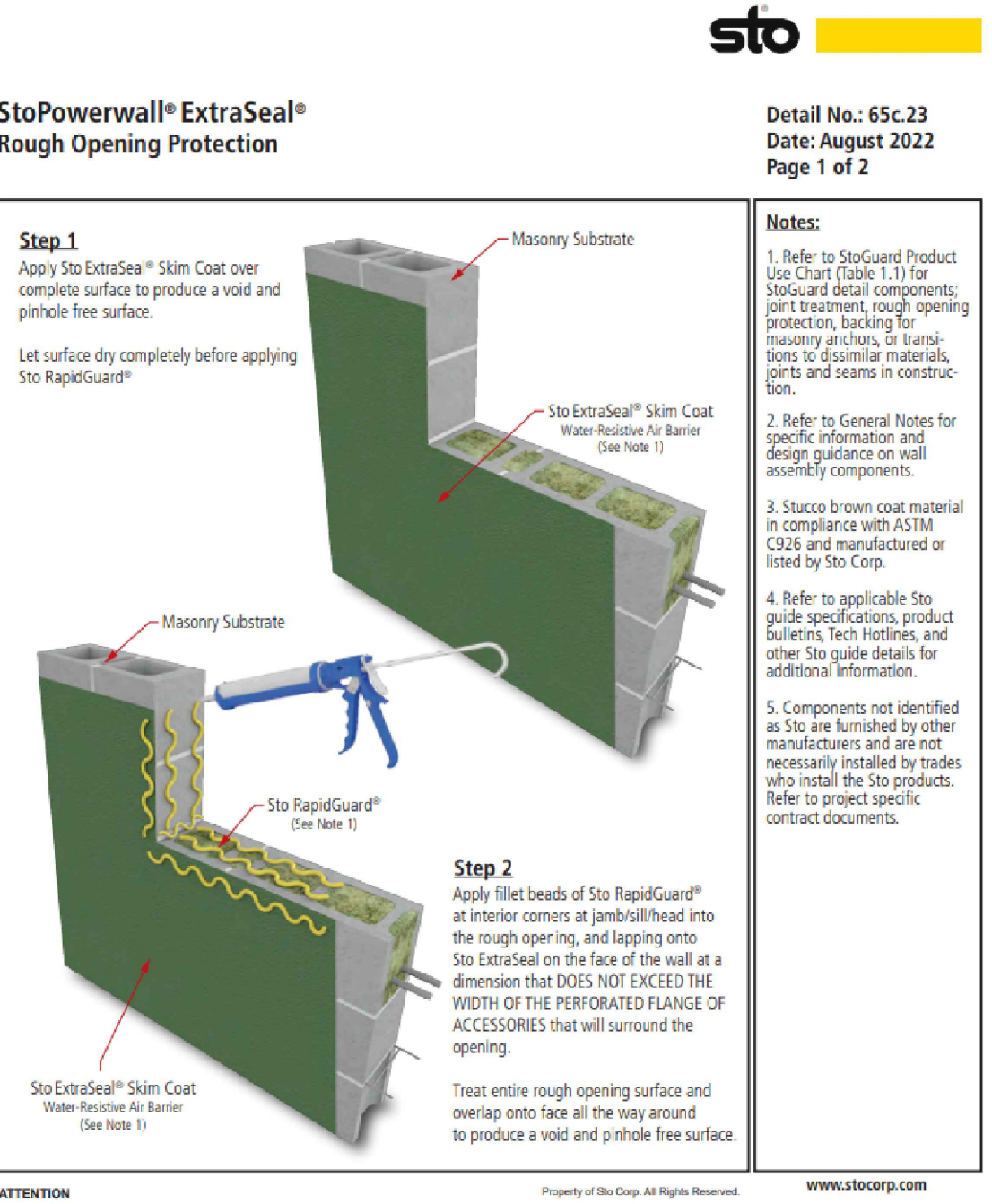
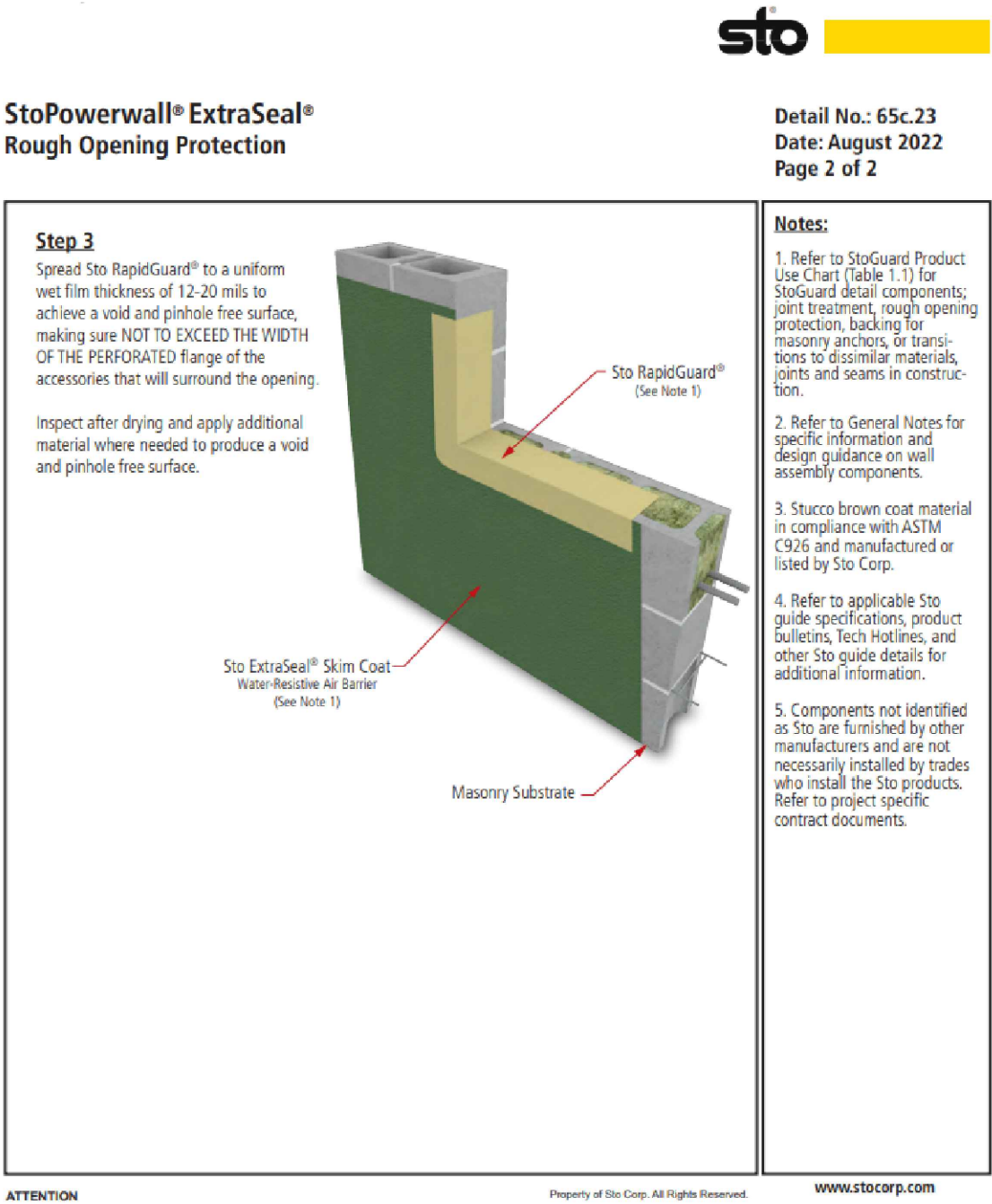
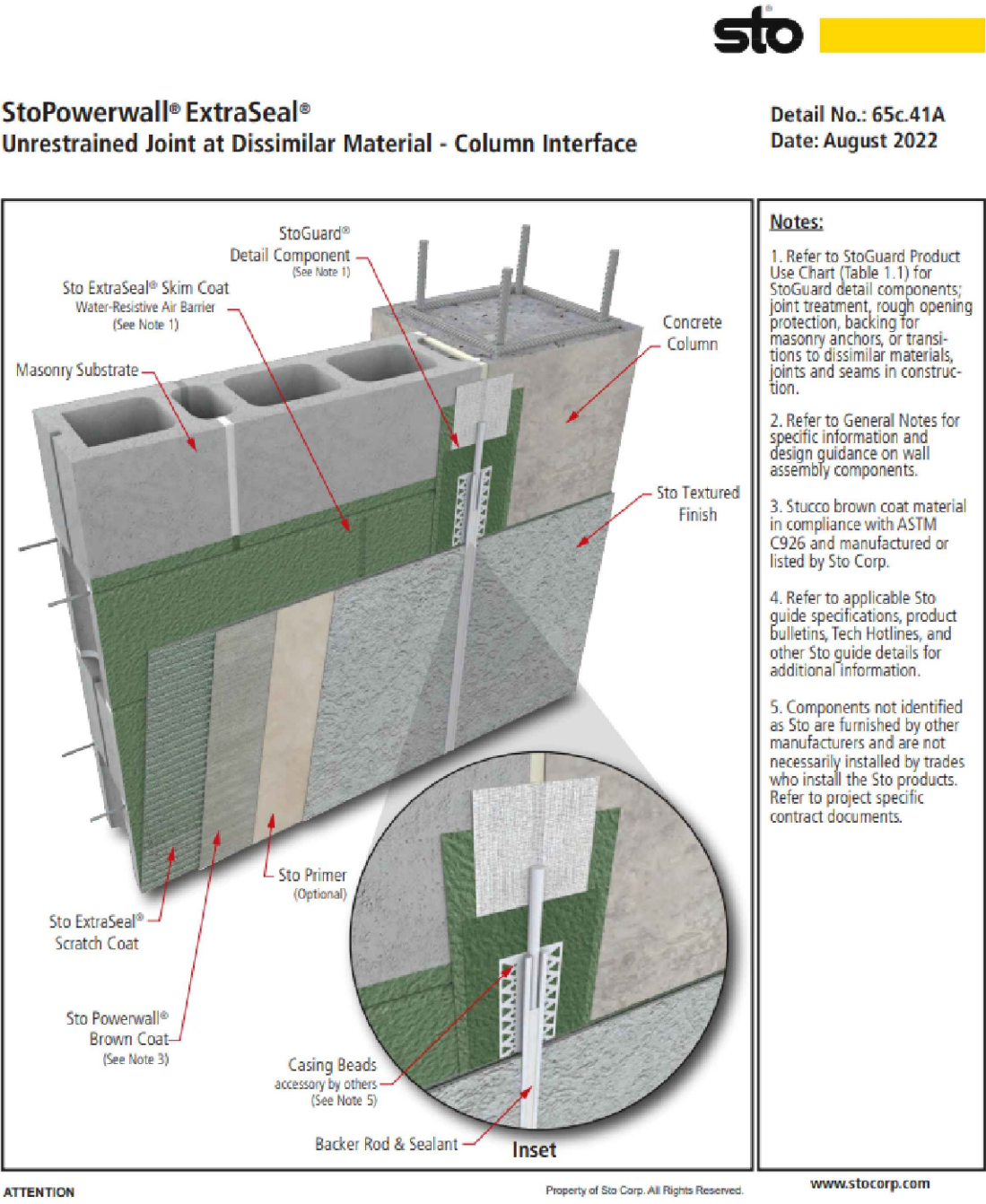
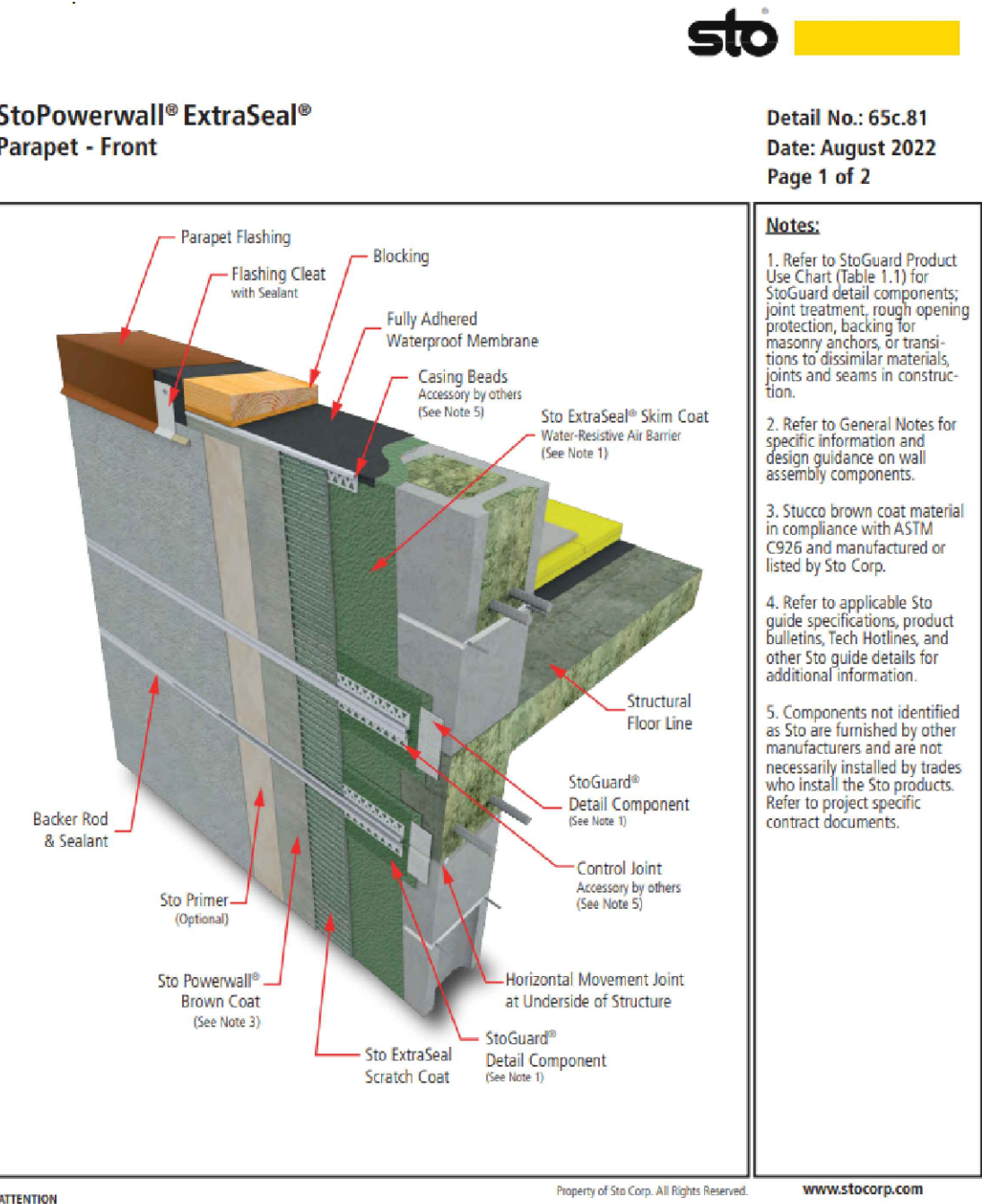
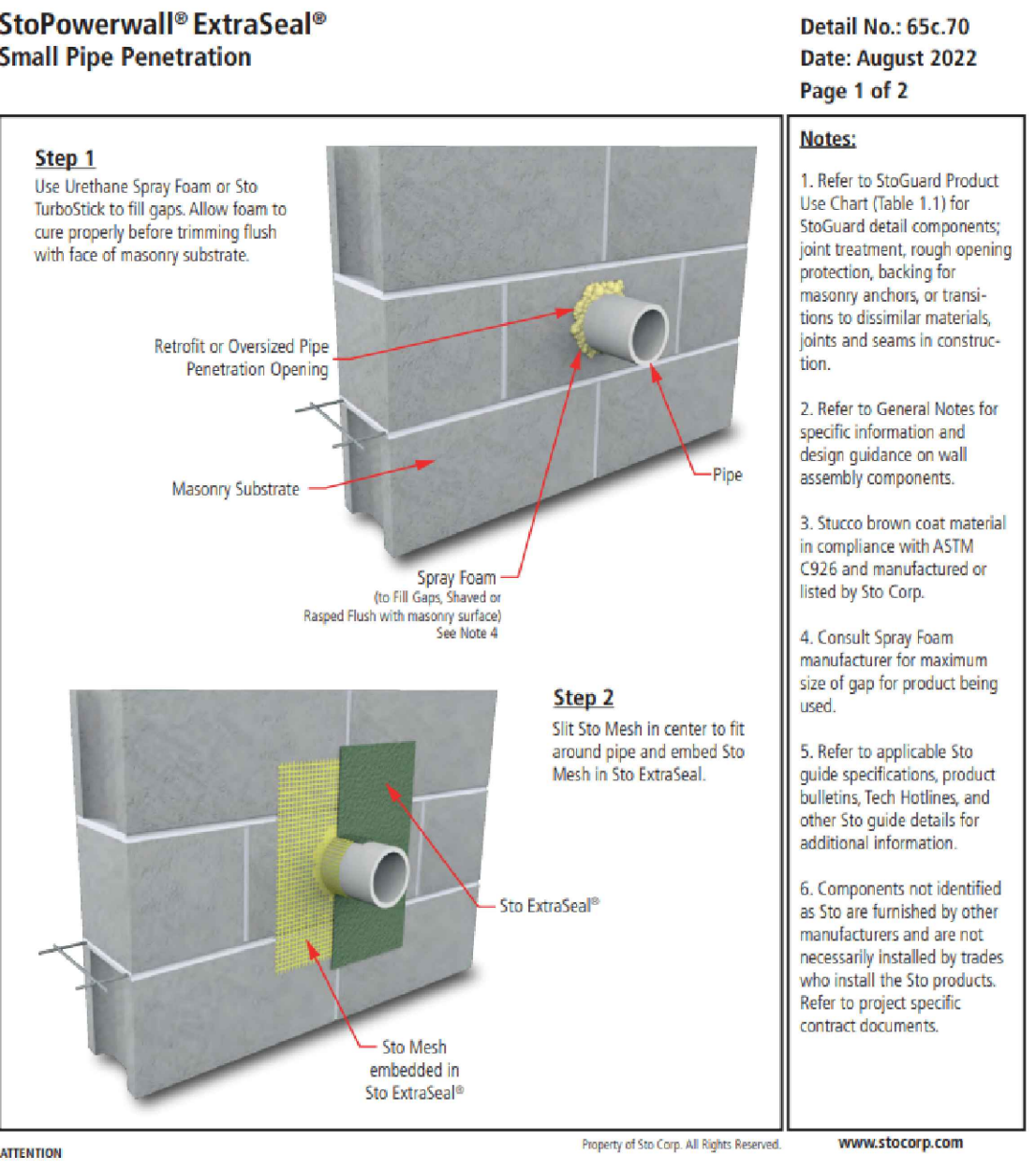
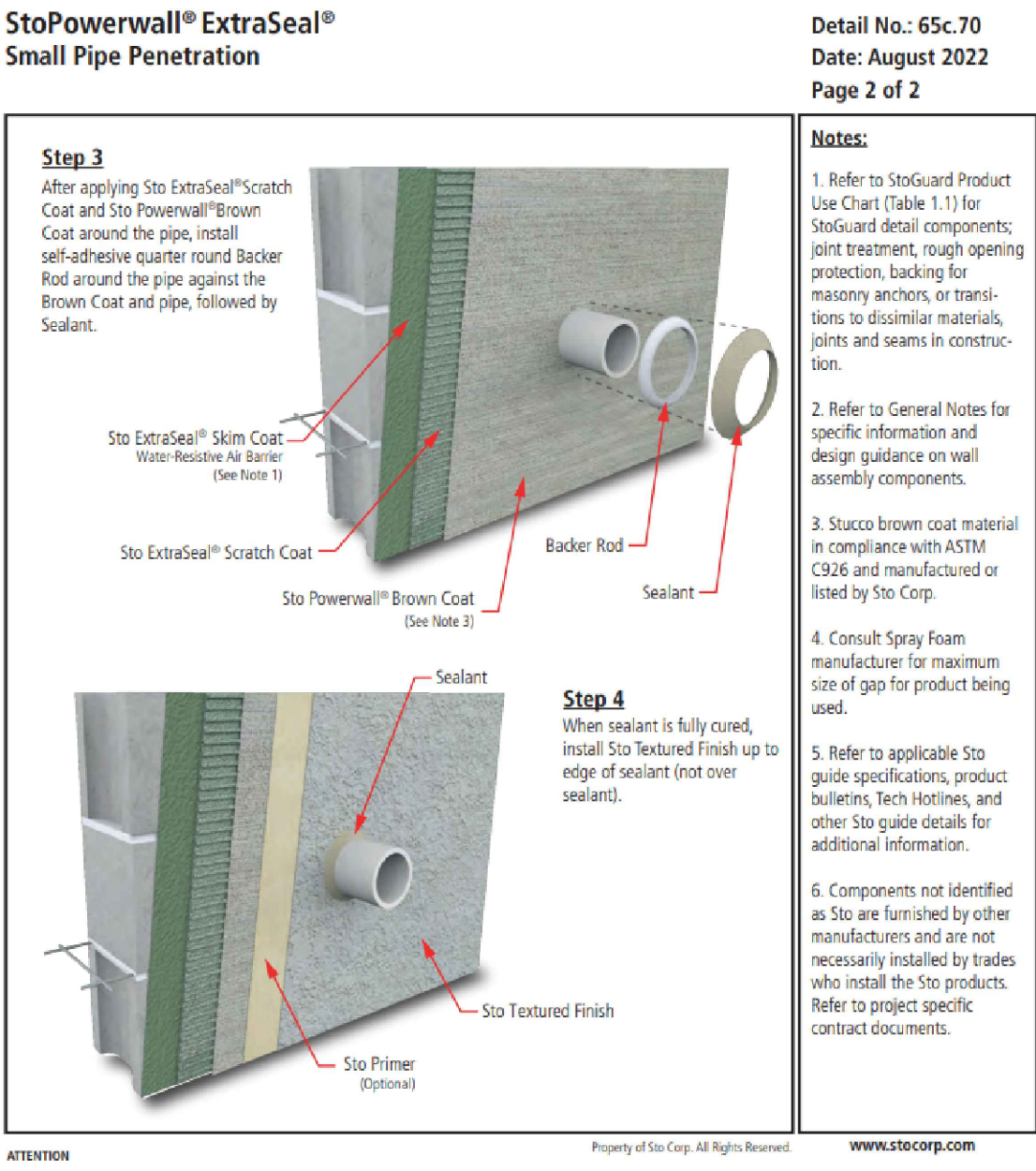
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A511
WALLS SECTIONS

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EXIT DOORS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. DEVICES SHALL BE CAPABLE OF OPERATING WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THUMB TO OPERATE. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48 INCHES ABOVE FINISH FLOOR.

DOOR CLOSERS TO BE SET AT MAXIMUM OF 5 LBF.

THRESHOLDS: CHANGES IN LEVEL GREATER THAN 1/4" IN HEIGHT AND NOT MORE THAN 1/2" MAX. IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.

DOOR HARDWARE SHALL BE MOUNTED BETWEEN 36" AND 42" ABOVE FLOOR AND BE LEVER TYPE.

ALL HARDWARE WILL BE US26D SATIN CHROME PLATED, EXCEPT: PUSH PLATES, DOOR PULLS, KICKPLATES WHICH SHOULD BE US32D STAINLESS STEEL, UNLESS OTHERWISE NOTED.

ALL GLASS & GLAZING SHALL COMPLY WITH CHAPTER 54 OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS (16-CFR PART 1201).

ALL GLAZING, GLAZING SYSTEMS, COMPONENTS & CLADDING SHALL MEET THE DESIGN WIND PRESSURES SPECIFIED IN COMPLIANCE WITH ASCE 7-16. WIND UPLIFT & CLADDING DETACHMENT TEST RESULTS SHALL BE INCLUDED AS PART OF PERMIT SUBMITTAL. SUBMIT SHOP DRAWINGS OF ALL DOORS, GLAZING & HARDWARE FOR REVIEW.

ALL GLAZING WITHIN 24" OF DOOR SHALL BE SAFETY GLASS. ALL GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED FOR IMPACT RESISTANCE.

NOTES:

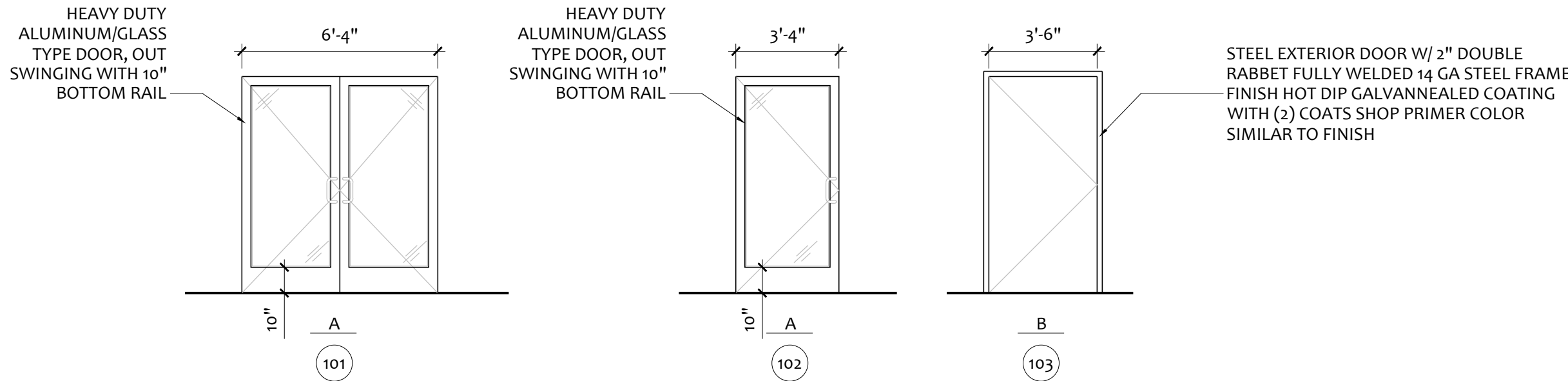
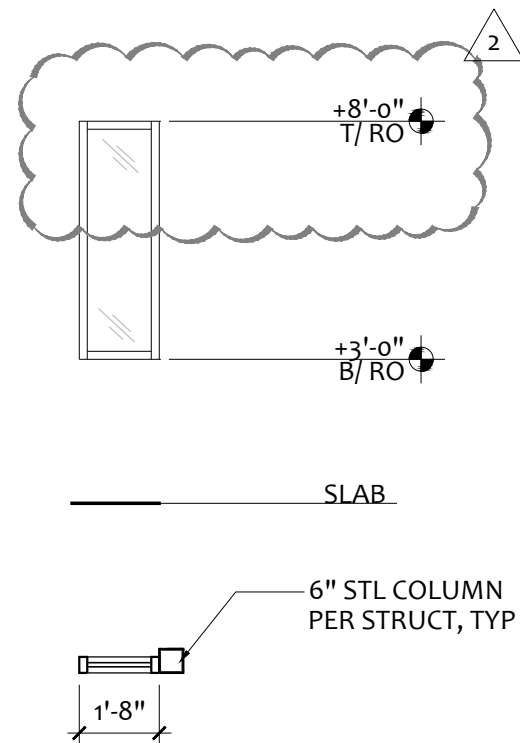
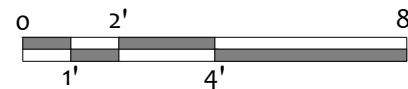
1. GC TO PROVIDE ALL HARDWARE NOT PROVIDED BY STOREFRONT VENDOR
2. ALL LOCKSET AND DEADBOLTS SHALL BE KEyed AS DIRECTED BY OWNER
3. FINISHES: GENERAL: US260, SATIN CHROME PLATED, EXCEPT: PUSH PLATES, DOOR PULLS, KICKPLATES: US32d, SATIN STAINLESS STEEL
DOOR CLOSERS: 68g/SPRAYED ALUMINUM

NOTES:

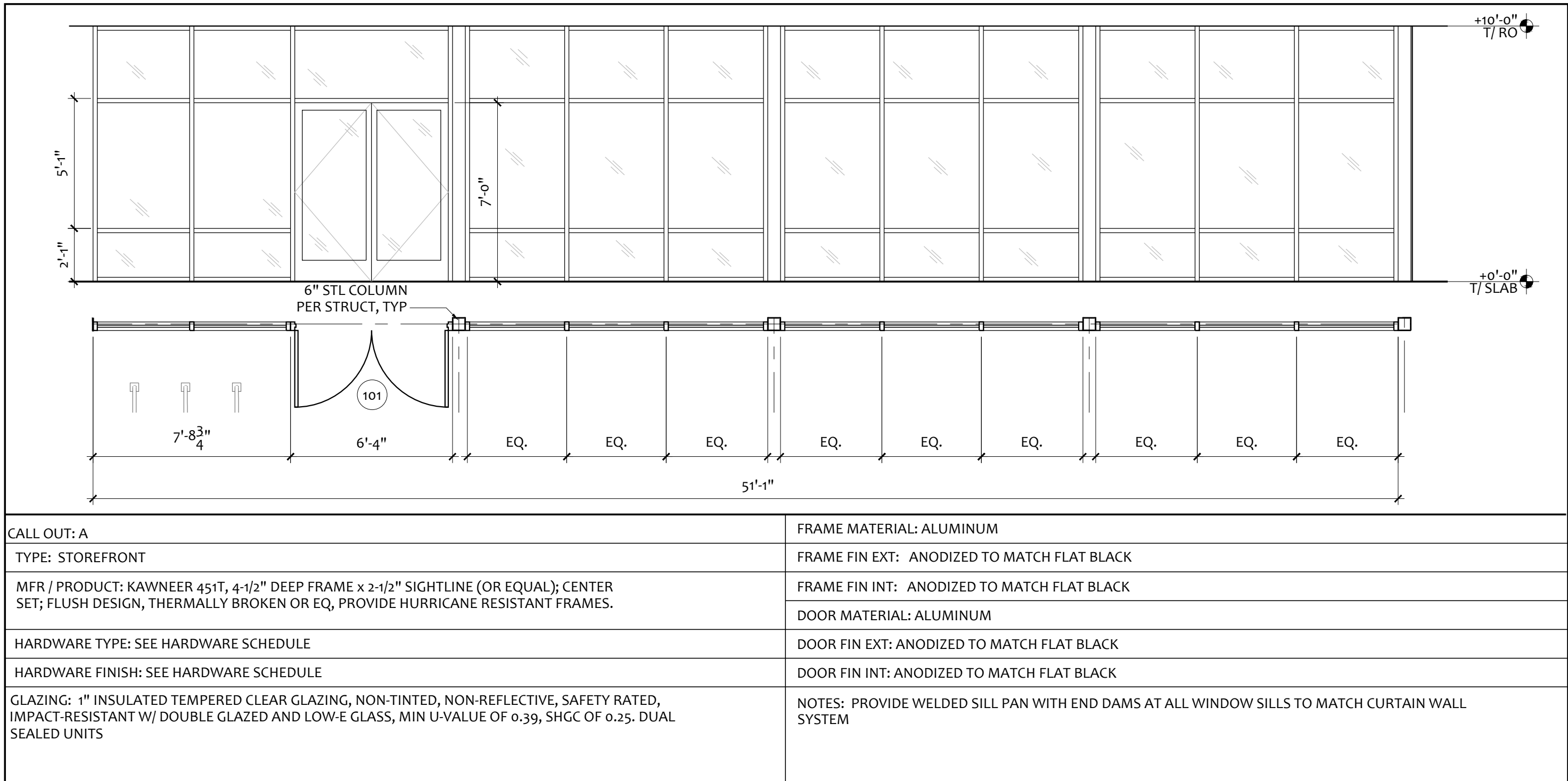
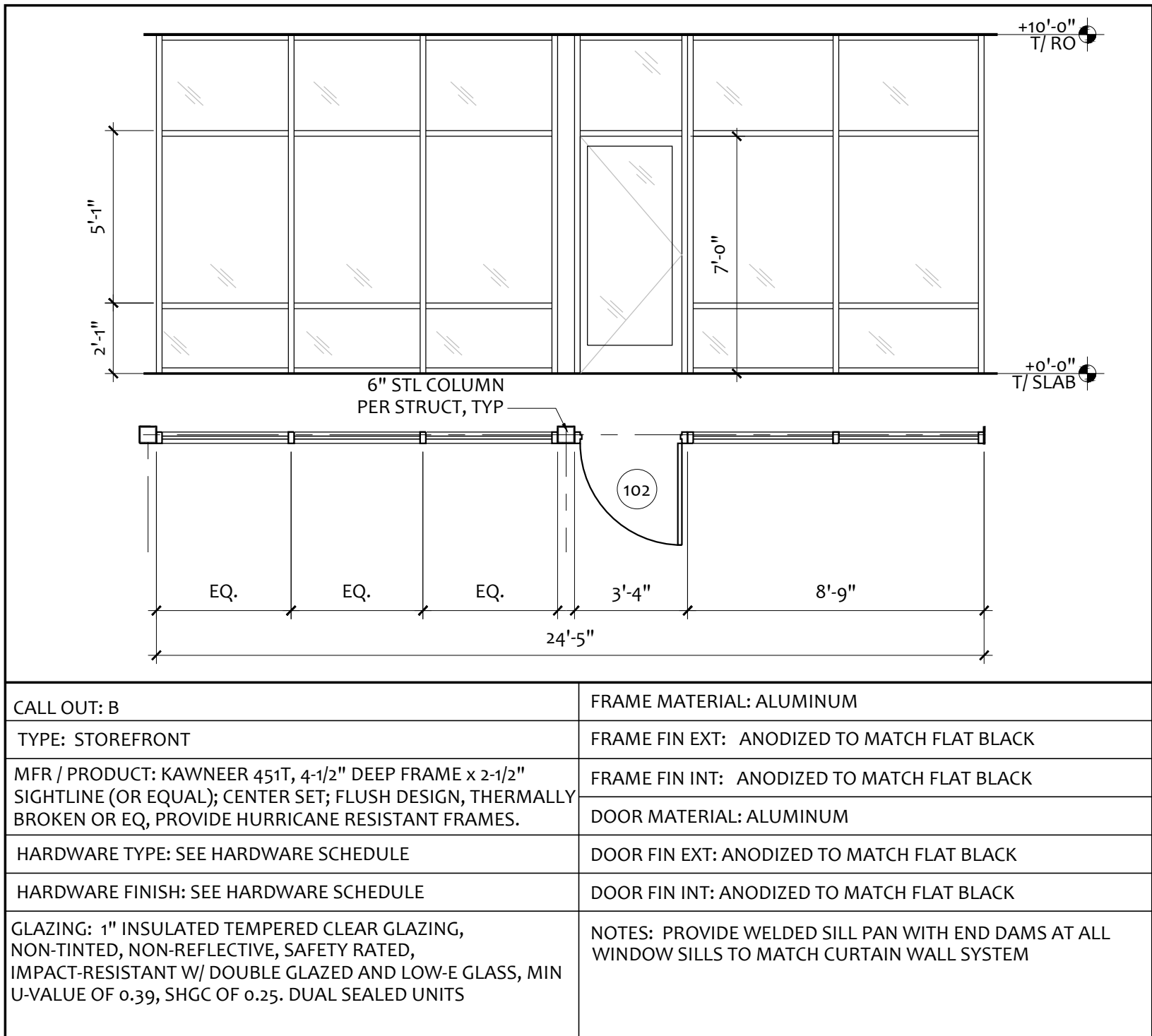
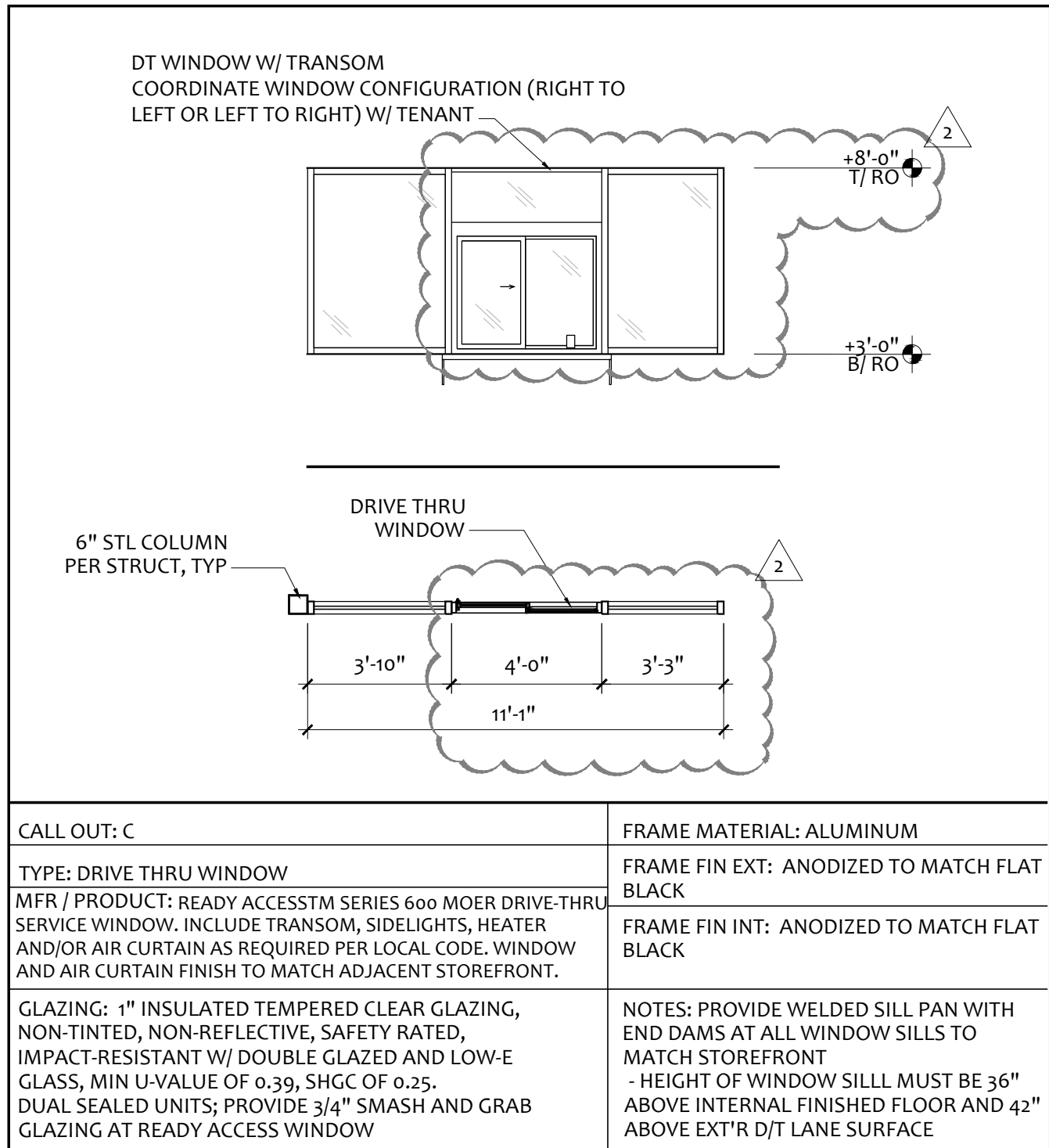
1. LOCAL BARRIER FREE CODE MAY REQUIRE LARGER KICK PLATES VERIFY BEFORE ORDERING
2. REAR EXTERIOR DOORS SHALL HAVE EXTERIOR KEYPAD ACCESS.
3. FINISHES: GENERAL: U52d0, SATIN CHROME PLATED, EXCEPT: PUSH PLATES, DOOR PULLS, KICKPLATES: U532d, SATIN STAINLESS STEEL
DOOR CLOSERS: 689/SPRAYED ALUMINUM

DOOR #	DOOR WIDTH	DOOR HEIGHT	DOOR THICKNESS	DOOR TYPE	FRAME TYPE	MATERIALS AND FINISHES				HARDWARE	FIRE RATING	COMMENTS
						DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH			
101	6'-4"	7'-0"	-	A	ALUM	GLASS	-	ALUM	-	A	-	
102	3'-4"	7'-0"	-	A	ALUM	GLASS	-	ALUM	-	A	-	
103	3'-6"	7'-0"	1-3/4"	B	STL	PAINT	STL	PAINT	B	-	-	COLD ROLLED/WELDED 16 GA STEEL

NOTE: STEEL DOOR/FRAME TO HAVE HOT DIP GALV-ANNEALED COATING. FINISH WITH TWO COATS SHOP PRIME COLOR SIMILAR TO FINISH. SEE EXTERIOR ELEVATION FOR FINAL PAINT COLORS.


$$1/4'' = 1'-0''$$


CALL OUT: D	FRAME MATERIAL: ALUMINUM
TYPE: WINDOW	FRAME FIN EXT: ANODIZED TO MATCH FLAT BLACK
MFR / PRODUCT: KAWNEER 451T, 4-1/2" DEEP FRAME x 2-1/2" SIGHTLINE (OR EQ.); CENTER SET; FLUSH DESIGN, THERMALLY BROKEN OR EQ. PROVIDE HURRICANE RESISTANT FRAMES.	FRAME FIN INT: ANODIZED TO MATCH FLAT BLACK
GLAZING: 4" INSULATED TEMPERED CLEAR GLAZING, NON-TINTED, NON-REFLECTIVE, SAFETY RATED, IMPACT-RESISTANT W/ DOUBLE GLAZED AND LOW-E GLASS, MIN U-VALUE OF 0.39, SHGC OF 0.25. DUAL SEALED UNITS	NOTES: PROVIDE WELDED SILL PAN WITH END DAMS AT ALL WINDOW SILLS TO MATCH STOREFRONT



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☐ Matt Conte, AIA
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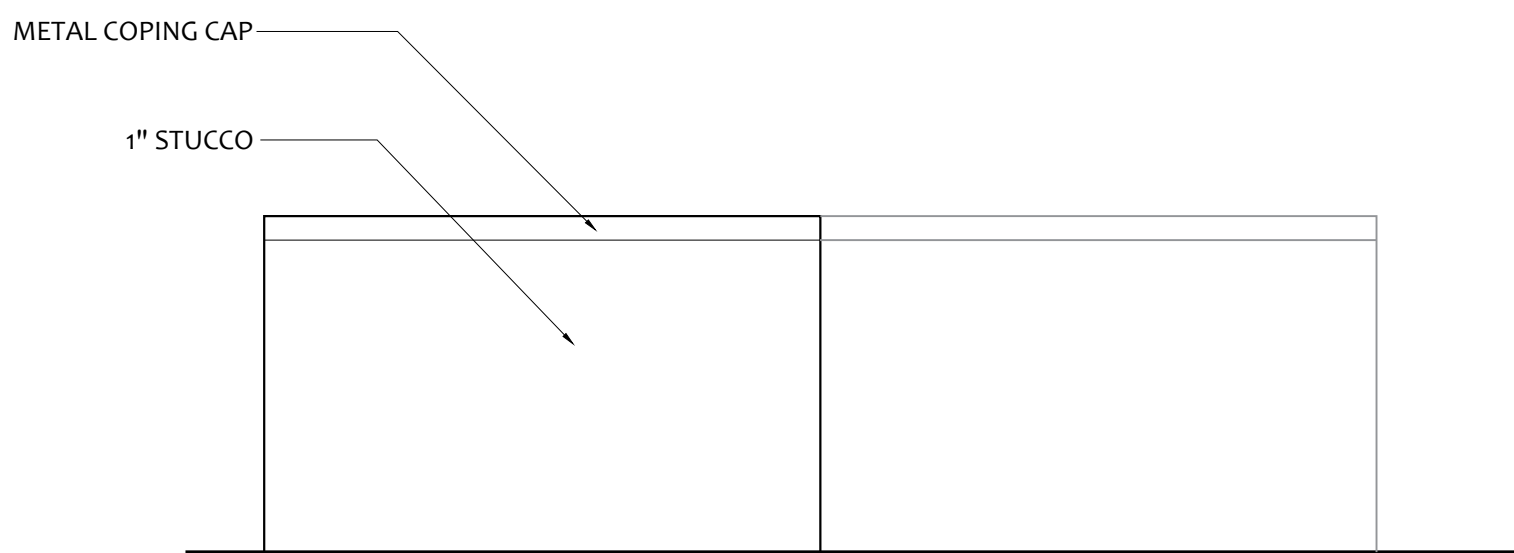
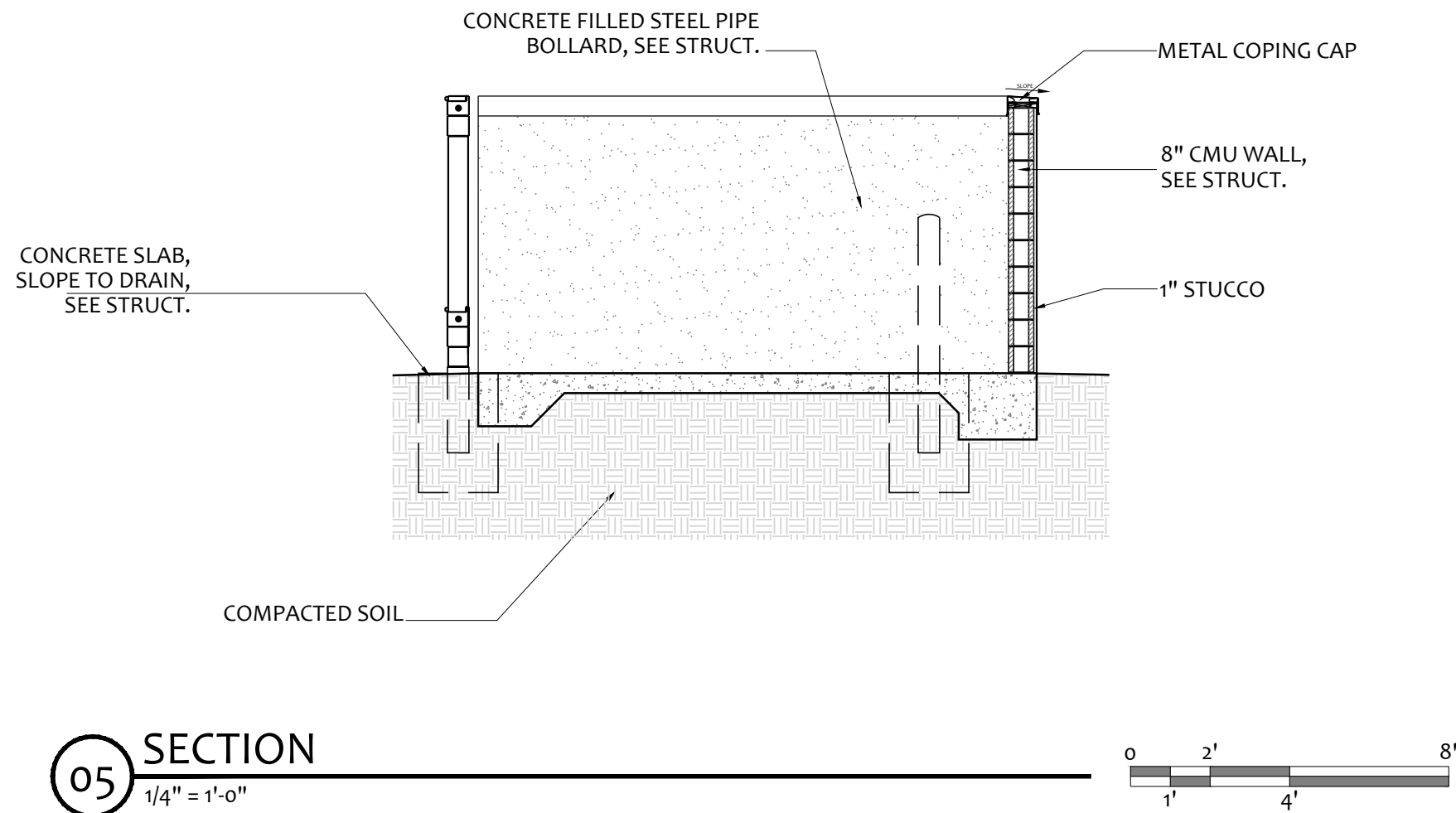
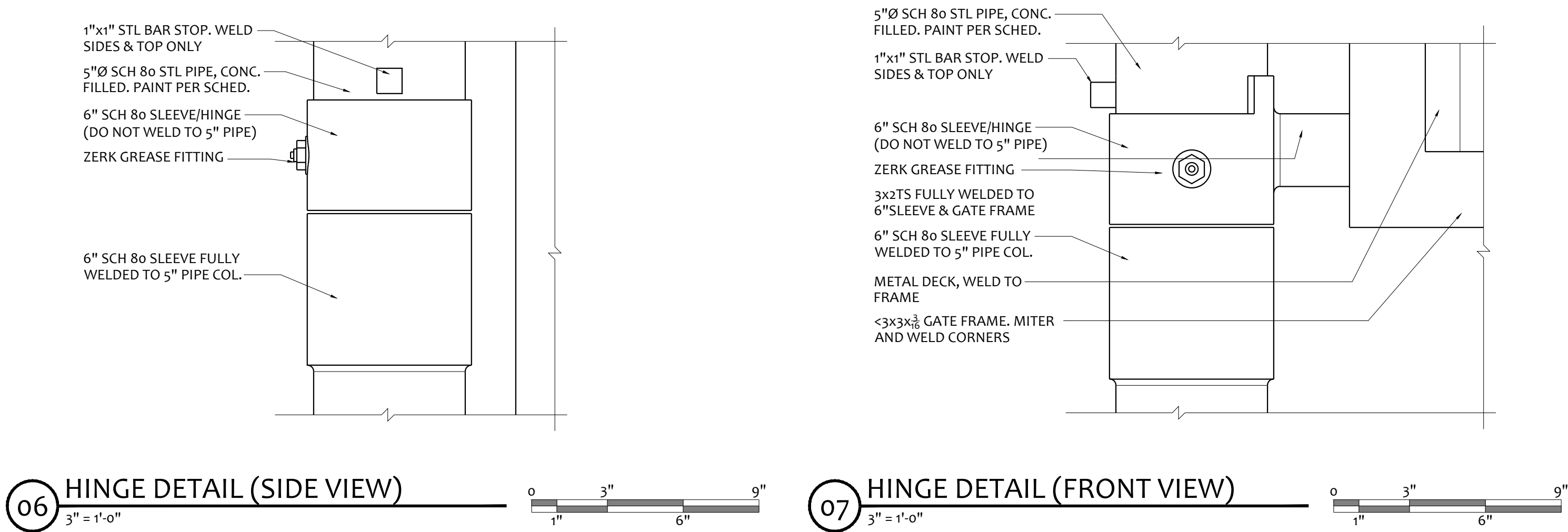
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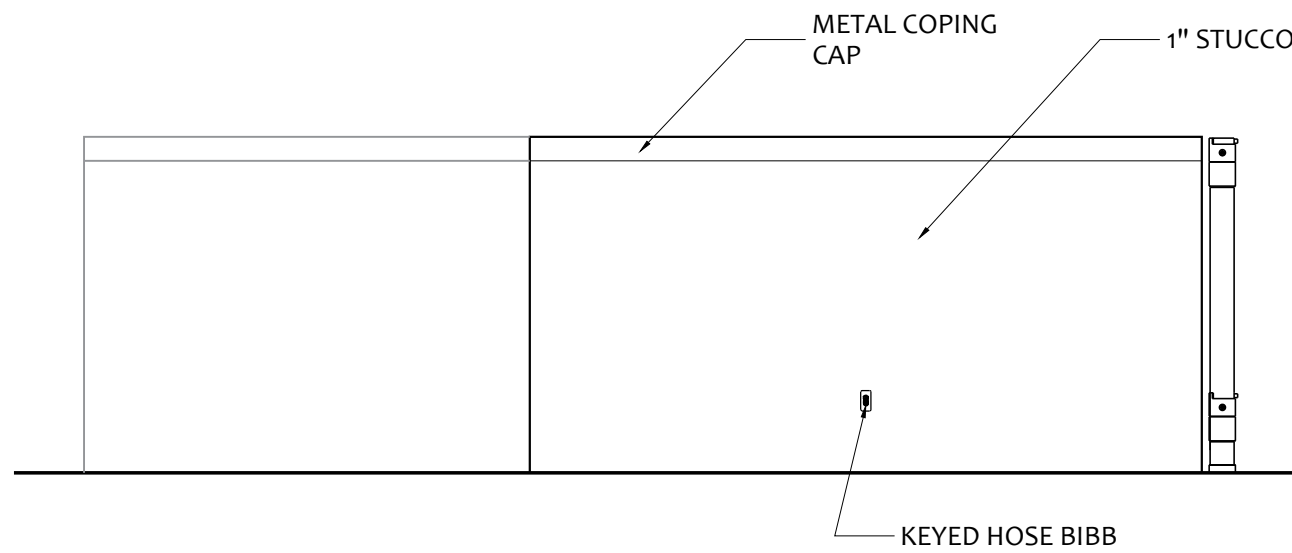
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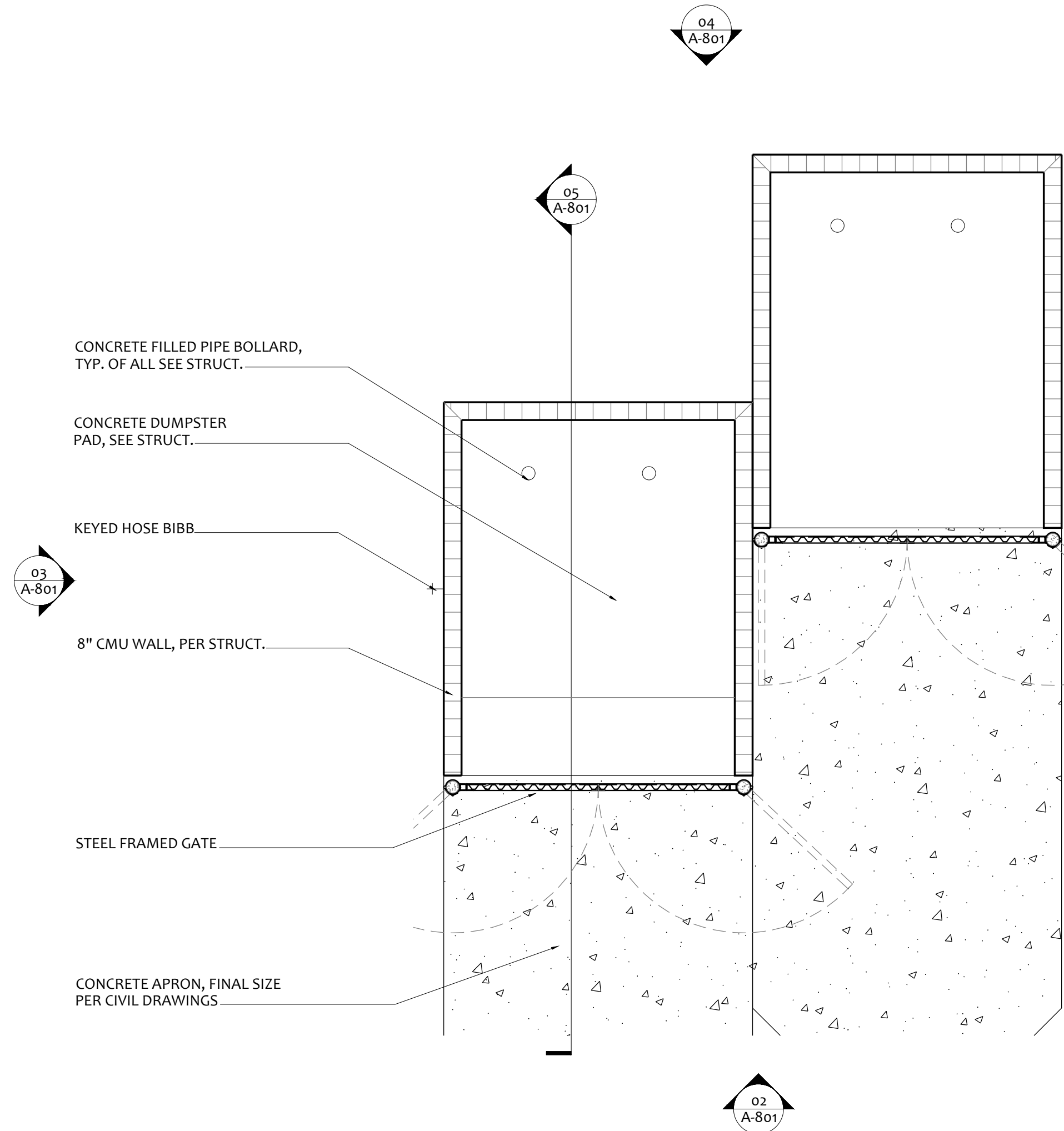
DOOR & GLAZING SCHEDULES



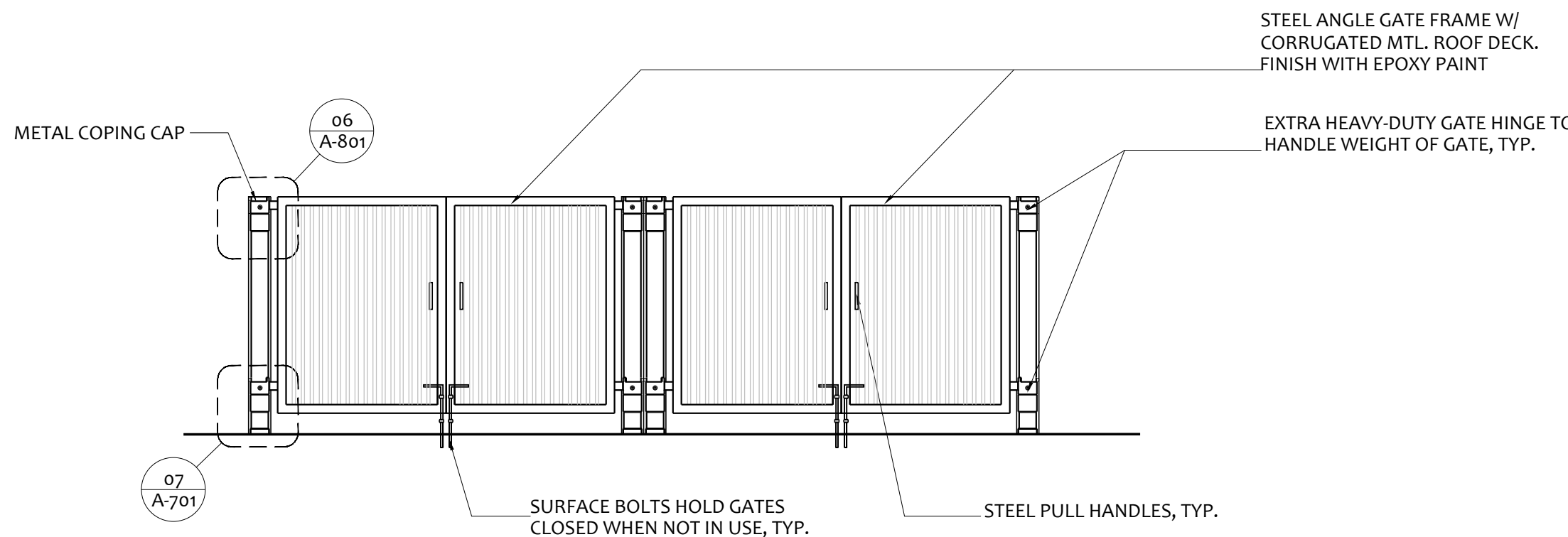
04 DUMSPTER REAR ELEVATION
1/4" = 1'-0"



03 DUMPSTER SIDE ELEVATION
1/4" = 1'-0"



01 DUMPSTER ENCLOSURE - PLAN
1/4" = 1'-0"



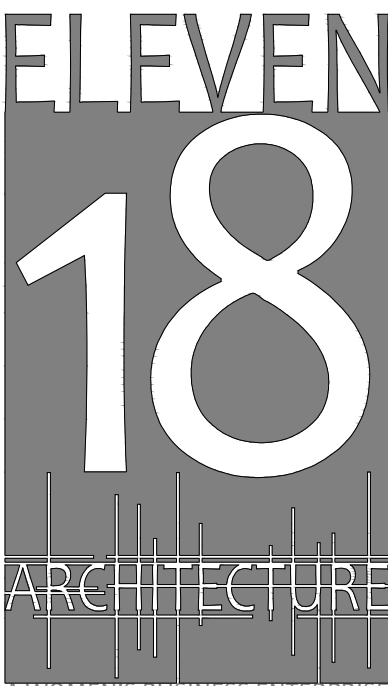
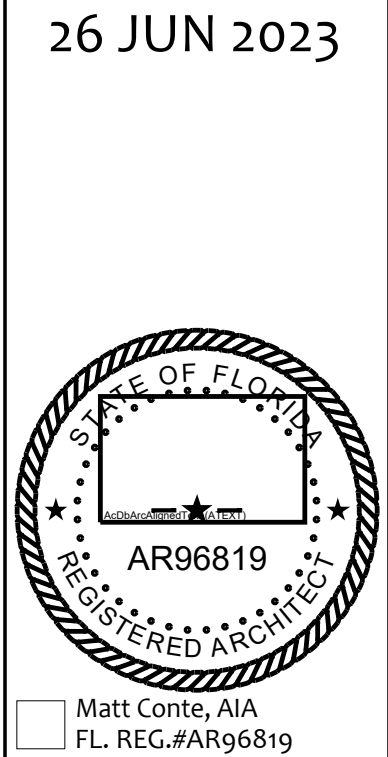
02 DUMPSTER FRONT ELEVATION
1/4" = 1'-0"

DUMPSTER ENCLOSURE GENERAL NOTES:

- SEE CIVIL DRAWINGS FOR EXACT LOCATION OF DUMPSTER.
- CONTRACTOR TO VERIFY THE OPENING WIDTH AND ALL OTHER DIMENSIONS COMPLY WITH CITY ORDINANCES AND WASTE MANAGEMENT REQUIREMENTS.
- ALL EXPOSED METAL FRAMING, METAL COPING AND METAL ROOF DECK GATES PAINTED POWDER COAT BLACK.
- ALL DIMENSIONS TO BE FIELD VIF.
- TRASH ENCLOSURE MATERIALS, FINISHES AND COLORS CONTINGENT UPON TENANT LEASE AGREEMENT.
- REFER TO SHEET S-7 FOR BUILDING FINISHES TO MATCH DUMPSTER ENCLOSURE WALLS.
- REFER TO SHEET S-7 FOR FOUNDATION, SLAB GRADE, WALL SECTION, BOLLARD SECTION AND OTHER STRUCTURAL DETAILS CONCERNING TO DUMPSTER ENCLOSURE AND DIMENSIONS.

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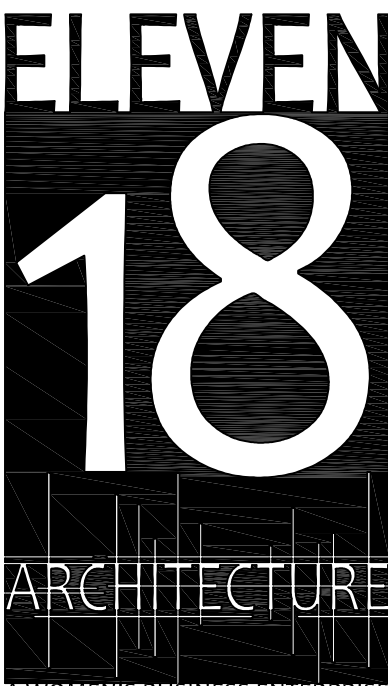
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A801
DUMPSTER ENCLOSURE



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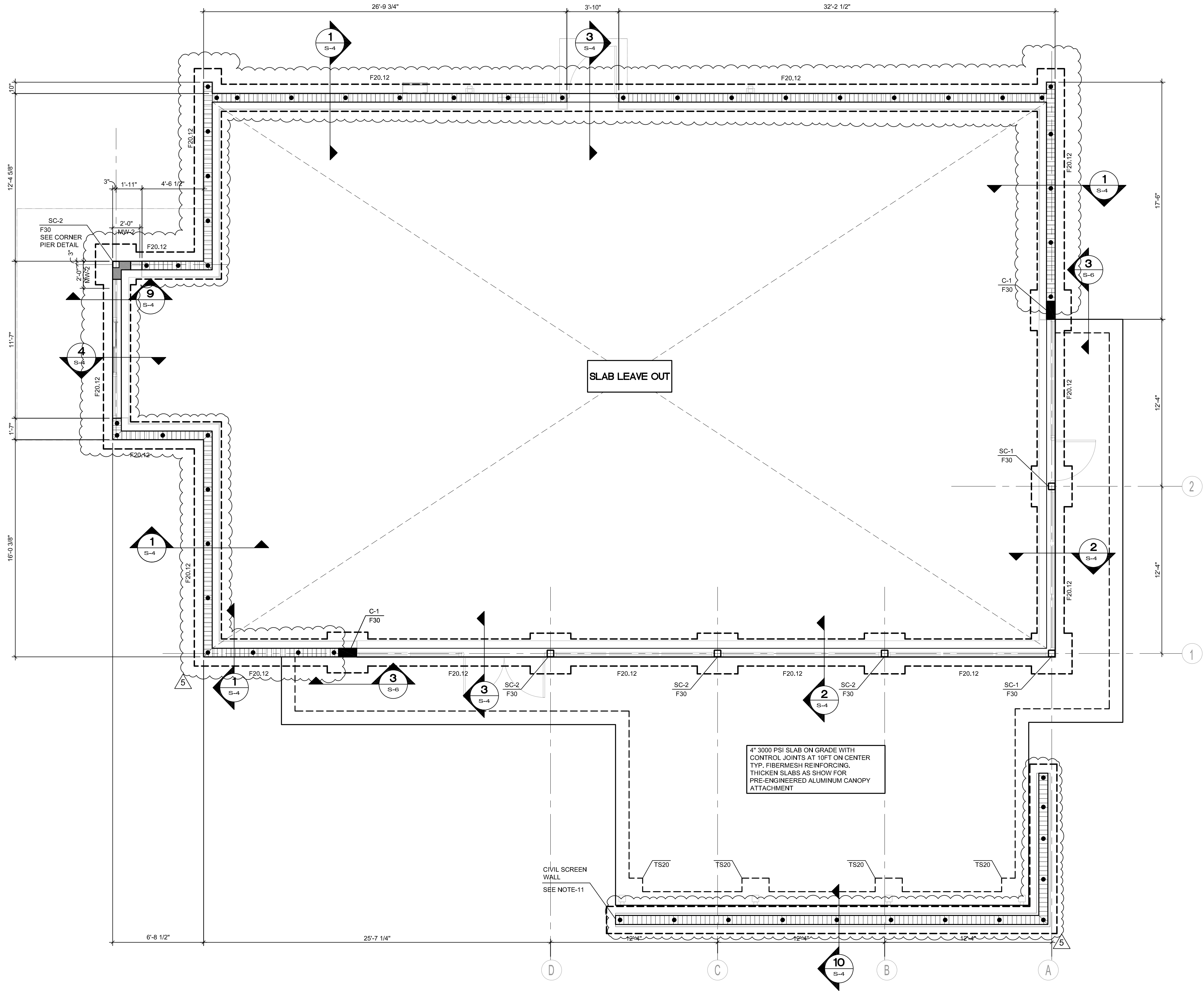
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FOUNDATION PLAN

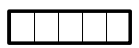
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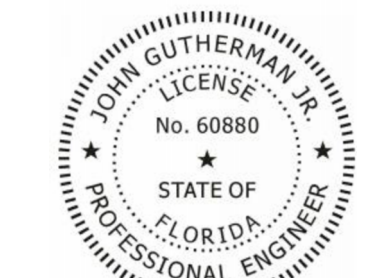


DRIVE-THRU CORNER PIER

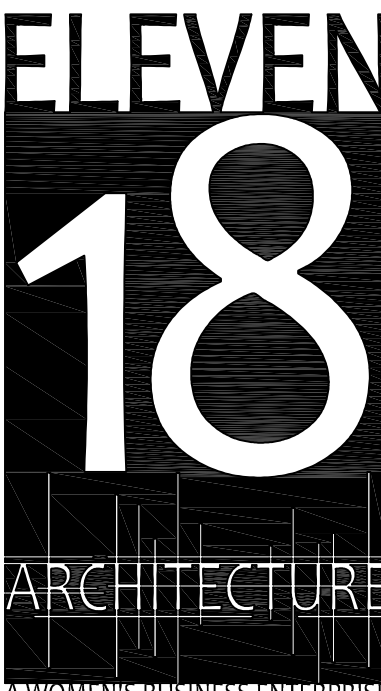
L-SHAPED CONCRETE PIER AT CORNER OF DRIVE THROUGH. BELOW STEEL COLUMN. PROVIDE (7) #5 AS SHOWN. WITH #3 TIES AT 8\"/>

FOUNDATION NOTES:

- ELEV. $\pm 0'-0''$ IS REFERENCE ONLY. SEE CIVIL FOR TRUE NAVD ELEVATION.
- VERIFY SLOPES AND STEPS WITH ARCH. PRIOR TO CONSTRUCTION. SEE TYPICAL STEP DETAIL.
- TOP OF SPREAD FOOTING ELEVATIONS = $-1'-4''$ BELOW TOP OF SLAB TYP. U.N.O.
- T.E. INDICATES THICKENED EDGE SEE TYPICAL DETAILS.
- F# INDICATES CONCRETE FOOTING. SEE SCHEDULE.
- SC-# INDICATES STEEL COLUMN. SEE SCHEDULE.
-  DENOTES 8\"/>
- G.C. TO PROVIDE SLAB ON GRADE CONTROL JOINTS (C.J.) FOR ALL SLAB AT 12'-0\"/>
- C-# INDICATES CONCRETE COLUMN. SEE SCHEDULE.
- SEE ARCH. FOR DIMENSIONS NOT SHOWN.
- VERIFY SCREEN WALL LOCATION AND DIMENSIONS WITH ARCH AND CIVIL.



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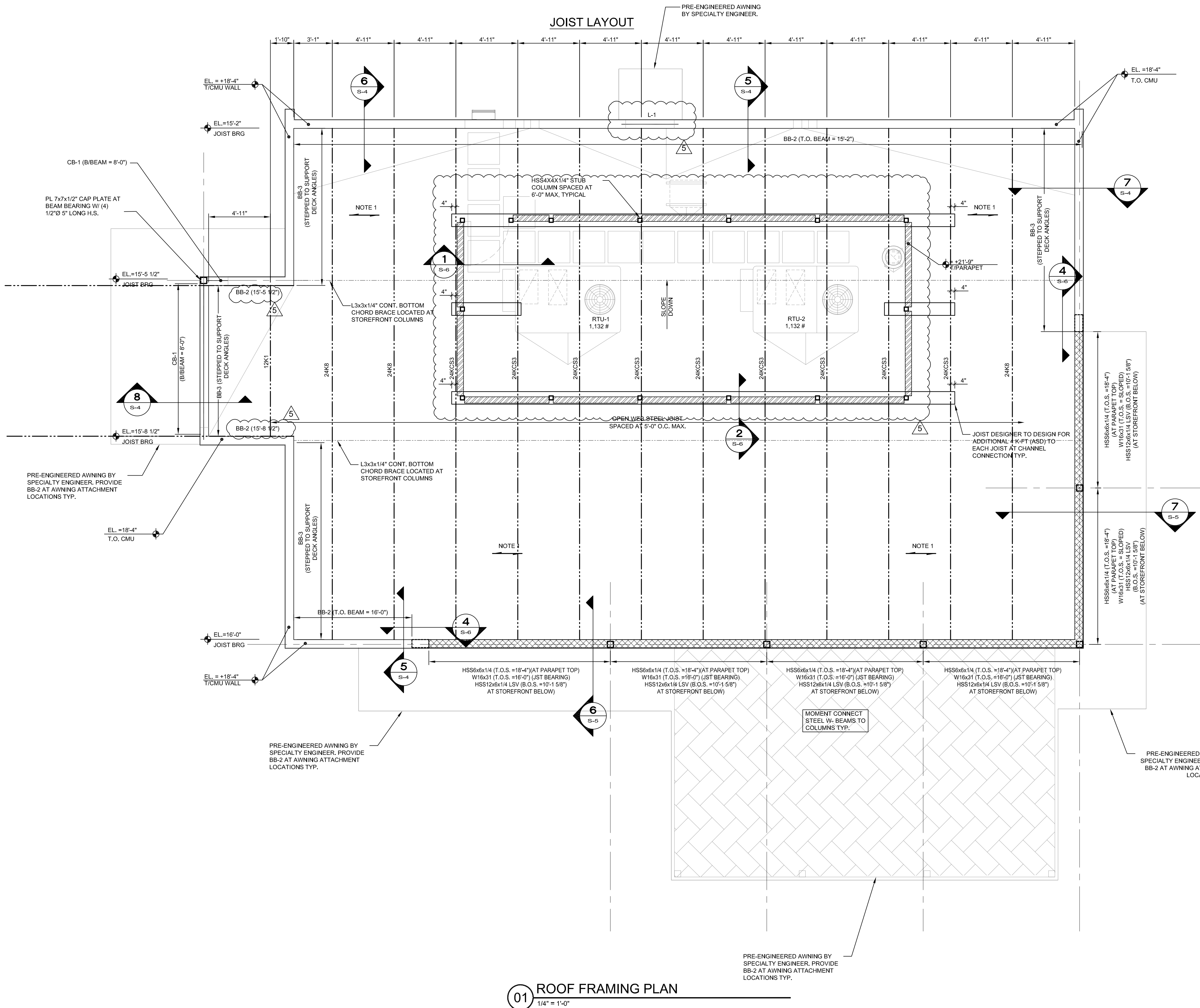
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ROOF FRAMING PLAN

S-2

JOIST LAYOUT



01 ROOF FRAMING PLAN

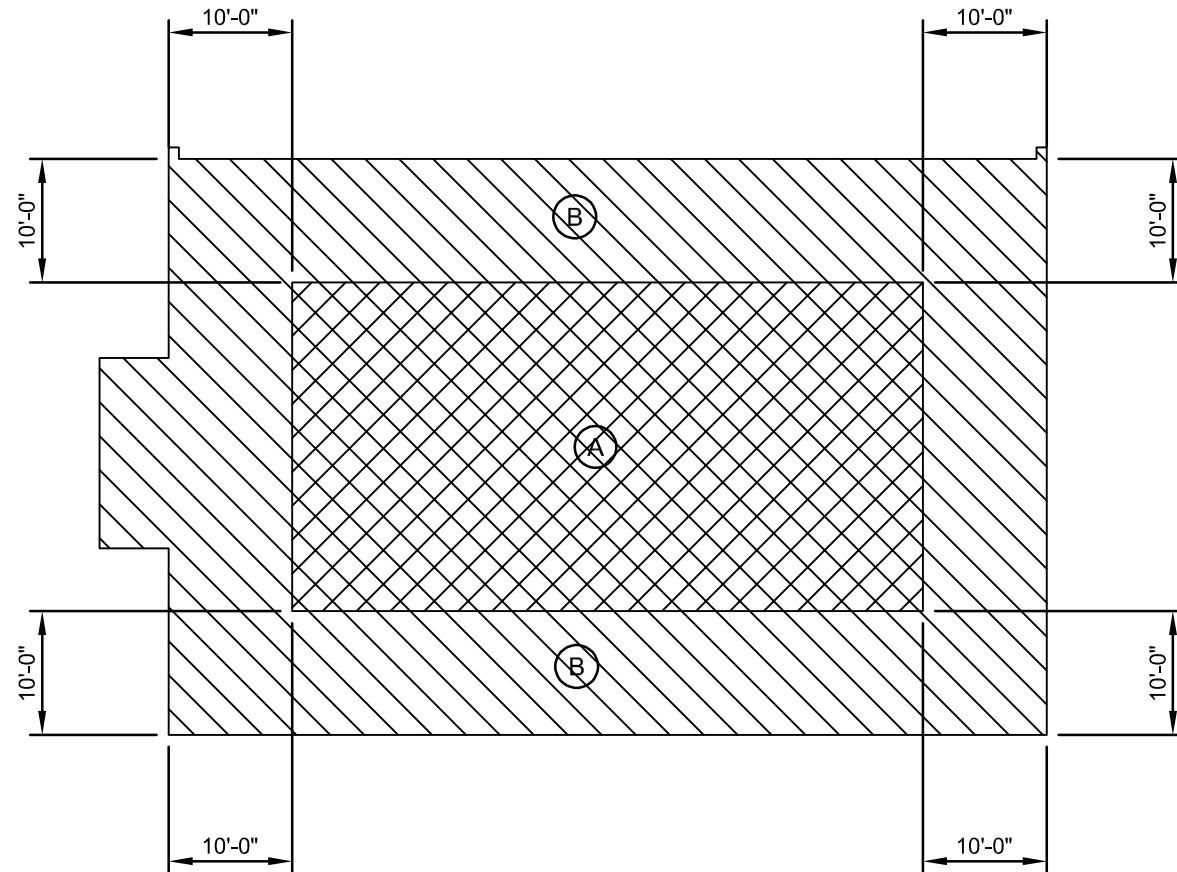
1/4" = 1'-0"

TYPICAL ROOF DECK CONNECTION SCHEDULE

MARK	ATTACHMENT		
	PERPENDICULAR TO SUPPORT	PARALLEL TO SUPPORT	SEAMS
A	5/8" Ø PUDDLE WELD @ 12" O.C. (36/4 PATTERN)	PUDDLE WELD @ 12" O.C.	(6) #10 TEK SCREWS
B	5/8" Ø PUDDLE WELD @ 6" O.C. (36/7 PATTERN)	PUDDLE WELD @ 6" O.C.	(6) #10 TEK SCREWS

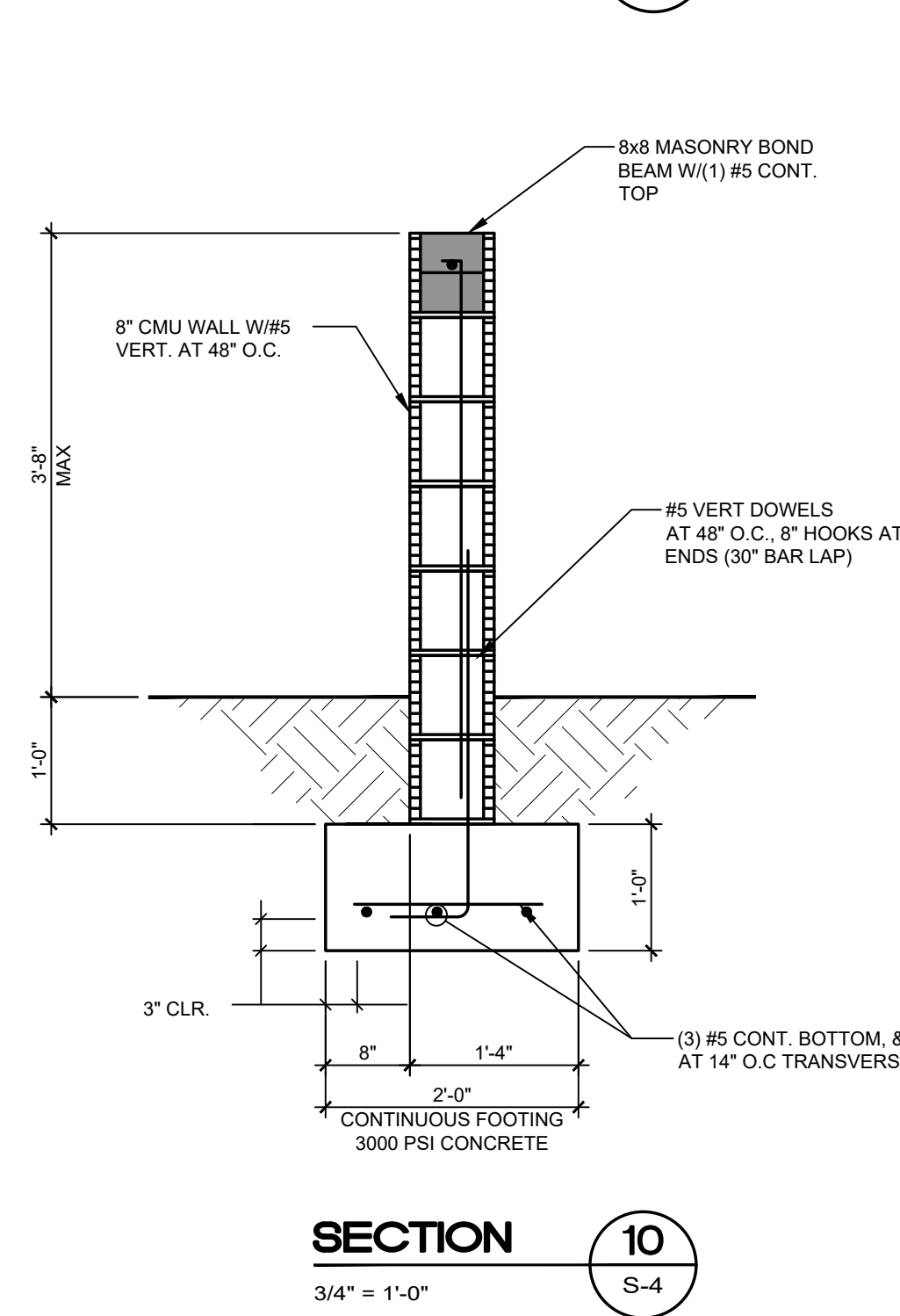
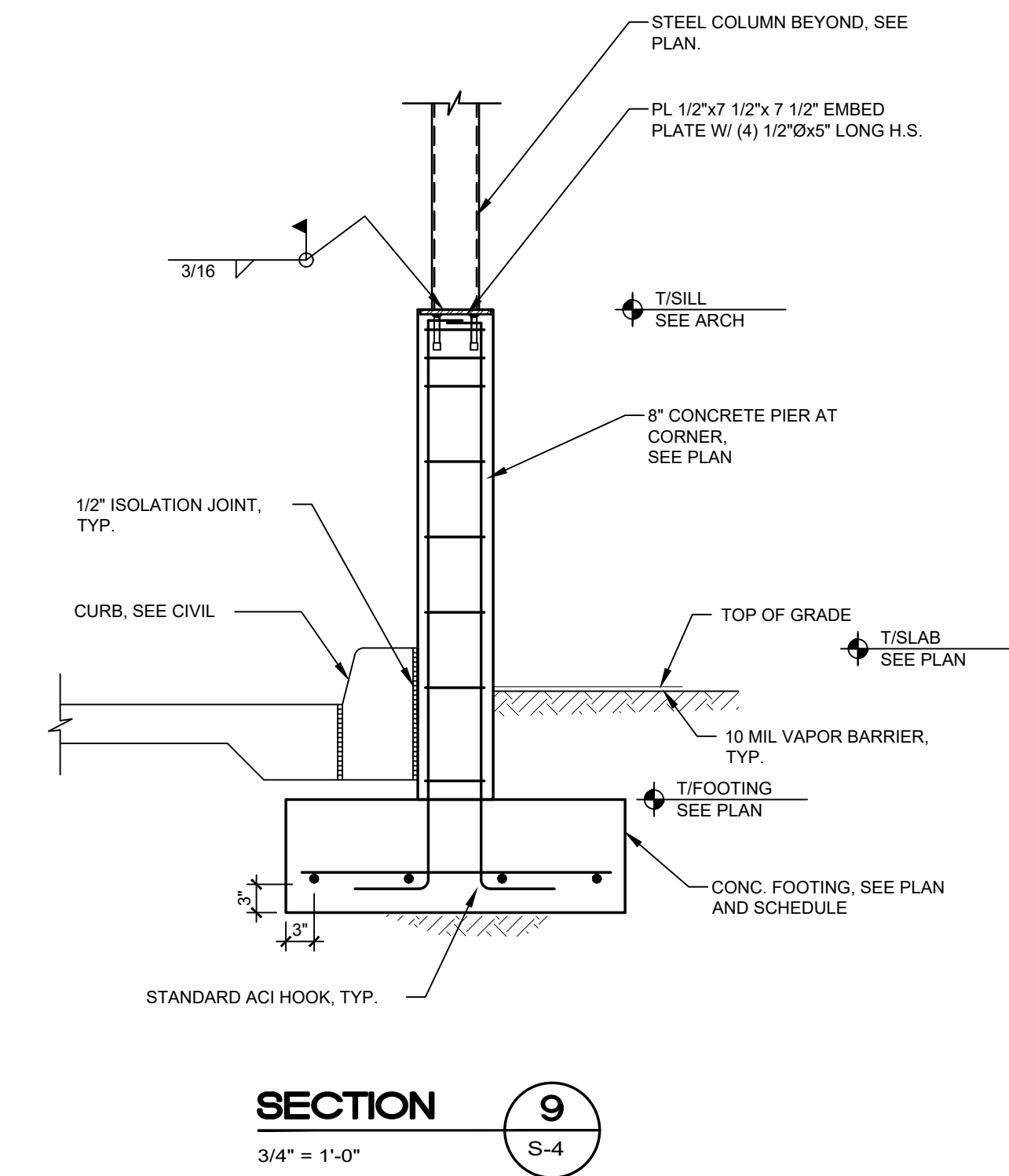
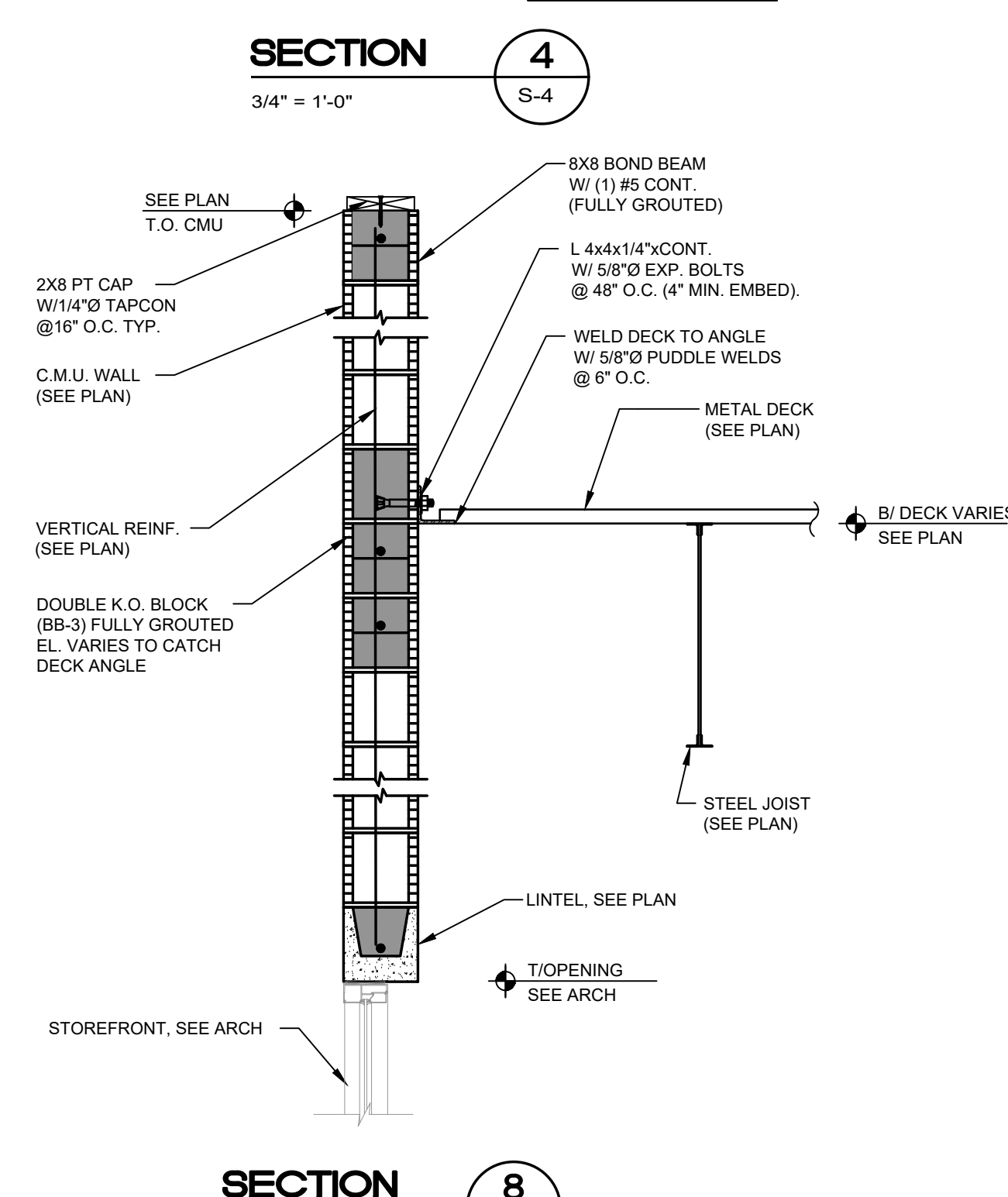
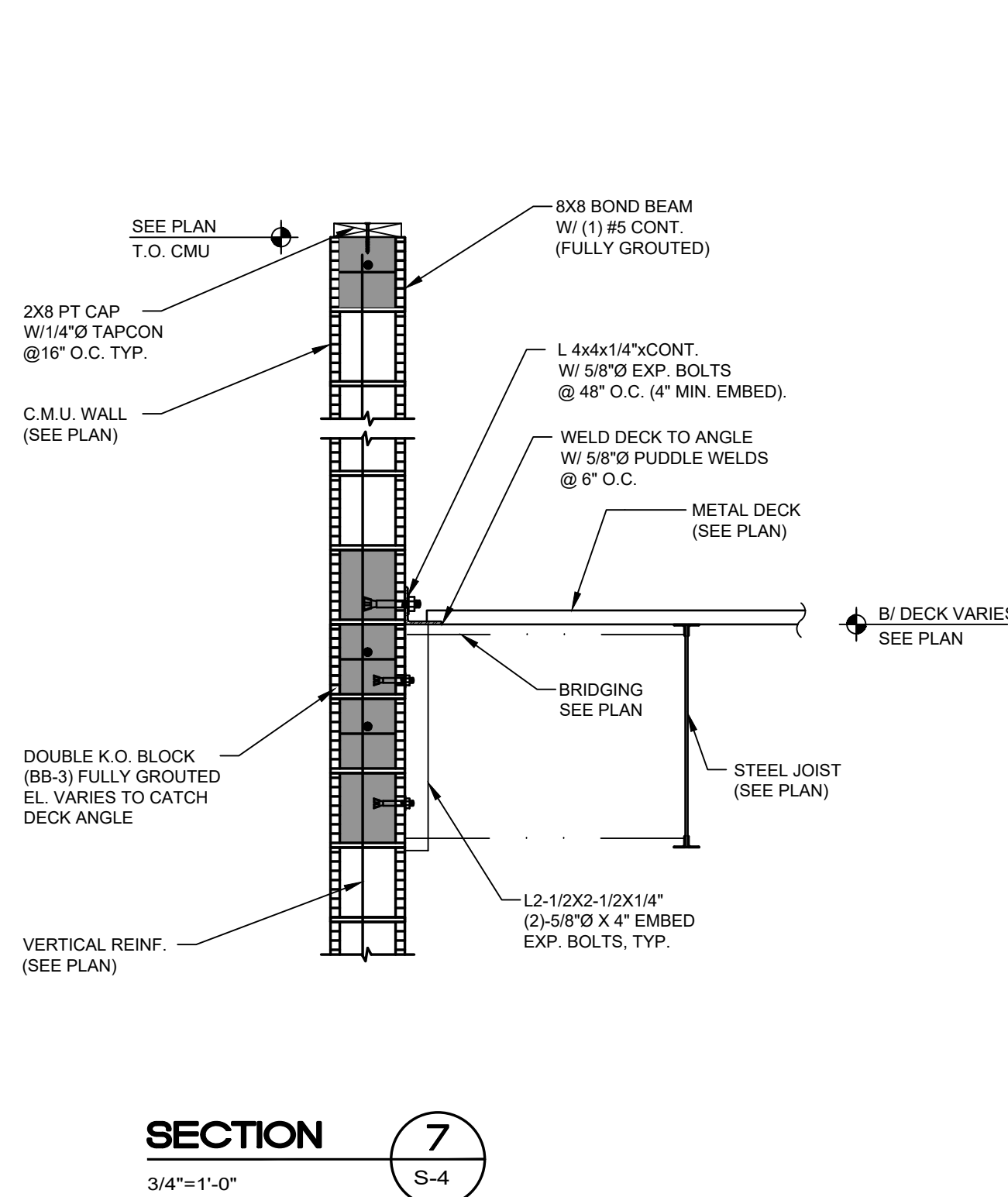
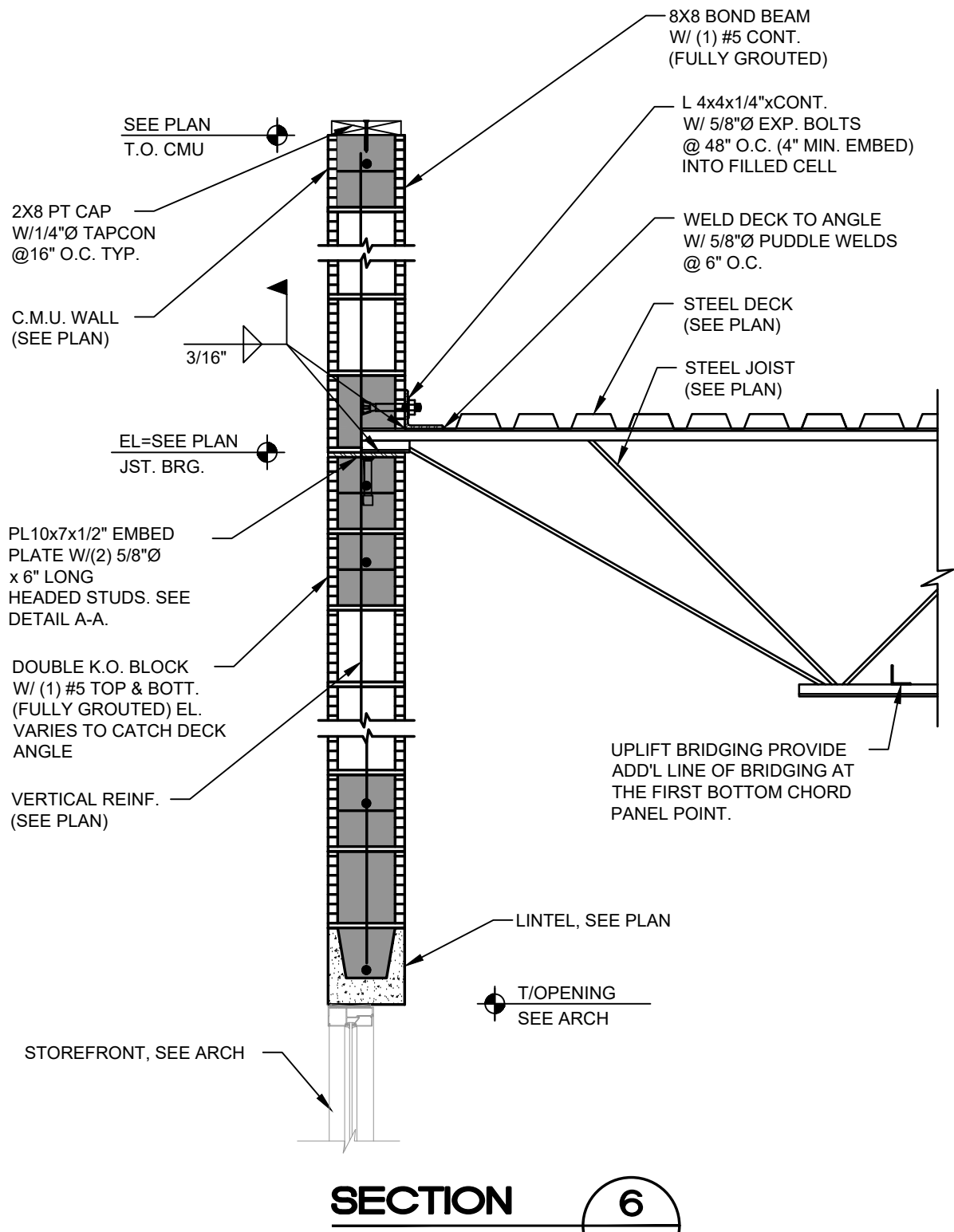
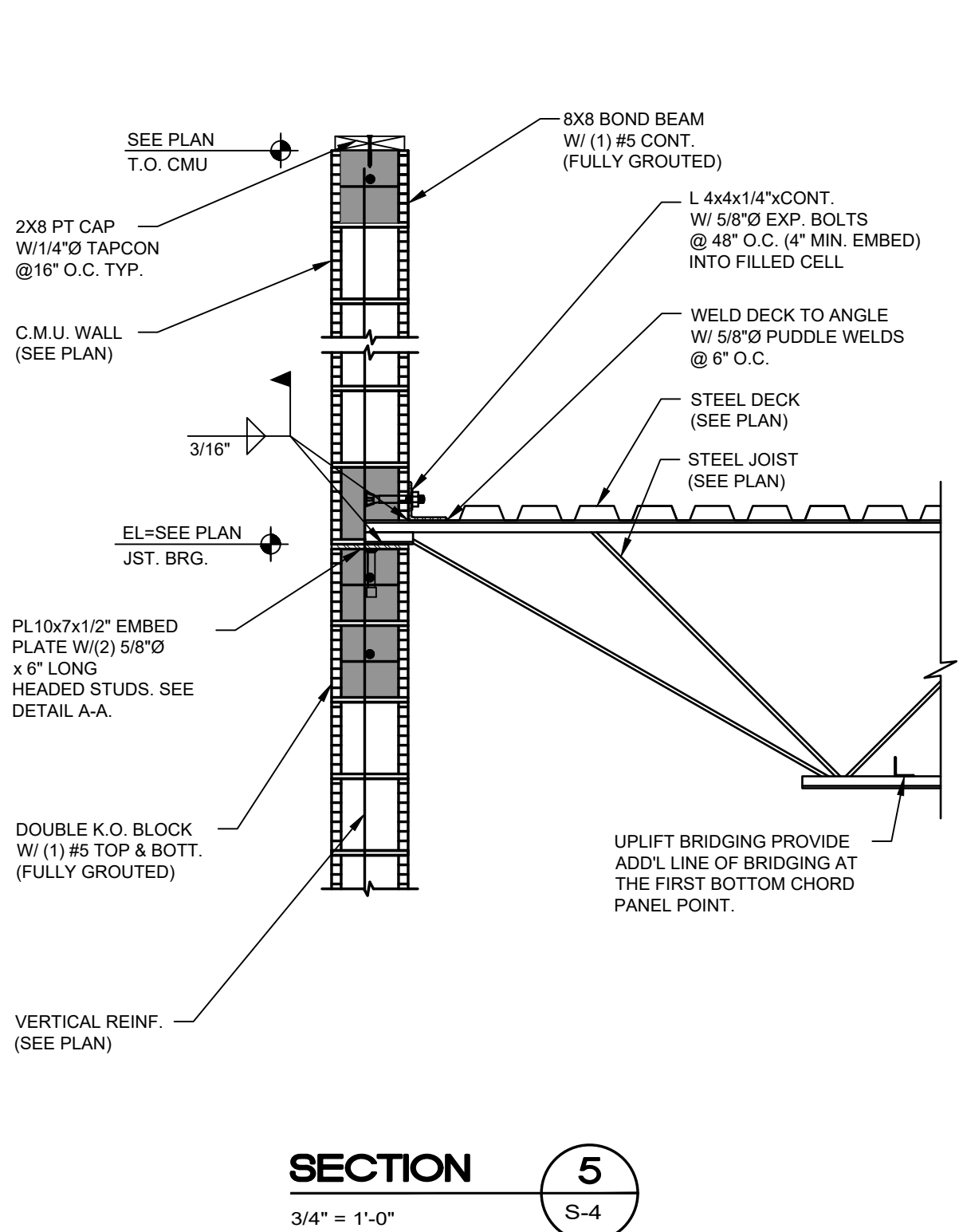
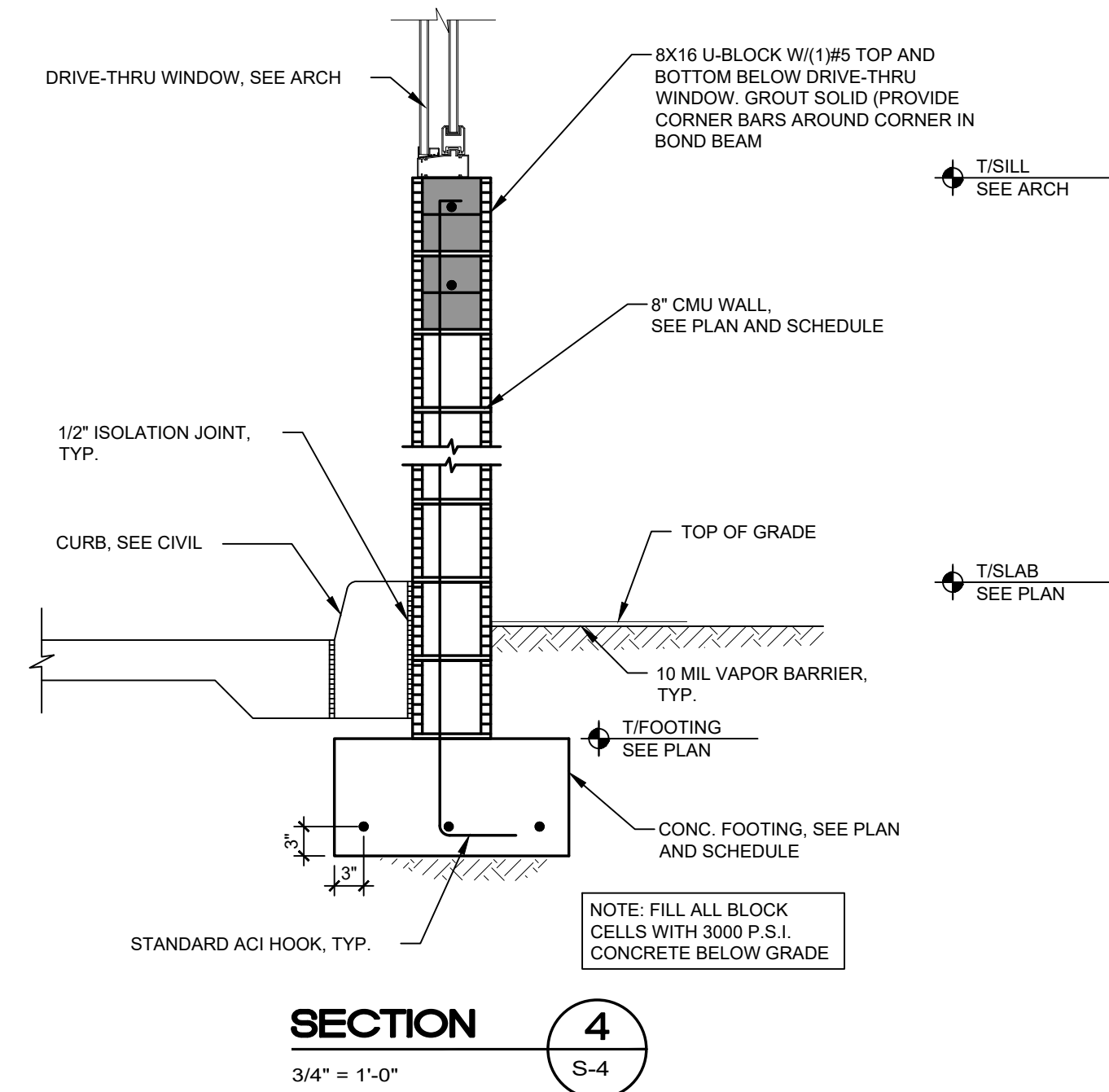
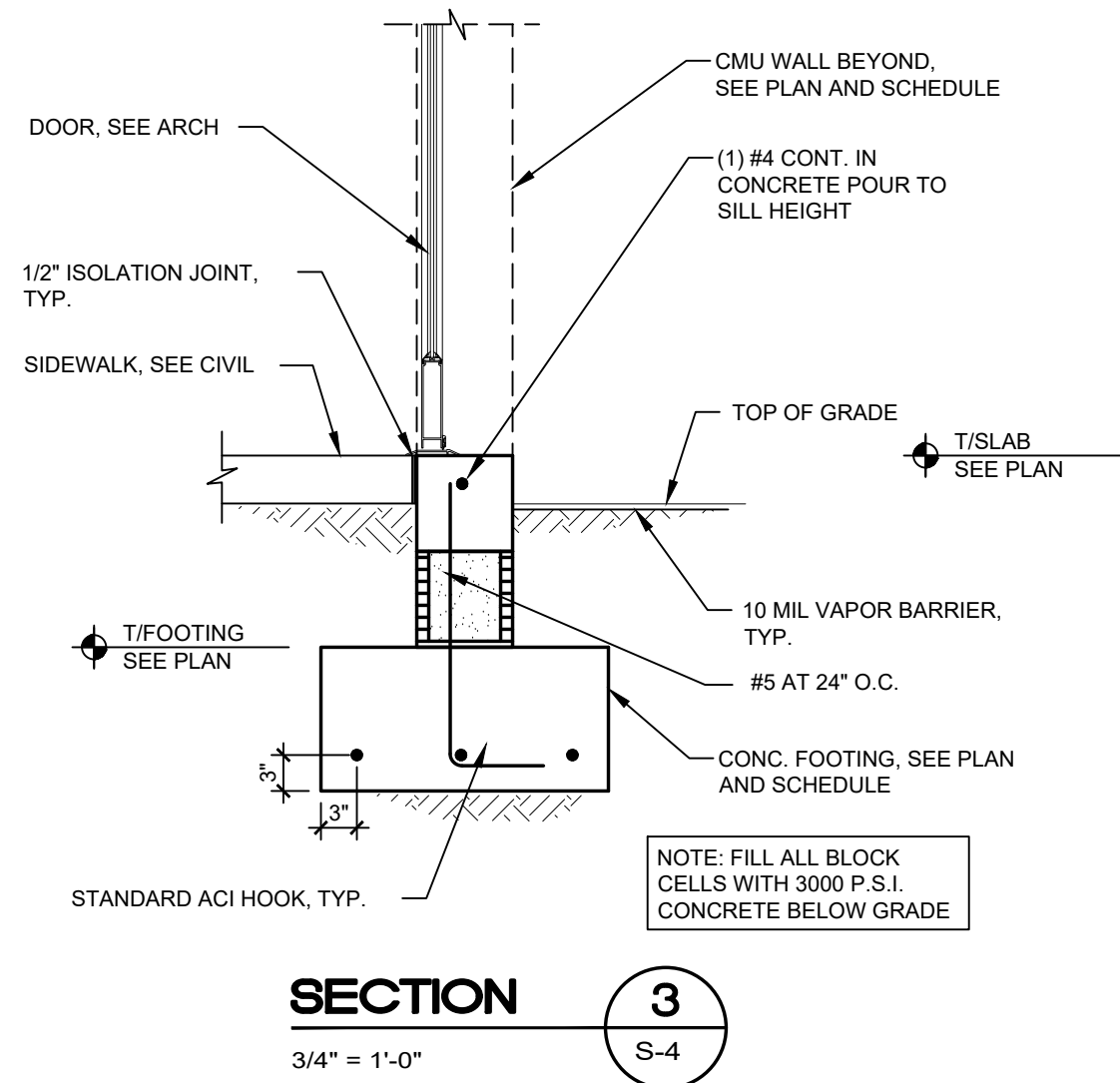
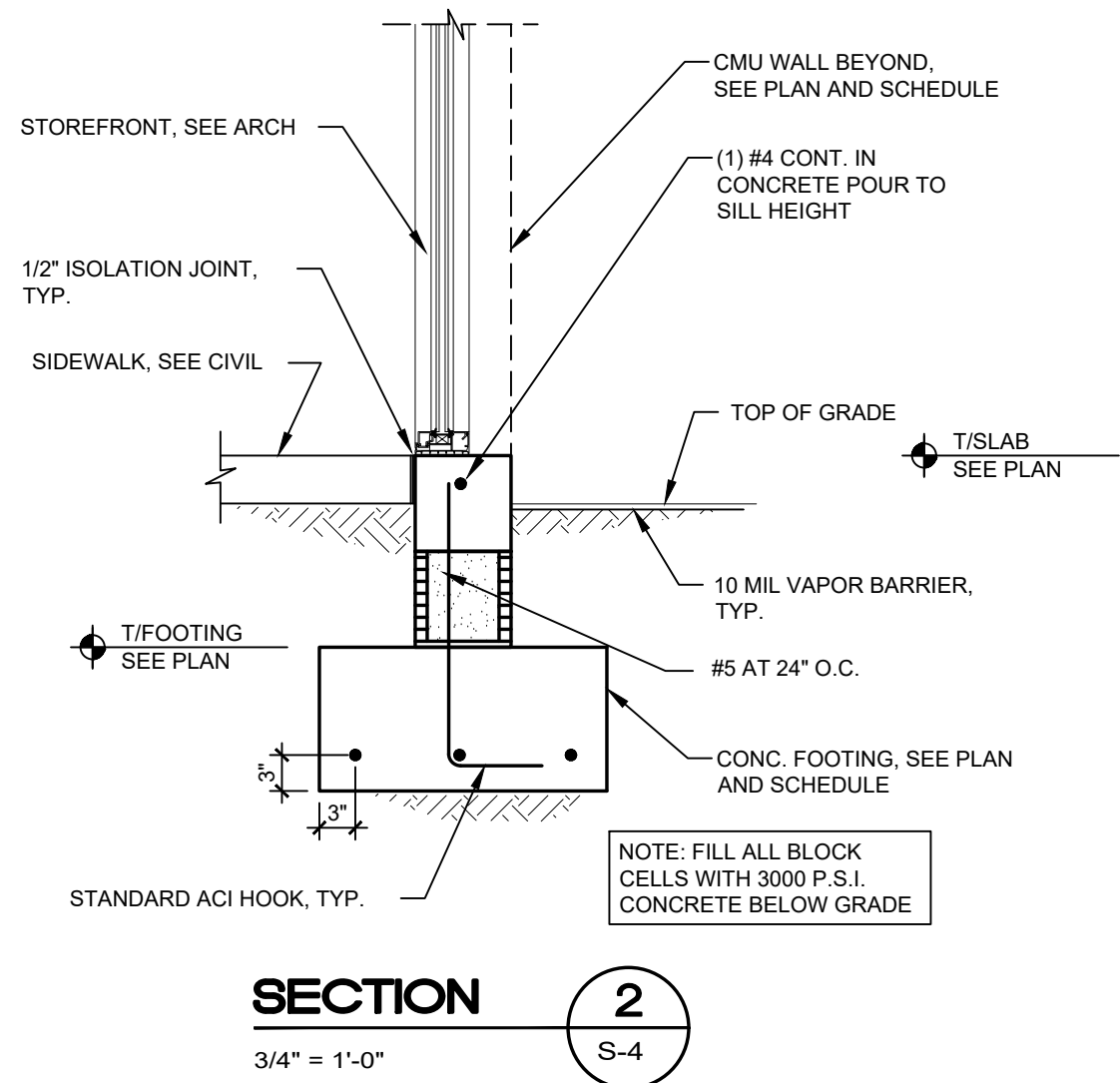
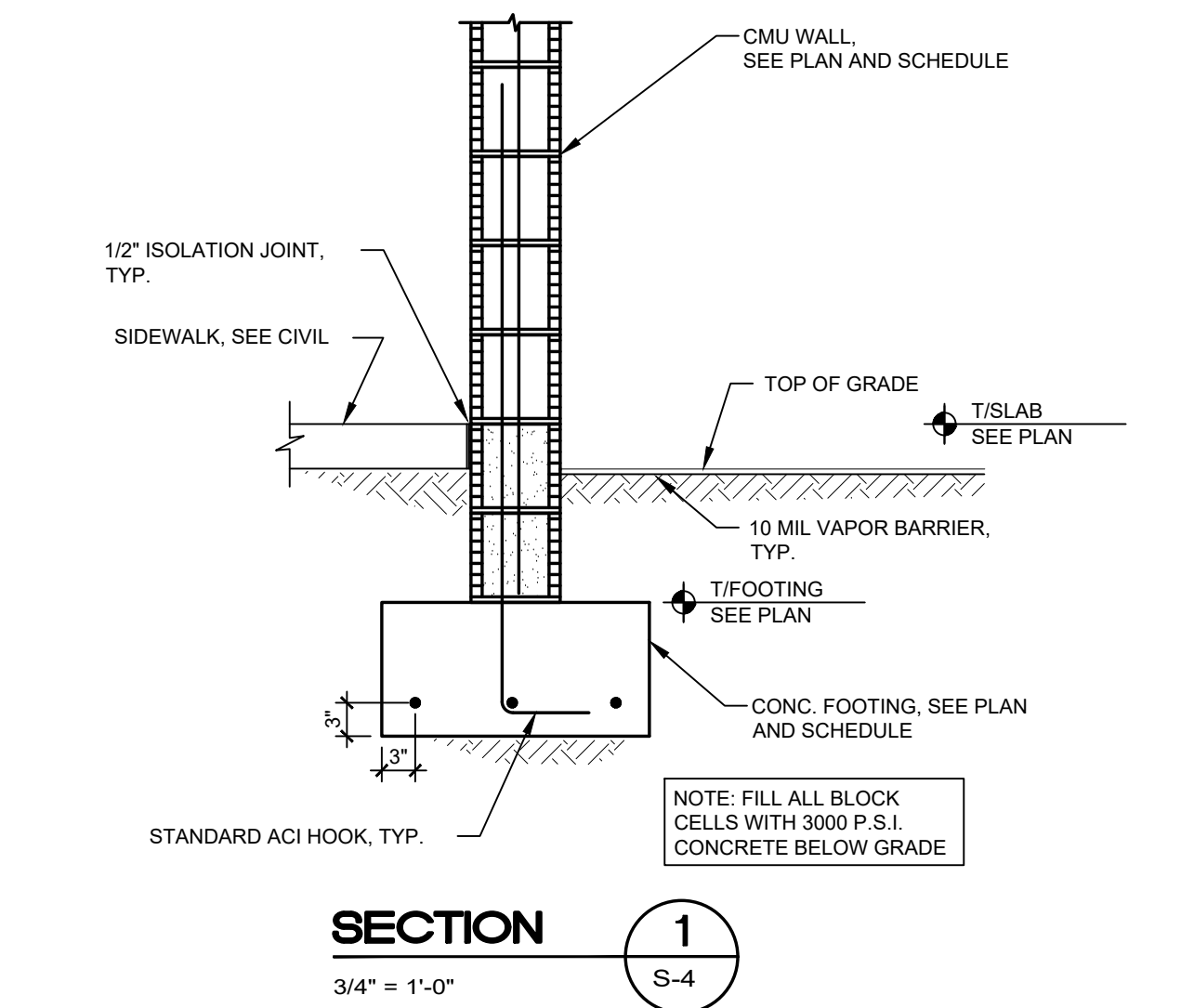
NOTES:

- ALL PUDDLE WELDS TO BE 5/8"Ø FUSION TYPE (UNO).
- WELDS TO BE MADE FOLLOWING AWS D1.3 SPECIFICATIONS BY QUALIFIED WELDING OPERATORS.
- ALL DECK END LAPS TO BE A MINIMUM OF 2".
- SEE SECTIONS AND DETAILS FOR ADDITIONAL WELDS REQUIRED.



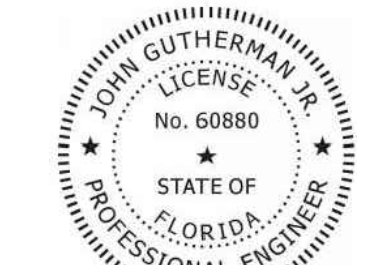
ROOF FRAMING NOTES

- ALL METAL ROOF DECK SHALL BE 1.5" TYP B 22GA (G60) TYP. SEE SCHEDULE AND NOTES ON THIS SHEET FOR ATTACHMENT.
- L-# INDICATES PRECAST LINTEL. SEE SCHEDULE.
- BB-# INDICATES MASONRY BOND BEAM. SEE SCHEDULE.
- CB-# INDICATES CONCRETE BEAM. SEE SCHEDULE.
- PROVIDE A 8x8 MASONRY BOND BEAM (BB-1) W/ (1) #5 CONT. AT THE TOP OF ALL WALLS. PROVIDE AN 8x16 MASONRY BOND BEAM (BB-2) AT ALL JOIST AND DECK BEARING LOCATIONS W/ (1) #5 CONT. TOP AND BOTTOM. TYP.
- VERIFY ALL TOP OF PARAPET W/ ARCH DRAWINGS.
- PROVIDE A CONTINUOUS BB-1 AT WALL MID-HEIGHT ALIGNED WITH TOP OF DOORS. TYP.
- SEE ARCH. FOR DIMENSIONS NOT SHOWN. TYP.
- THE G.C. SHALL VERIFY WEIGHT AND LOCATION OF ALL MECH. EQUIPMENT TO BE SUPPORTED BY ROOF STRUCTURE W/ MECH. & EQUIPMENT SUPPLIER PRIOR TO FABRICATION AND CONSTRUCTION. REPORT ANY DISCREPANCIES TO ARCHITECT AND ENGINEER.
- JOIST BRIDGING SHALL BE PER JOIST MANUFACTURER'S RECOMMENDATIONS. PROVIDE UPLIFT BRIDGING AT ENDS OF JOISTS.
- CONCRETE BEAMS TO BEAR 16" MINIMUM ON MASONRY SUPPORTS. TYP.
- ALL BEAMS SHOWN CB- OR L- ARE OVER OPENINGS. TYP.
- ALL METAL STUDS SHALL BE SHEATHED WITH 5/8" DENSGLASS W/ #10 S-TYPE BUGLE HEAD SCREWS AT 6" O.C. ALONG EDGES INT. SUPPORTS.
- STEEL JOISTS HAVE BEEN DESIGNED TO SUPPORT WEIGHT OF ALL ROOF TOP UNITS AND ALL STRUCTURES SHOWN.
- INDICATES 6" 20GA @ 6" O.C. INFILL.
- INDICATES MECHANICAL SCREEN WALL BY OTHERS.



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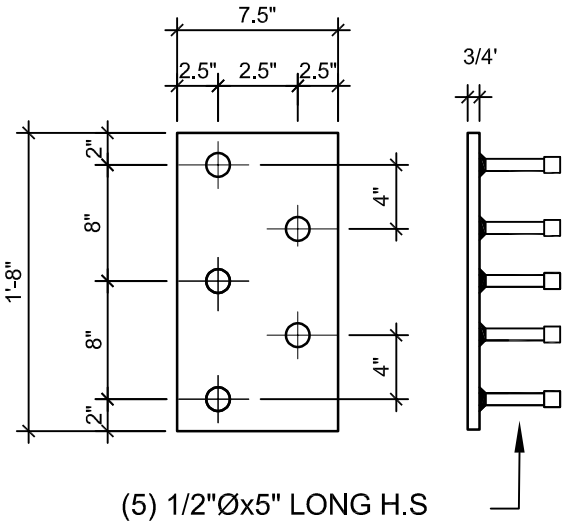
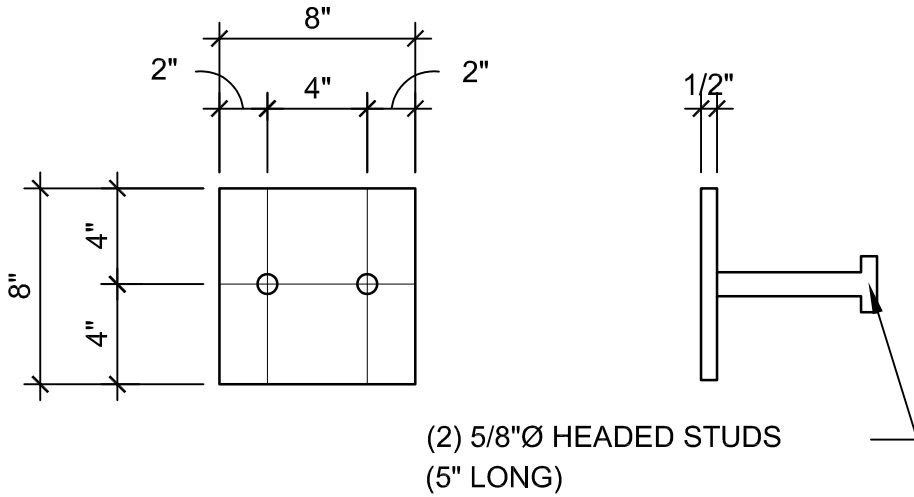
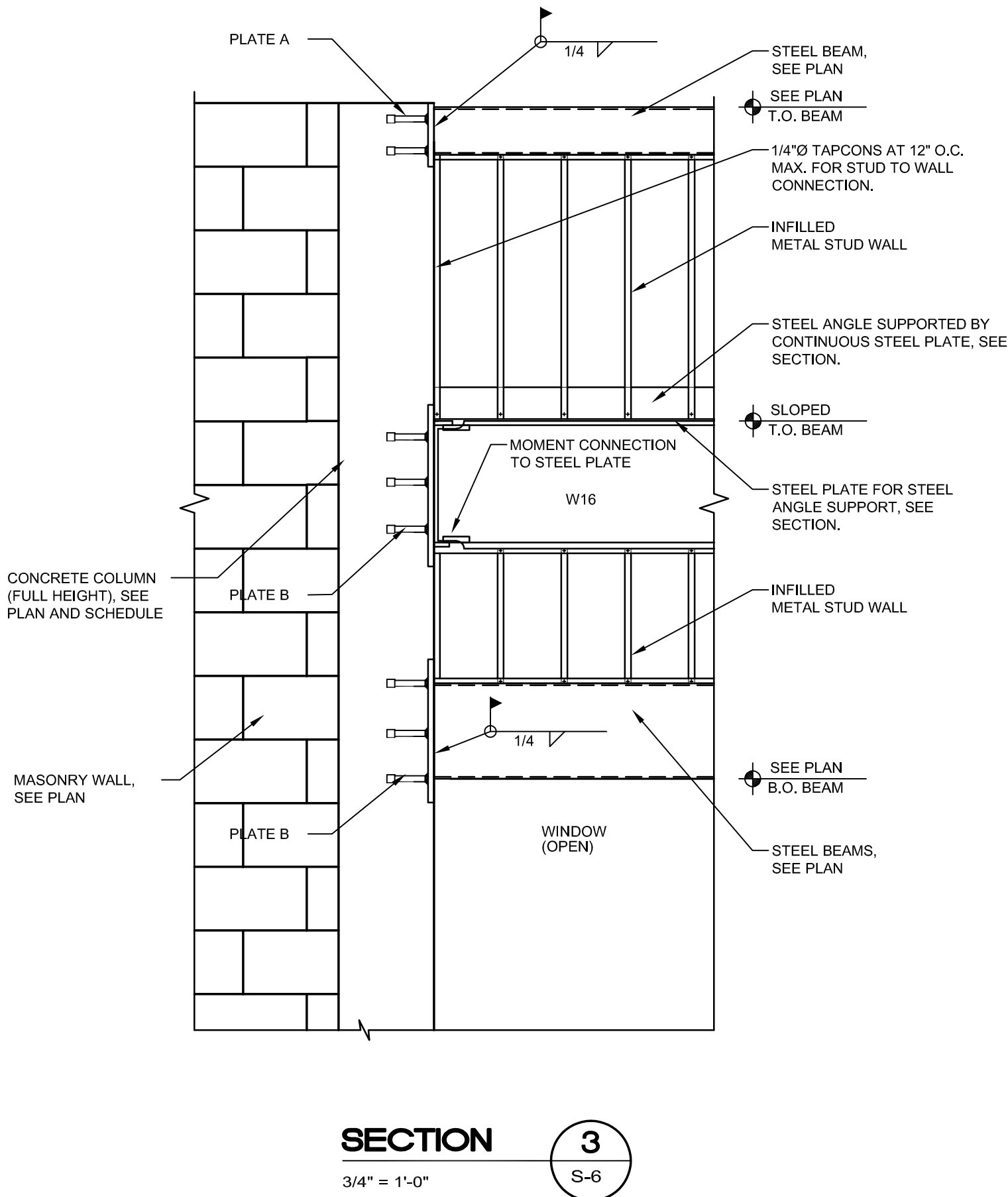
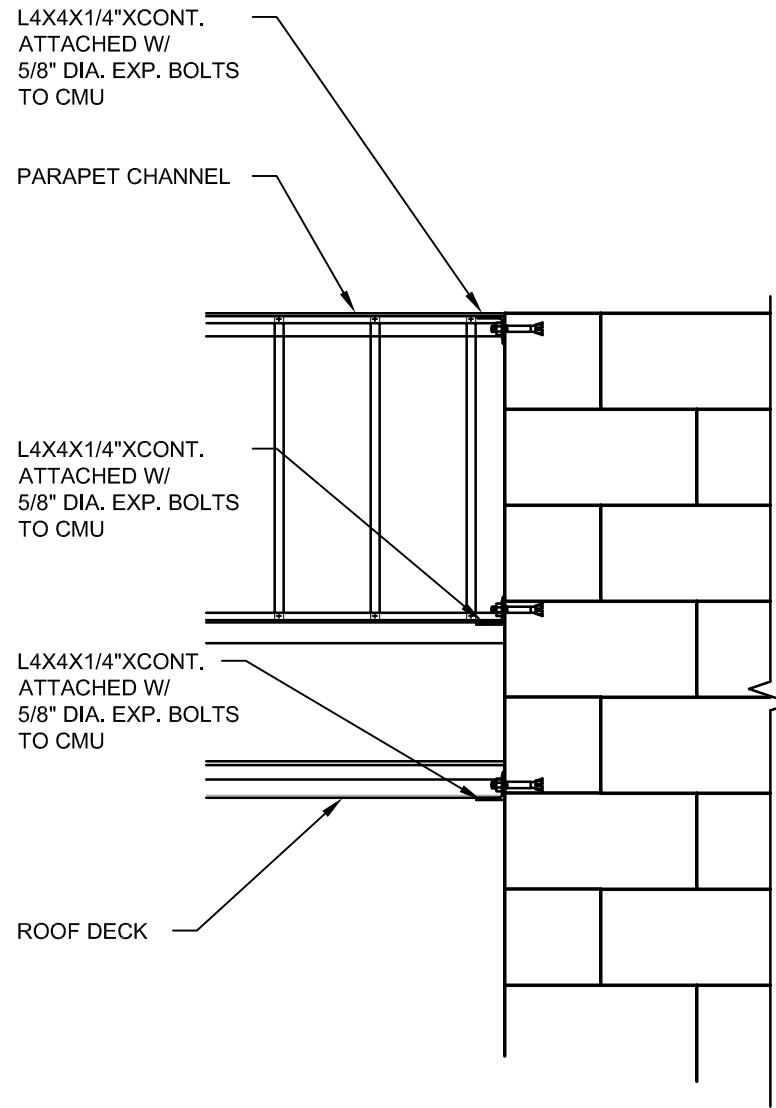
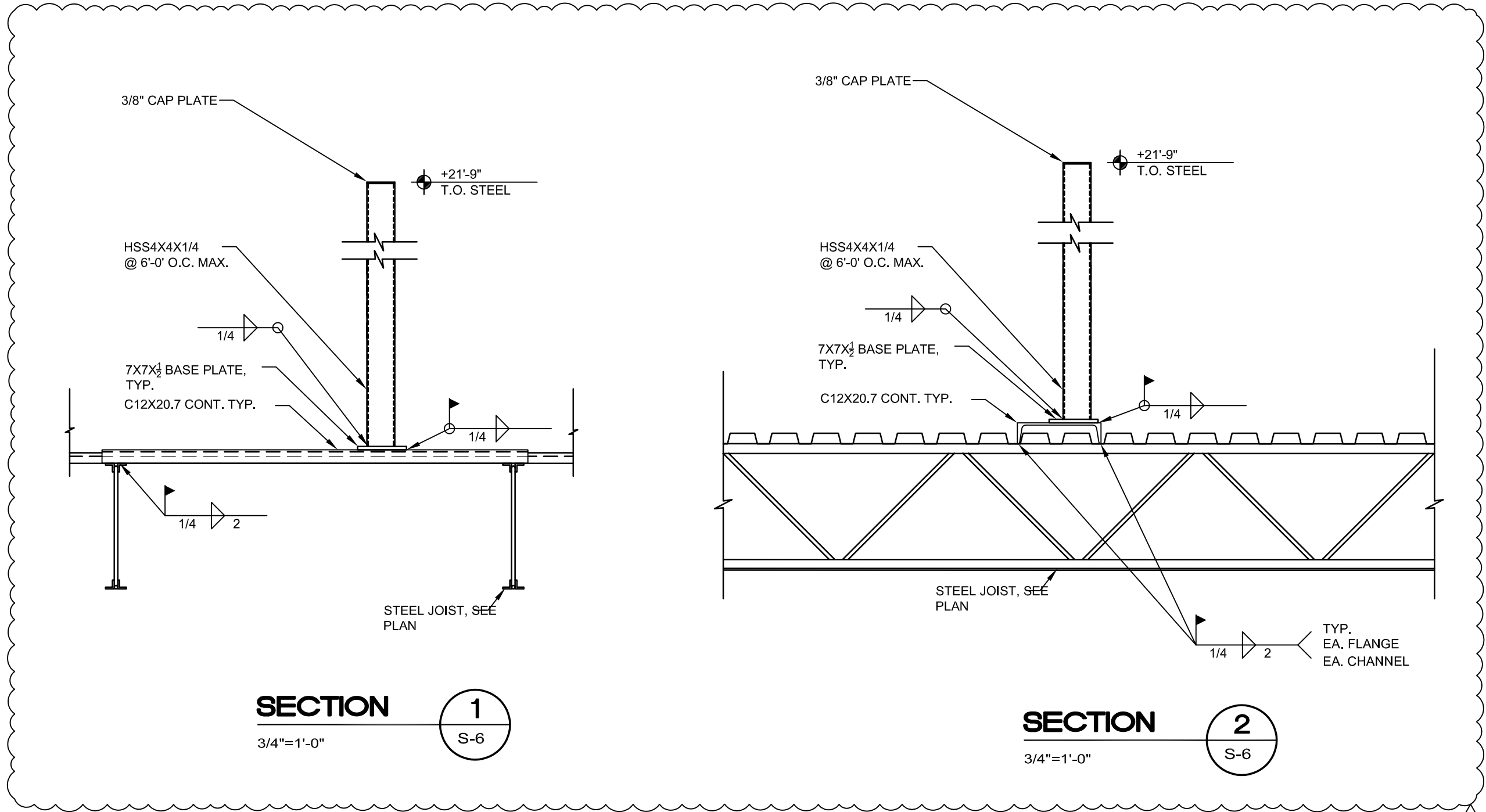
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PROJECT TEAM:

REVISIONS		
#	DATE	DESC.
-	06.26.2023	PERMIT SUBMITTAL

FOUNDATION
& FRAMING
DETAILS

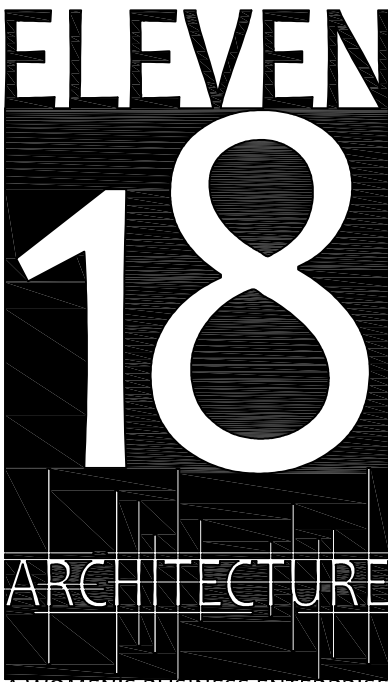
S-4



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PROJECT NAME:
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TUSKAWILLA**
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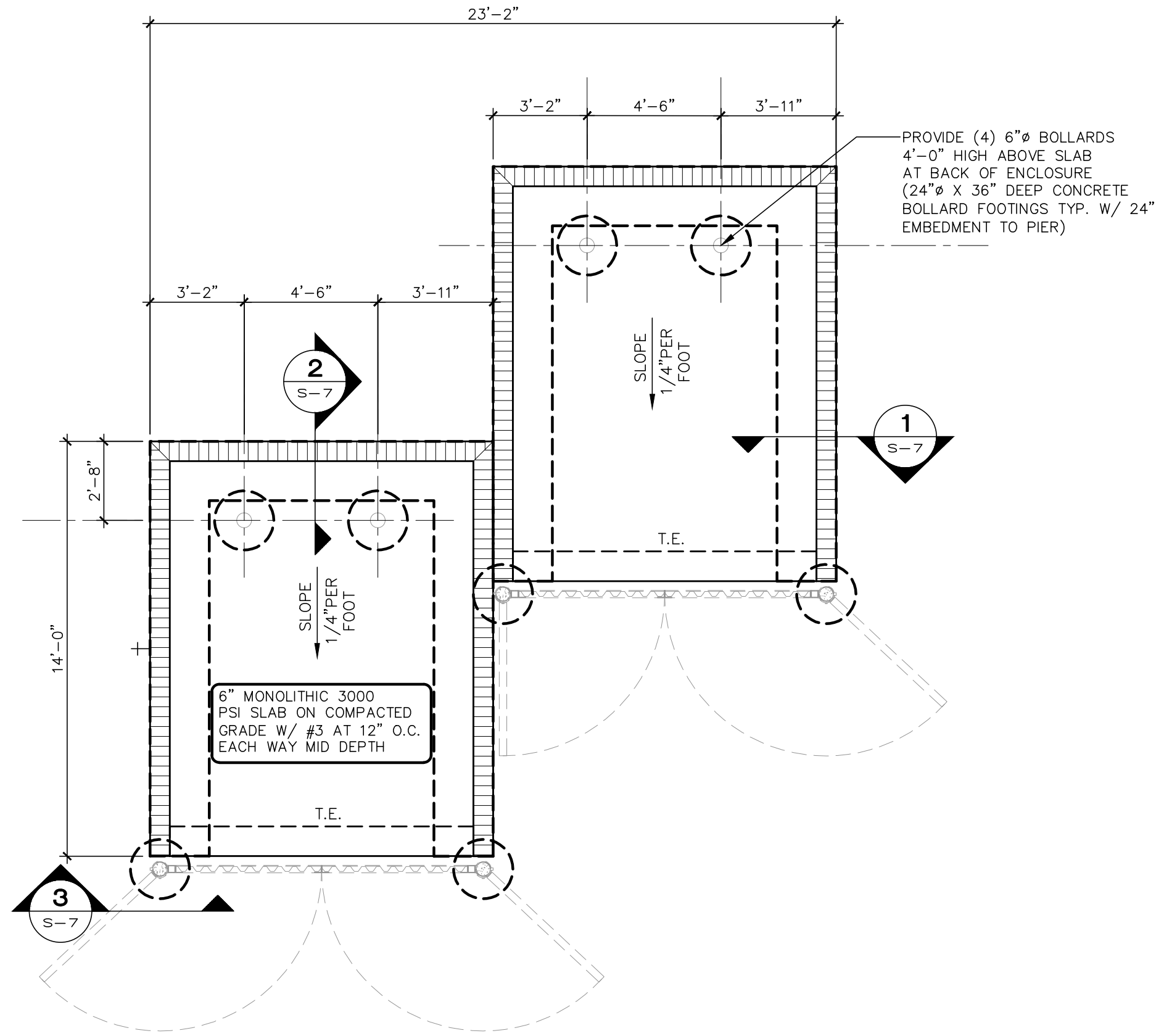


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5	11.01.2023	COUNTY COMMENTS


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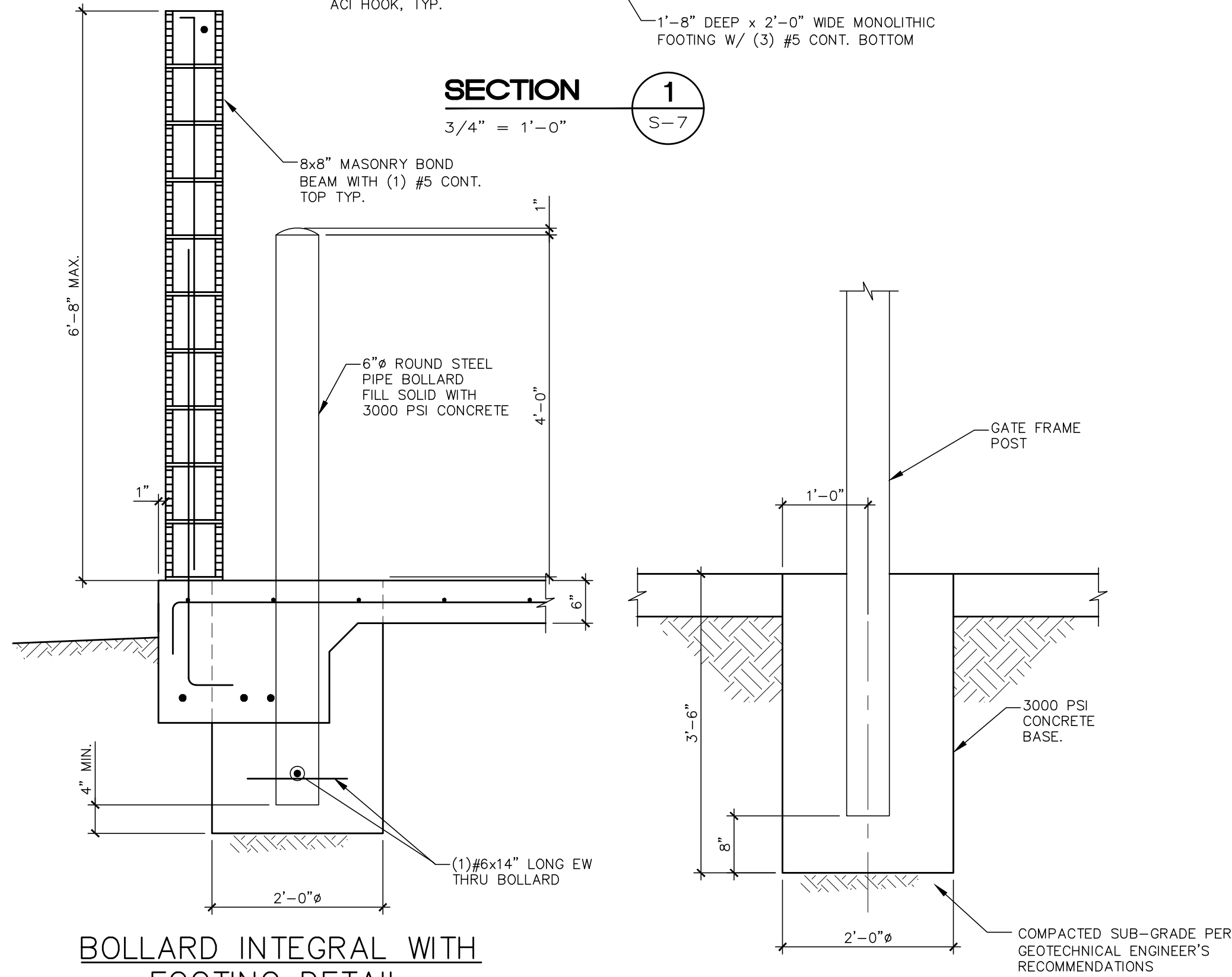
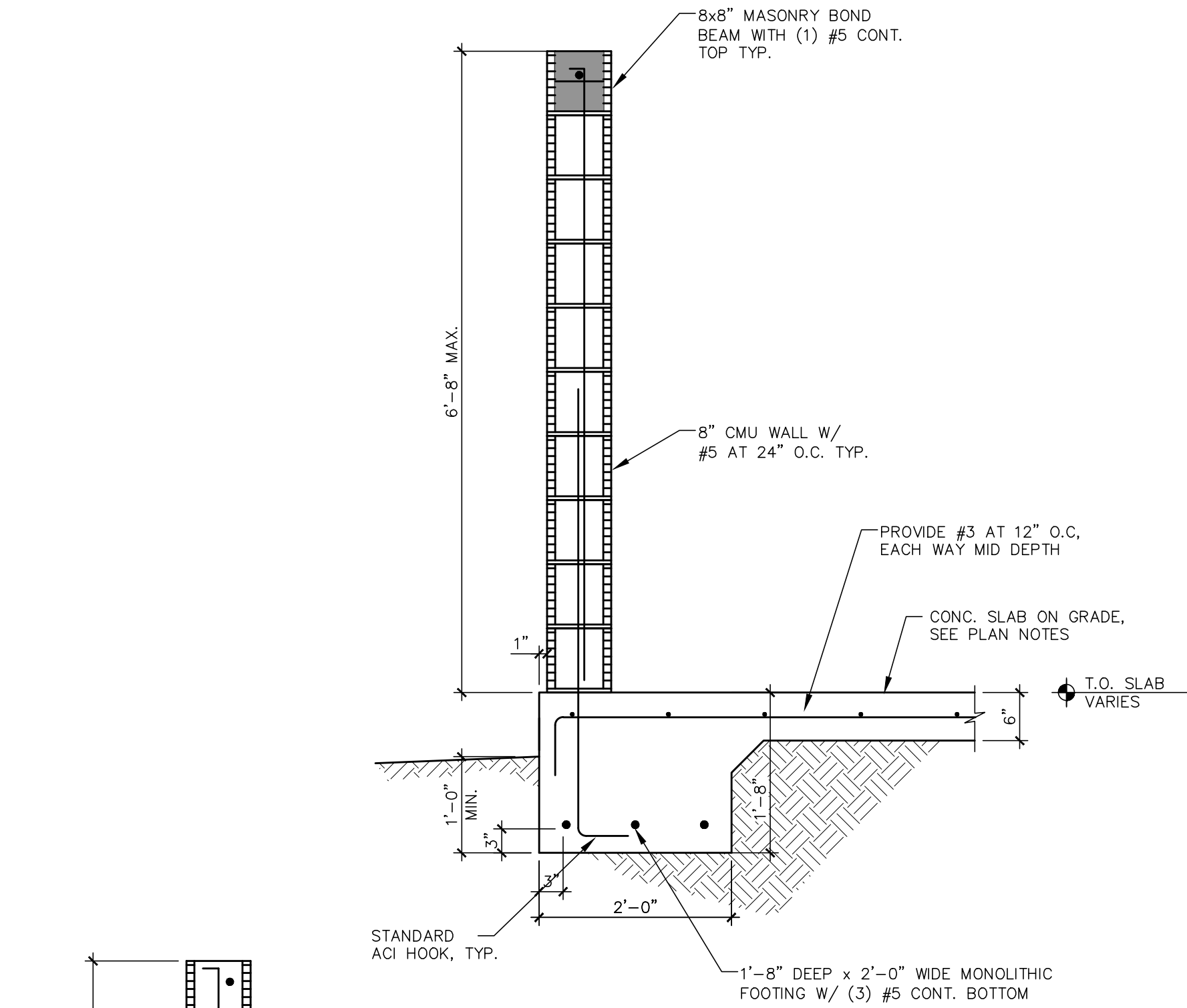


DUMPSTER DETAIL

1/4" = 1'-0"

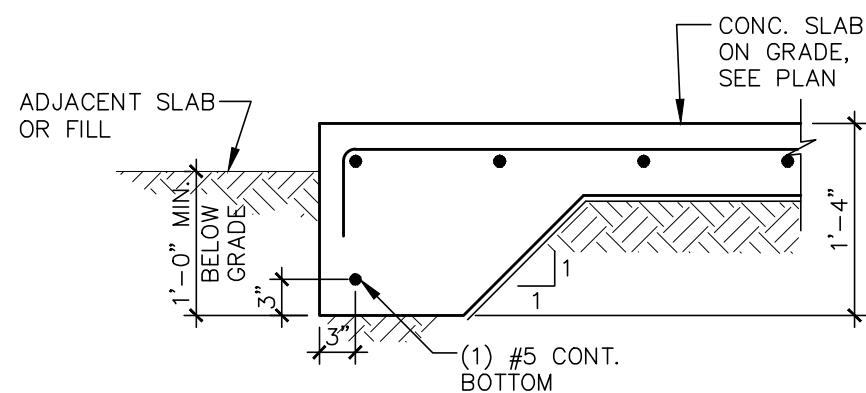
FOUNDATION NOTES:

- ELEV. ±0'-0" IS REFERENCE ONLY. SEE CIVIL FOR TRUE NAVD ELEVATION.
- VERIFY SLOPES AND STEPS WITH ARCH'L PRIOR TO CONSTRUCTION.
- PROVIDE SLAB CONTROL JOINTS AT 12 FEET ON CENTER MAX.
- T.E. INDICATES THICKENED EDGE SEE DETAIL THIS SHEET.
-  DENOTES 8" CMU WALL, SEE SECTION FOR WALL REINFORCEMENT INFORMATION.



BOLLARD INTEGRAL WITH FOOTING DETAIL

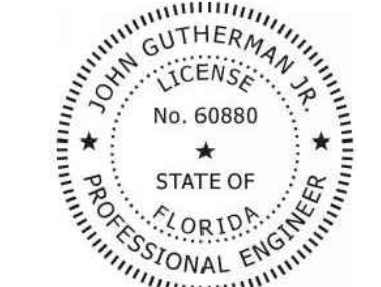
TYPICAL GATE POST DETAIL



THICKENED EDGE (T.E.)

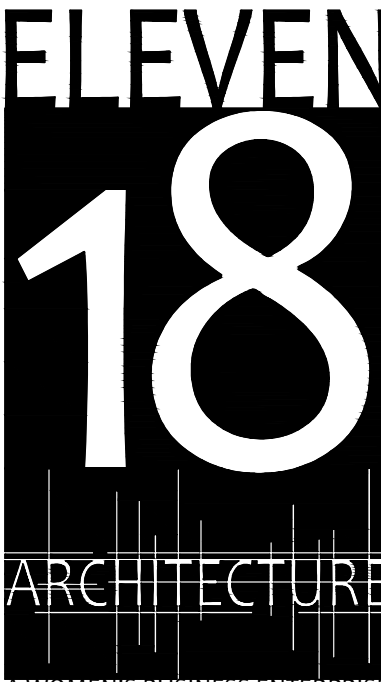
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DUMPSTER
ENCLOSURE

S-7





















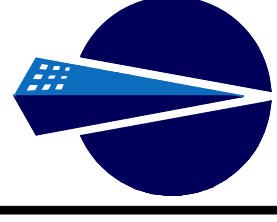
LIGHTING FIXTURE SCHEDULE										
MK	DESCRIPTION	LAMPS			DIFFUSER	MOUNTING	VOLT	MANUFACTURER		REMARKS
		QTY	WATTS	TYPE						
A	8' LED STRIP LIGHT	--	77	LED	--	SURFACE MOUNTED	MVOLT	LITHONIA #D5S-LD6-MVOLT-DM-40K-80CRI-WH		
D	EXTERIOR SURFACE DOWNLIGHT	--	12	LED	--	SURFACE MOUNTED	MVOLT	BECA #24-409-K35-BLK		SURFACE MOUNT UNDER CANOPY
EC	EXIT/EMERGENCY COMBO SIGN	2	9	LED	RED	UNIVERSAL	MVOLT	LITHONIA #LHOM-S-W-3-R-MVOLT		PROVIDE ARROWS AND NUMBER OF FACES AS SHOWN ON PLANS
EM	LED EMERGENCY LIGHT	--	10	LED	--	WALL MOUNTED ABOVE DOOR	120V	EXITRONIX #NFS-WB-10L-WM-BA-G2 WITH REMOTE DRIVER		
EMC	LED EMERGENCY LIGHT	--	10	LED	--	CANOPY MOUNTED	120V	EXITRONIX #NFS-WB-10L-BA-G2 WITH REMOTE DRIVER		COORDINATE INSTALLATION PRIOR TO INSTALLATION OF CANOPY
SLB5	POLE MOUNTED AREA LIGHT	1	90.1	LED	--	POLE MOUNTED AT 16'-0" AFG	120V	LITHONIA #DSXO-LED-P5-40K-70CRI-BLC4-MVOLT-PIRHN-NLTAIR-DOBXLX-EGS		SEE NOTES 5 AND 6
SLB6	POLE MOUNTED AREA LIGHT	1	137	LED	--	POLE MOUNTED AT 16'-0" AFG	120V	LITHONIA #DSXO-LED-P6-40K-70CRI-BLC4-MVOLT-PIRHN-NLTAIR-DOBXLX-EGS		SEE NOTES 5 AND 6
SLB7	POLE MOUNTED AREA LIGHT	1	171	LED	--	POLE MOUNTED AT 16'-0" AFG	120V	LITHONIA #DSXO-LED-P7-40K-70CRI-BLC4-MVOLT-PIRHN-NLTAIR-DOBXLX-EGS		SEE NOTES 5 AND 6
SLF5	POLE MOUNTED AREA LIGHT	1	90.1	LED	--	POLE MOUNTED AT 16'-0" AFG	120V	LITHONIA #DSXO-LED-P5-40K-70CRI-1FTM-MVOLT-PIRHN-NLTAIR-DOBXLX-EGS		SEE NOTES 5 AND 6
SLT2	POLE MOUNTED AREA LIGHT	1	90.1	LED	--	POLE MOUNTED AT 16'-0" AFG	120V	LITHONIA #DSXO-LED-P5-40K-70CRI-T2M-MVOLT-PIRHN-NLTAIR-DOBXLX-EGS		SEE NOTES 5 AND 6
SLT1	POLE MOUNTED AREA LIGHT	1	90.1	LED	--	POLE MOUNTED AT 16'-0" AFG	MVOLT	LITHONIA #DSXO-LED-P5-40K-70CRI-T21-MVOLT-PIRHN-NLTAIR-DOBXLX-EGS		
T	EXTERIOR LED WALL PACK	--	21	LED	--	WALL MOUNTED AT 7' AFG	MVOLT	LITHONIA #MOGE-LED30-P0-40K-80CRI-VF		
W	EXTERIOR LED WALL SCONCE	--	6.8	LED	--	WALL MOUNTED AT 7' AFG	MVOLT	BECA #24-035-K4-BLK		

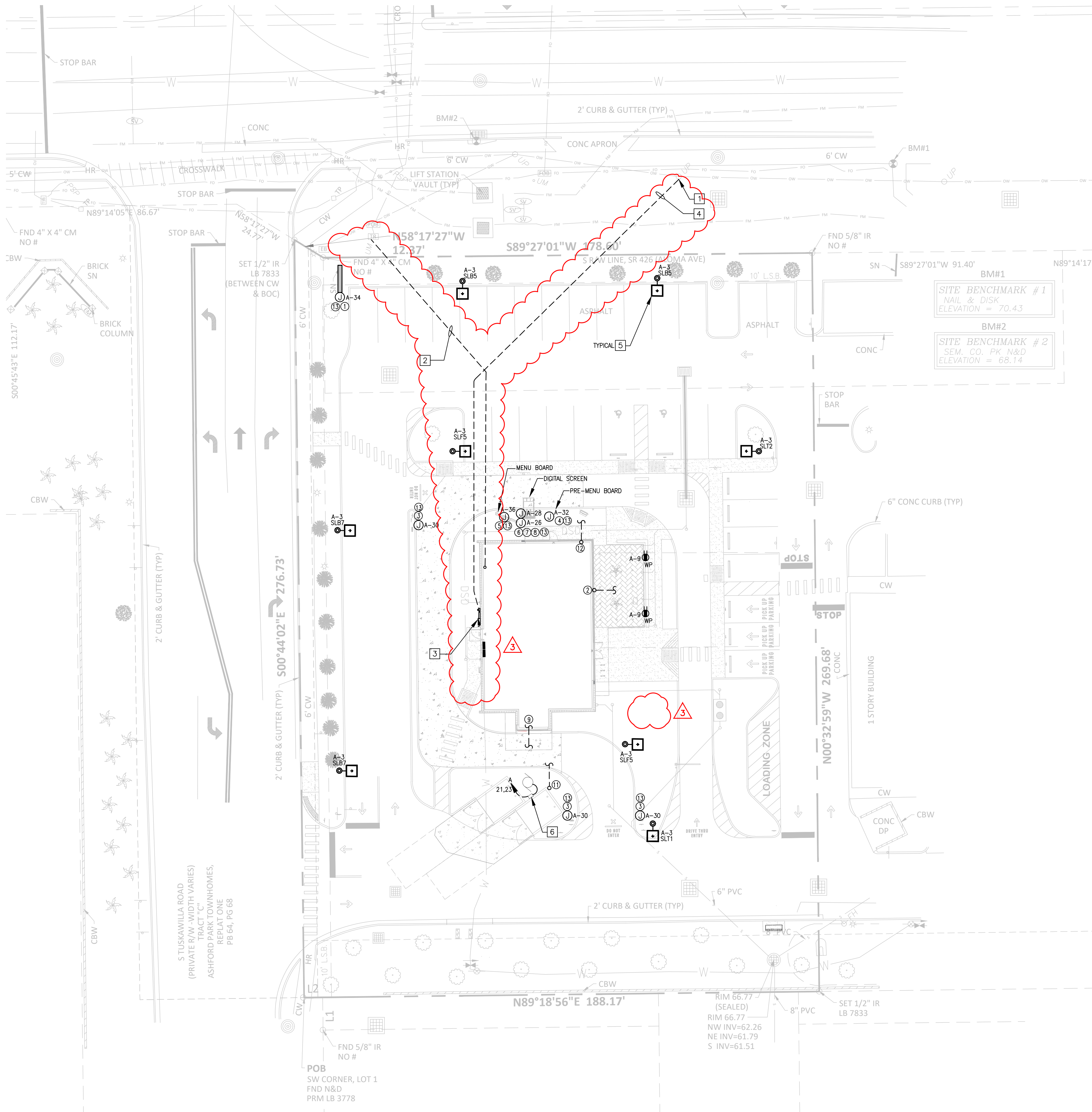
FIXTURE SCHEDULE NOTES:

1. FIXTURE SCHEDULE IS PROVIDED TO ESTABLISH A LEVEL OF QUALITY AND SET THE BASIS OF DESIGN FOR THIS PROJECT. ALTERNATE PACKAGES OF EQUAL OR GREATER QUALITY WILL BE ACCEPTED ONLY FROM SESCO, GENSLYE, WELI AND LIGHTING PARTNERS OF CENTRAL FLORIDA. NO OTHERS WILL BE CONSIDERED FOR THIS PROJECT. PROVIDE EXTERIOR PHOTOMETRIC 10 DAYS PRIOR TO BID DATE FOR CONSIDERATION.
2. SUBMIT CATALOG CUT SHEETS FOR APPROVAL PRIOR TO ORDERING LIGHTING FIXTURES. SUBMIT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER PRIOR TO SUBMITTING BIDS. SUBMISSIONS OF SHOP DRAWINGS TO THE ENGINEER/ARCHITECT THAT DO NOT MEET THE ABOVE REQUIREMENTS WILL BE DISAPPROVED.
3. EMERGENCY BATTERIES SHALL BE MANUFACTURED BY BODINE, AND OR APPROVED EQUALS AND SHALL BE FACTORY INSTALLED. PROVIDE WITH AN UNCONDITIONAL, NON-PRORATED 5 YEAR WARRANTY.
4. TYPE DSX SERIES LIGHTING FIXTURES SHALL BE SIDE ARM MOUNTED WITH OUT TENON ADAPTERS WHEN USING ROUND FIBERGLASS OR ALUMINUM POLES. PROVIDE TENON ADAPTOR #FSQ/ASTSQ WHEN MOUNTING DSX SERIES LIGHTING FIXTURES TO CONCRETE POLES.
5. PROVIDE WITH 20' OVERALL DIRECT BURIED MATCHING ALUMINUM TAPERED POLE, INSTALLED PER MANUFACTURERS WRITTEN INSTRUCTIONS. PROVIDE POLE MINIMUM EPA LOADING SHALL EXCEED THE FIXTURE AND MOUNTING ARM COMBINED EPA PER THE LOCAL WIND REQUIREMENTS OF 160MPH, 3 SECOND GUST, EXPOSURE B PER THE FLORIDA BUILDING CODE. SUBMIT WRITTEN SIGNED AND SEALED DOCUMENTATION INDICATING COMPLIANCE.
6. PROVIDE POLE MOUNTED SITE LIGHTING WITH INTEGRAL WIRELESS CONTROLS REQUIRED TO MEET FBC C405.2.5 FOR EXTERIOR POWER REDUCTION REQUIREMENTS.

The diagram shows a rectangular lighting fixture with a diagonal line from the bottom-left to the top-right. The upper-left triangle is white, and the lower-right triangle is black. To the left of the fixture is a circle containing a cross, with a line connecting it to the fixture. Above the fixture is a line labeled 'NL' and 'A'. To the right of the fixture is a line labeled '35'. Below the fixture is a line labeled 'o'. To the right of the fixture is a line labeled 'INDICATES BRANCH CIRCUIT TO WHICH FIXTURE IS CONNECTED'. Below the fixture is a line labeled 'TYPICAL LIGHTING FIXTURE'. Below the fixture is a line labeled 'INDICATES SWITCHING THAT CONTROLS FIXTURE'. Below the fixture is a line labeled 'INDICATES NIGHT LIGHT'. Below the fixture is a line labeled 'INDICATES FUTURE TYPE'. Below the fixture is a line labeled 'HALF SHADED, INDICATES EMERGENCY FIXTURE WITH BATTERY BACK-UP'.

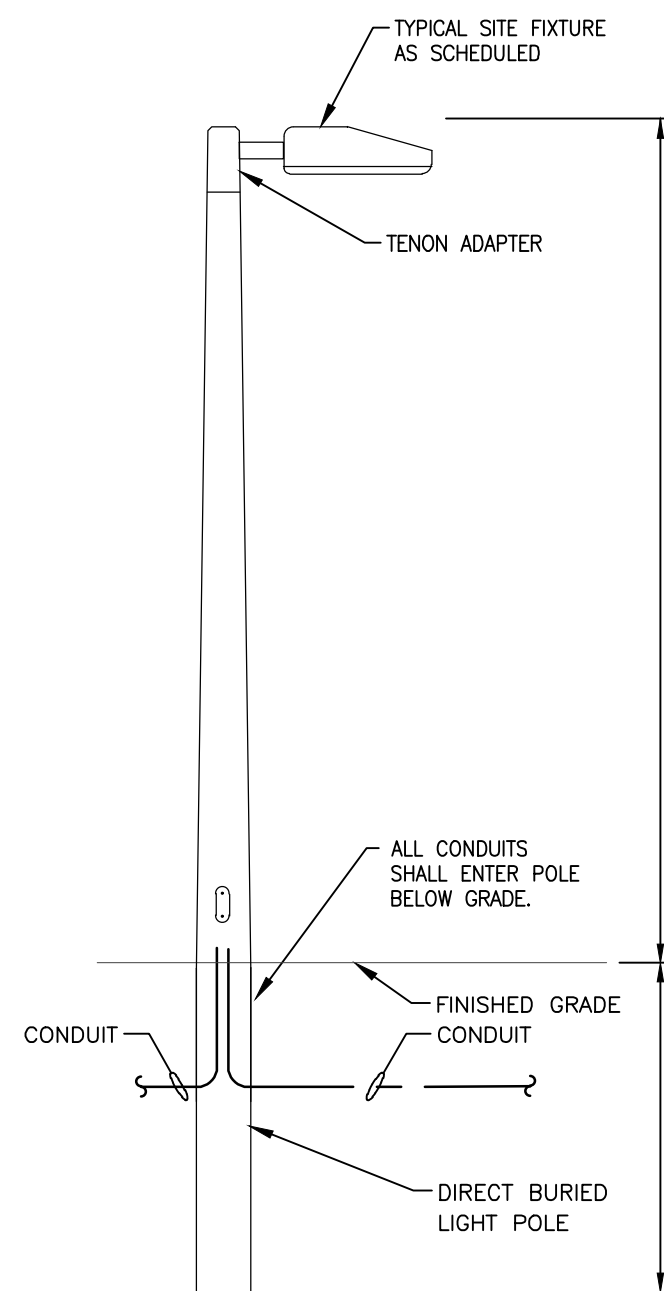
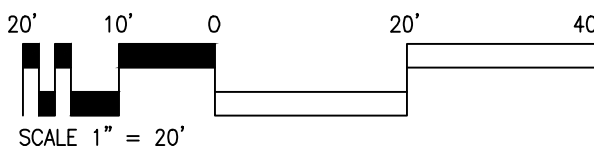
1. "NIGHT LIGHTS" WHERE INDICATED ARE TO BE WIRED UNSWITCHED, CIRCUIT USING THE SMALLEST NUMBER OF LAMPS PER FIXTURE WHEN MORE THAN ONE BALLAST IS PROVIDED PER FIXTURE. REMAINING LAMPS SHALL BE SWITCHED WITH REST OF AREA LIGHTING FIXTURES.
2. INTEGRAL EMERGENCY BATTERIES SHALL BE CONNECTED TO UNSWITCHED LIGHTING CIRCUIT SERVING ROOM WHERE FIXTURE IS LOCATED.
3. IF MORE THAN ONE SWITCH LEG IS SHOWN ADJACENT TO FIXTURE, FIXTURE SHALL BE PROVIDED WITH SECOND BALLAST FOR INSIDE-OUTSIDE LAMP SWITCHING. ALL FIXTURES WITHIN SAME AREA SHALL BE WIRED THE SAME, UNLESS OTHERWISE NOTED.

ELECTRICAL NOTES		ELECTRICAL NOTES	
MATERIALS AND METHODS	GENERAL REQUIREMENTS	LIGHTING	POWER AND WIRING
<div><div>1. ALL WIRE SHALL BE COPPER TYPE "THHN/THWN," SOLID FOR SIZES #10 AND #12, AND STRANDED FOR #8 AND LARGER UNLESS OTHERWISE NOTED.</div><div>2. MINIMUM WIRE SIZE SHALL BE #12 AWG. FOR BRANCH CIRCUITS OVER 100' MINIMUM HOMERUN TO PANEL SHALL BE #10 AWG.</div><div>3. ALL WIRE SHALL BE INSTALLED IN CONDUIT, UNLESS OTHERWISE NOTED. MINIMUM HOMERUN SIZE SHALL BE 3/4", 1/2" CONDUIT MAY BE USED BETWEEN DEVICES. ALL CONDUIT SHALL BE RUN PARALLEL AND PERPENDICULAR TO BUILDING WALLS AND FLOORS. MINIMUM U.G. CONDUIT HOMERUN SHALL BE 3/4". MC CABLE MAY BE USED PER THE NEC, WHERE CONCEALED.</div><div>4. ALL CONDUITS INSTALLED IN DRY INTERIOR LOCATIONS SHALL BE ELECTRICAL METALLIC TUBING, UNLESS OTHERWISE NOTED.</div><div>5. ALL CONDUITS INSTALLED IN EXTERIOR LOCATIONS SHALL BE RIGID SCH.80 P.V.C. ALL CONDUITS INSTALLED UNDERGROUND SHALL BE RIGID SCH.40 P.V.C. BURIED PER NEC. ALL EXTERIOR EQUIPMENT SHALL BE CONNECTED WITH LIQUID TIGHT FLEXIBLE METAL CONDUIT AND WEATHERPROOF FITTINGS.</div><div>6. INSTALL ALL RACEWAYS, BOXES, ENCLOSURES, AND CABINETS AS INDICATED AND INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.</div><div>7. OUTLET AND SWITCH BOXES SHALL BE STEEL IN DRY LOCATIONS AND CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND OF SPECIAL CONSTRUCTION TO SUIT SPECIFIC SITUATIONS. ALL BOXES SHALL BE RECESSED FLUSH IN WALLS AND/OR CONCEALED ABOVE CEILINGS. PROVIDE ACCESS PANELS FOR BOXES LOCATED IN NON-READILY ACCESSIBLE AREAS.</div><div>8. INSTALL COMPONENTS AND EQUIPMENT TO PROVIDE MAXIMUM POSSIBLE HEADROOM WHERE MOUNTING HEIGHTS OR OTHER LOCATION CRITERIA ARE NOT INDICATED. MAINTAIN ALL WORKING CLEARANCES AROUND EQUIPMENT AS REQUIRED BY THE N.E.C. INSTALLED PANELBOARDS WITH TOP OF TRIM AT 6'-6" ABOVE FINISHED FLOOR.</div><div>9. ALL BRANCH AND FEEDER CIRCUITS SHALL CONTAIN A GROUNDING CONDUCTOR, UNLESS OTHERWISE NOTED, AND BE SIZED AND BONDED IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRIC CODE. ALL GROUNDING CONDUCTORS SHALL BE COPPER, U.O.N.</div><div>10. ALL PANELBOARDS, DISCONNECT SWITCHES AND SYSTEM PANELS SHALL BE SQUARE D, GE OR EQUAL AND HAVE PLASTIC LAMINATE NAMEPLATES FOR IDENTIFYING SYSTEM FUNCTION AND CHARACTERISTICS.</div><div>11. FIRE SEAL ALL CONDUIT PENETRATIONS IN FIRE RATED WALLS AND FLOORS BACK TO INITIAL RATING. FLASH ALL CONDUIT ROOF PENETRATIONS AS REQUIRED TO PROVIDE WEATHERPROOF SEALS. COORDINATE WITH OTHER TRADES AND ROOFING CONTRACTOR. ALL PENETRATIONS IN FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY APPROVED FIRE STOPPING SYSTEM IN ACCORDANCE TO SECTION 713 OF THE FBOS.</div><div>12. ALL WIRING DEVICES SHALL BE COMMERCIAL GRADE AND MANUFACTURED BY LEVITON, PAS OR HUBBELL. ALL DEVICES INSTALLED IN FINISHED AREAS SHALL BE WHITE WITH MATCHING NON-METALLIC FLAKEPLATES. FIELD VERIFY ACTUAL COLOR PRIOR TO ORDERING WITH OWNER OR TENANT. SWITCH AND OUTLET BOXES SHALL NOT BE INSTALLED WITHIN THE SAME STUO-CAVITY SATED PARTITIONS AND DEMISING WALLS. IF BACK TO BACK BOXES ARE NOT SEPARATED BY MINIMUM HORIZONTAL DISTANCE OF 24", THEN INSTALLATION OF A WALL OPENING PROTECTIVE MATERIAL, (UL LISTED PUTTY PAD, INSTALLED ACCORDING TO THEIR UL CLASSIFICATION) IS REQUIRED TO MAINTAIN THE WALL RATING.</div><div>13. ALL DISCONNECT SWITCHES SHALL BE RATED HEAVY DUTY, AND NEMA 3R WHERE INSTALLED OUTDOORS.</div><div>14. PROVIDE SUPPLEMENTAL WIRE-TYPE SUPPORT OF ALL LAY-IN LIGHTING FIXTURES FROM BUILDING STRUCTURE. LIGHTING FIXTURES WEIGHING LESS THAN 10 POUNDS SHALL HAVE ONE #12 GAGE HANGER WIRE CONNECTED FROM THE LIGHTING FIXTURE TO THE STRUCTURE ABOVE. LIGHTING FIXTURE WEIGHING MORE THAN 10 POUNDS SHALL HAVE TWO #12 GAGE WIRES ATTACHED AT OPPOSING CORNERS OF THE LIGHTING FIXTURE.</div><div>15. PROVIDE NYLON PULLSTRINGS IN ALL RACEWAYS.</div><div>16. THESE ELECTRICAL PLANS AND PANEL SCHEDULES ARE BASED ON THE CONTRACTOR PROVIDING DEDICATED NEUTRALS FOR EACH 120V BRANCH CIRCUIT. MULTI-WIRE BRANCH CIRCUITS ARE NOT USED, UNLESS SPECIFICALLY NOTED.</div></div>	<div><div>1. PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND TOOLS TO PERFORM ALL WORK NECESSARY FOR THE COMPLETE EXECUTION OF THE ELECTRICAL WORK AS SHOWN ON THE DRAWINGS.</div><div>2. PROVIDE WORK NOT SPECIFICALLY SHOWN OR SPECIFIED, YET REQUIRED TO INSURE PROPER AND COMPLETE OPERATIONS OF ALL SYSTEMS AND TO SATISFY THE DESIGN INTENT IN THE WORK AND TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.</div><div>3. LABOR FOR THE INSTALLATION OF MATERIALS AND EQUIPMENT FURNISHED UNDER THE ELECTRICAL CONTRACTORS' SCOPE OF WORK SHALL BE PERFORMED BY EXPERIENCED MECHANICS OF THE PROPER TRADE AND ALL WORKMANSHIP SHALL BE FIRST CLASS AND SHALL BE IN COMPLIANCE WITH THE SPECIFIC REQUIREMENTS OF THE CONTRACT DRAWINGS.</div><div>4. ALL DISCREPANCIES ON DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO SUBMISSION OF BIDS. SUBMISSION OF A BID CONSTITUTES ACCEPTANCE OF FIELD CONDITIONS.</div><div>5. ALL DIVISION 1 SPECIFICATIONS AND ARCHITECTURAL GENERAL AND SPECIAL CONDITIONS OUTLINED IN THE CONTRACT DOCUMENTS SHALL APPLY TO ELECTRICAL SYSTEMS.</div><div>6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE FOLLOWING CODES AND STANDARDS: FLORIDA BUILDING CODE 7TH EDITION NATIONAL FIRE PROTECTION ASSOCIATION, (NFPA) NATIONAL ELECTRICAL CODE, 2017 (NEC) NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION, (NEMA) NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION, (NECA) AMERICAN NATIONAL STANDARDS INSTITUTE, (ANSI) UNDERWRITERS LABORATORIES, (UL) ALL LOCAL CODES, ORDINANCES, REGULATIONS LOCAL POWER COMPANY STANDARDS THE AUTHORITY HAVING JURISDICTION.</div><div>7. ALL MATERIALS PROVIDED BY THE CONTRACTOR SHALL BE NEW AND FREE OF DEFECTS AND SHALL BE UL LISTED FOR THE INTENDED APPLICATION.</div><div>8. THE ELECTRICAL DRAWINGS ARE NOT TO BE SCALED, WHERE SPECIFIC DETAILS AND DIMENSIONS FOR ELECTRICAL WORK ARE NOT SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL TAKE MEASUREMENTS AND MAKE LAYOUTS AS REQUIRED FOR THE PROPER INSTALLATION AND COMPLETION OF THE WORK.</div><div>9. CONTRACTOR SHALL OBTAIN AND FURNISH ALL PERMITS, AND ARRANGE FOR ALL REQUIRED INSPECTIONS.</div><div>10. CONTRACTOR SHALL INSPECT SITE FOR FIELD VERIFICATION OF ALL ASPECTS OF THE PROJECT PRIOR TO BIDDING.</div><div>11. THE CONTRACT DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF CIRCUITS AND OUTLETS, LOCATION OF SWITCHES, PANELBOARDS, CONDUITS, AND OTHER WORK. FIELD VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION OF WORK.</div><div>12. ALL DISCONNECT SWITCHES AND STARTERS FOR THE MECHANICAL EQUIPMENT SHALL BE SIZED AND PROVIDED BY THE ELECTRICAL CONTRACTOR AND INSTALLED AND CIRCUITED BY THE ELECTRICAL CONTRACTOR, UNLESS OTHERWISE NOTED. INSTALL SWITCHES IN ACCESSIBLE LOCATIONS. PRIOR TO INSTALLATION OF ANY ELECTRICAL WORK RELATED TO NEW HVAC CIRCUITS, THE ELECTRICAL CONTRACTOR SHALL REVIEW THE MECHANICAL SHOP DRAWINGS FOR ACTUAL CIRCUIT REQUIREMENTS.</div><div>13. THE ELECTRICAL CIRCUITS, COMPONENTS, AND CONTROLS ARE SELECTED AND SIZED FOR THE EQUIPMENT SPECIFIED AND OR SHOWN. IF SUBSTITUTIONS AND/OR EQUIVALENT EQUIPMENT ARE FURNISHED, IT SHALL BE THE RESPONSIBILITIES OF ALL PARTIES CONCERNED, INVOLVED IN AND FURNISHING THE SUBSTITUTE AND/OR EQUIVALENT EQUIPMENT TO VERIFY AND COMPARE THE ELECTRICAL CHARACTERISTICS OF THAT FURNISHED TO THAT SHOWN.</div><div>14. FIELD COORDINATE EXACT ELECTRICAL CONNECTION POINTS TO EQUIPMENT PRIOR TO ROUGH IN OF ELECTRICAL COMPONENTS.</div><div>15. FIELD DETERMINE EXACT MOUNTING LOCATION OF DUCT MOUNTED SMOKE DETECTORS. INSTALL PER NFPA AND MANUFACTURER'S WRITTEN INSTRUCTIONS.</div><div>16. COORDINATE MOUNTING LOCATIONS OF LIGHTING SWITCHES, F/A DEVICES, TV, DATA/TEL OUTLETS, AND RECEPTACLES WITH MILLWORK, PRIOR TO ROUGH-IN.</div><div>17. COORDINATE MOUNTING LOCATIONS OF RECEPTACLE AND TV AND DATA OUTLETS WITH OWNER REPRESENTATIVE PRIOR TO ROUGH-IN. REFER TO ARCHITECTURAL PLANS FOR WALL CONSTRUCTION TYPES.</div><div>18. PROVIDE A 120V RECEPTACLE AND SWITCHED LIGHTING OUTLET WITH LAMP WITHIN 3 FT. OF THE SERVING SIDE OF ALL ELECTRICALLY OPERATED MECHANICAL EQUIPMENT INSTALLED IN ATTICS AND CRAWL SPACES.</div><div>19. THE CONTRACTOR SHALL PROVIDE ALL CHANNEL AND ANGLE SUPPORTING SYSTEMS, HANGERS, ANCHORS, SLEEVES, BRACKETS, FABRICATED ITEMS, AND HARDWARE AS REQUIRED TO PROVIDE SECURE SUPPORT, PER N.E.C., FOR ALL ELECTRICAL COMPONENTS FROM THE BUILDING STRUCTURE.</div><div>20. SPECIFIED CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY ONLY, FIELD COORDINATE ACTUAL ROUTING OF CONDUITS.</div><div>21. PROVIDE TEMPORARY LIGHTING AND POWER AS REQUIRED FOR ALL SUBS AND TO SUIT JOB CONDITIONS.</div><div>22. ALL MOUNTING HEIGHTS INDICATED ARE MEASURED FROM THE FINISHED FLOOR INSIDE, OR FINISHED GRADE OUTSIDE.</div><div>23. WHERE CONCEALED BY INACCESSIBLE FINISHES, PROVIDE ACCESS DOORS TO ELECTRICAL JUNCTION AND PULL BOXES, CONTROL DEVICES, AND EQUIPMENT, DISCONNECT SWITCHES AND ALL OTHER ITEMS REQUIRING MAINTENANCE, ADJUSTING, OR SERVICE. COORDINATE LOCATION OF ACCESS PANELS WITH ARCHITECT AND ALL AFFECTED TRADES.</div><div>24. PROVIDE FINAL CLEANUP AND CONDUCT FIELD TESTS AFTER INSTALLATION OF ALL ELECTRICAL WORK. ADJUST ITEMS TO THE SATISFACTION OF THE OWNER, ARCHITECT, AND ENGINEER. LEAVE PANELBOARD INTERIOR CLEAN AND FREE FROM CONSTRUCTION DEBRIS. NEATLY DRESS ALL WIRING, AND RE-TIGHTEN ALL TERMINATIONS PER MANUFACTURERS' RECOMMENDATIONS.</div><div>25. TEST RESISTANCE OF GROUNDING ELECTRODE SYSTEM TO EARTH TO ACHIEVE A MINIMUM OF 10 OHMS, PROVIDE ADDITIONAL ELECTRODE TO OBTAIN ADEQUATE READING.</div><div>26. MAINTAIN ON THE JOBSITE IN GOOD CONDITION ONE SET OF UP TO DATE AS-BUILT ELECTRICAL DRAWINGS. PROGRESSIVELY, NEATLY, LEGIBLY AND EXACTLY RECORD ON THESE DRAWINGS THE LOCATION OF ALL CONCEALED CONDUIT RUNS AND ALL WORK WHICH IS INSTALLED DIFFERENTLY THAN IN THE LOCATION AND MANNER INDICATED ON THE DRAWINGS. PROVIDE A COPY OF THESE PLANS FOR THE OWNER.</div><div>27. UPON COMPLETION OF PROJECT, BALANCE PANELBOARD LOADS AMONG PHASES IN NEW PANELBOARDS WITHIN 10% OF EACH OTHER.</div><div>28. PROVIDE A FULL ONE-YEAR WARRANTY ON ALL ELECTRICAL LABOR, AND MATERIALS INSTALLED ON THIS PROJECT, STARTING FROM THE ISSUANCE OF THE OWNERS CERTIFICATE OF OCCUPANCY.</div><div>29. PER FLORIDA ENERGY CODE SECTION C405.5.3, THESE PLANS HAVE BEEN DESIGNED TO LIMIT THE COMBINED VOLTAGE DROP ON FEEDERS AND BRANCH CIRCUITS TO 5% MAXIMUM.</div></div>	<div><div> EXIT SIGN, CEILING OR PENDANT MOUNTED ABOVE DOOR. SEE LIGHTING FIXTURE SCHEDULE FOR DETAILS.</div><div> EXIT SIGN, WALL MOUNTED ABOVE DOOR. SEE LIGHTING FIXTURE SCHEDULE FOR DETAILS.</div><div> EXTERIOR WALL LIGHTING FIXTURE. SEE LIGHTING FIXTURE SCHEDULE FOR DETAILS.</div><div> RECESSED OR SURFACE MOUNTED LIGHTING FIXTURE. SEE LIGHTING FIXTURE SCHEDULE FOR DETAILS.</div><div> LED STRIP LIGHTING FIXTURE. SEE LIGHTING FIXTURE SCHEDULE FOR DETAILS.</div><div> EMERGENCY BATTERY LIGHTING FIXTURE. SEE SCHEDULE FOR DETAILS.</div><div> 120V AC DIGITAL 7-DAY, 24 HOUR TIMER SWITCH. MOUNT AT 48" AFF.</div><div> BOLLARD LIGHTING FIXTURE. SEE LIGHTING FIXTURE SCHEDULE FOR DETAILS.</div><div> SITE LIGHTING FIXTURE. SEE LIGHTING FIXTURE FOR DETAILS.</div></div> <div><div>120/208V PANELBOARD AS SCHEDULED</div><div> FUSED DISCONNECT SWITCH, NEMA 1 (INDOOR) OR NEMA 3R (OUTDOOR). SINGLE NUMBER INDICATES NUMBER OF POLES. TOP NUMBER INDICATES MAXIMUM AMPERAGE. BOTTOM INDICATES ACTUAL FUSING AS INDICATED OR AS DETERMINED FROM MANUFACTURER'S NAMEPLATE. DISCONNECT SWITCH MUST BE CAPABLE OF BEING LOCKED IN THE OPEN (OFF) POSITION.</div><div> NON-FUSED (NF) DISCONNECT SWITCH, NEMA 1 (INDOOR) OR NEMA 3R (OUTDOOR). SINGLE NUMBER INDICATES NUMBER OF POLES. TOP NUMBER INDICATES MAXIMUM AMPERAGE. DISCONNECT SWITCH MUST BE CAPABLE OF BEING LOCKED IN THE OPEN (OFF) POSITION.</div><div> JUNCTION BOX. CODE SIZED FOR APPLICATION.</div><div> RACEWAY CONCEALED ABOVE CEILING, IN WALLS OR EXPOSED.</div><div> RACEWAY CONCEALED BELOW FLOOR, ROOF, OR GRADE.</div><div> HOMERUN TO PANELBOARD, NUMBER OF ARROWS INDICATES NUMBER OF CIRCUITS. PROVIDE GREEN INSULATED GROUNDING CONDUCTOR IN ALL POWER AND LIGHTING RACEWAYS, NOT SHOWN ON PLANS.</div><div> GROUND</div></div> <div><div>125V AC 20 AMP DUPLEX RECEPTACLE, NEMA 5-20R MOUNTED AT 18" AFF. U.O.N.</div><div> 125V AC 20 AMP DUPLEX RECEPTACLE NEMA 5-20R, WITH GROUND FAULT CIRCUIT INTERRUPTER, RECEPTACLE SHALL BE LISTED AS WEATHER RESISTANT</div><div> 125V AC 20 AMP DUPLEX RECEPTACLE NEMA 5-20R, WITH GROUND FAULT CIRCUIT INTERRUPTER, MOUNTED AT 18" A.F.F., U.O.N.</div><div> 125V AC 20 AMP DUPLEX RECEPTACLE, NEMA 5-20R MOUNTED AT COUNTER HEIGHT, TOP OF DEVICE LESS THAN 46" AFF.</div><div> 125V AC 20 AMP DUPLEX RECEPTACLE NEMA 5-20R, WITH GROUND FAULT CIRCUIT INTERRUPTER, MOUNTED AT COUNTER HEIGHT, TOP OF DEVICE LESS THAN 46" AFF.</div></div>	<div><div>2651 EAU CALE BLVD. SUITE 4 WELLSBORO, FL 32835 TEL 321.253.1221 WWW.CEEENGINEERING.COM C.O.A. #008097</div><div><div>CONSTRUCTION ENGINEERING GROUP Consulting Engineers</div></div><div><div>ELEVEN18 ARCHITECTURE A WOMEN'S BUSINESS ENTERPRISE License: AA26000884 4450 North US Highway 1 Orlando, FL 32804 www.eleven18architecture.com Mark Adams: 407-756-2119 Kim Day: 407-416-9960 Neke White: 407-416-9965</div><div><div>STARBUCKS TUSKAWILLA 3645 ALOMA AVE, OVIEDO, FL 32765 DRAWING TITLE ELECTRICAL NOTES AND SYMBOLS</div><div><div>ENGINEER OF RECORD</div><div>DAVID E. ALLEY, PE FL PE #55008</div></div></div></div></div>
PROJECT COMPLETION REQUIREMENTS	ABBREVIATIONS:	SUBMITTALS	
<div><div>1. WITHIN 30 DAYS AFTER THE DATE OF SYSTEM ACCEPTANCE, CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF THE ACTUAL INSTALLATION TO THE BUILDING OWNER, INCLUDING: A. A SINGLE-LINE DIAGRAM OF THE BUILDING ELECTRICAL DISTRIBUTION SYSTEM. B. FLOOR PLANS INDICATING LOCATION AND AREA SERVED FOR ALL DISTRIBUTION.</div><div>2. THE CONTRACTOR SHALL PROVIDE OPERATING MANUAL AND MAINTENANCE MANUALS TO THE BUILDING OWNER. THE MANUALS SHALL BE NEATLY BOUND AND ORGANIZED AND SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING: A. SUBMITTAL DATA STATING EQUIPMENT RATING AND SELECTED OPTIONS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE. B. OPERATION MANUALS AND MAINTENANCE MANUALS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY IDENTIFIED. C. NAME AND ADDRESS OF AT LEAST ONE QUALIFIED SERVICE AGENCY.</div></div>	<div><div>A AMPERES A/C AIR CONDITIONING AFF ABOVE FINISHED FLOOR AFG ABOVE FINISHED GRADE AHU AIR HANDLING UNIT AWG AMERICAN WIRE GAUGE B.C. BELOW COUNTER CH COUNTER HEIGHT C CONDUIT CFL COMPACT FLOURESCENT CTF CURRENT TRANSFORMER CU COPPER DISC DISCONNECT EM EMERGENCY EMT ELECTRICAL METALLIC TUBING EWC ELECTRIC WATER COOLER FACP FIRE ALARM CONTROL PANEL FS FLOW SWITCH FMC FLEXIBLE METAL CONDUIT GFI GROUND FAULT CIRCUIT INTERRUPTER GND GROUND GRC GALVANIZED RIGID CONDUIT IG ISOLATED GROUND J JUNCTION</div><div>KAIC (THOUSAND) AMPERE INTERRUPTING CAPACITY KCMIL THOUSANDS OF CIRCULAR MILS KVA KILOWATT AMPERES KWH KILOWATT UNIT LGT LIGHTING MH METAL HALIDE N NEUTRAL N.C. NORMALLY CLOSED NF NON-FUSED NL NIGHT LIGHT P POLE PVC POLYVINYL CHLORIDE SPEC SPECIFICATION SS STAINLESS STEEL SQ SQUARE TS TAMPER SWITCH TTB TELEPHONE TERMINAL BOARD TYP TYPICAL UC UNDER COUNTER UG UNDERGROUND UON UNLESS OTHERWISE NOTED V VOLTS W WIRE WP WEATHERPROOF YWYE (CONNECTED)</div></div>	<div><div>1. 'SUBMIT MANUFACTURERS' CUT SHEETS AND CATALOG DATA CLEARLY INDICATING THE SPECIFIC PART OR PRODUCT CATALOG NUMBER(S) FOR APPROVAL.</div><div>2. ELECTRONICALLY SUBMIT RELEVANT INFORMATION, NEATLY BOUND AND INDEXED PER CATEGORY FOR THE FOLLOWING ITEMS, NOT ALL RELEVANT ON ALL PROJECTS: A. INTERIOR AND EXTERIOR LIGHTING FIXTURES. B. EXTERIOR LIGHTING POLES WITH RELEVANT WIND LOAD DATA. C. LIGHTING CONTROLS, CONTACTORS, PHOTOCELLS. D. SWITCHGEAR INCLUDING PANELBOARDS, DISCONNECT SWITCHES. E. SURGE PROTECTION DEVICES WITH INSTALLATION INSTRUCTIONS.</div><div>3. ALLOW TWO WEEKS FOR ENGINEER TO COMPLETE REVIEW OF SHOP DRAWINGS. ENGINEER WILL NOT BE RESPONSIBLE FOR PROJECT DELAYS RELATED TO DELIVERY AND TRANSMISSION OF SHOP DRAWINGS ONCE INFORMATION HAS LEFT ENGINEER'S OFFICE. ITEMS REQUIRING LONG LEAD TIME SHOULD BE SUBMITTED AS SOON AS POSSIBLE.</div></div>	<div><div>DATE 06-23-23</div><div>SCALE AS NOTED</div><div>PROJ. NO.: 230069</div><div>DESIGNED BY: DAP</div><div>DRAWN BY: DAP</div><div>CHECKED BY: DEA</div><div>DRAWING NO. E1</div></div>



SITE ELECTRICAL PLAN

SCALE: 1" = 20'



TYPICAL SITE LIGHTING FIXTURE

NTS



GENERAL NOTES:

- VERIFY FULL SCOPE OF WORK WITH LANDLORD WORK LETTER PRIOR TO BID. NO EXTRAS OR CHANGE ORDERS SHALL BE GIVEN FOR THE GC'S FAILURE TO FULLY UNDERSTAND THE SCOPE.
- COORDINATE ALL CONDUIT ROUTING WITH ARCHITECTURAL AND CIVIL PLANS, AND OTHER TRADES.
- SIGN LOCATIONS ON THIS PLAN ARE FOR REFERENCE ONLY. ACTUAL LOCATIONS SHALL BE DETERMINED FROM THE ARCHITECTURAL AND CIVIL PLANS, AND THE CONSTRUCTION MANAGER.
- REFER TO POWER PLAN FOR PANELBOARD LOCATIONS.
- FOR ALL SIGN / MENU LOCATIONS, VERIFY ALL ELECTRICAL REQUIREMENTS WITH MANUFACTURER PRIOR TO ROUGH-IN. PROVIDE CONDUCTORS AND OVERCURRENT PROTECTION FOR A COMPLETE INSTALLATION.

PLAN NOTES:

- APPROXIMATE LOCATION OF EXISTING POLE-MOUNTED TRANSFORMER. REFER TO RISER DIAGRAM ON DRAWING E6 FOR ADDITIONAL INFORMATION.
- EXTEND (1) 2" U.G. CONDUIT FOR BROADBAND AND (1) 2" U.G. CONDUIT FOR TELEPHONE SERVICE FROM SERVICE POINT TO LOCATION OF FUTURE TENANT TTB. FIELD VERIFY WITH SERVICE PROVIDER EXACT TERMINATION POINT PRIOR TO ROUGH-IN. SEE PLAN NOTE 1 ON E5 FOR ADDITIONAL INFORMATION.
- LOCATION OF METER AND SERVICE DISCONNECT SWITCH. REFER TO RISER DIAGRAM ON DRAWING E6 FOR ADDITIONAL INFORMATION.
- PROPOSED SERVICE LATERAL ROUTING FROM TRANSFORMER SECONDARY COMPARTMENT TO BUILDING MOUNTED METER.
- PROVIDE SITE LIGHTING POLES AND FIXTURES AS SCHEDULED. FIXTURES SPECIFIED WITH SMART CONTROLS FOR AUTOMATIC LIGHTING REDUCTION.
- PROPOSED LOCATION OF SITE IRRIGATION PUMP AND CONTROLLER. PUMP AND CONTROLLER PROVIDED BY OTHERS. FIELD VERIFY EXACT LOCATION PRIOR TO ROUGH-IN OF U.G. CONDUIT.

KEY NOTES:

- GENERAL: FURNISH AND INSTALL ALL UNDERGROUND ELECTRICAL/DATA CONDUITS, LABELED WITH PULL STRINGS, FROM THE ELECTRICAL PANELS AND LOW VOLTAGE DISTRIBUTION POINTS TO THE FOLLOWING SITE, AND DRIVE-THRU COMPONENTS:
- SITE SIGNAGE:
- ONE [1] 1" CONDUIT FOR TENANT'S DEDICATED MONUMENT/PYLON SIGN TO ELECTRICAL PANEL IN BOH (BACK OF HOUSE). PROVIDE A WEATHERPROOF JUNCTION BOX WITH DISCONNECT SWITCH.
 - TWO [2] 1" CONDUITS TO BE RUN FROM BOH ELECTRICAL PANEL THROUGH FOUNDATION WALL, TO PATIO SEATING AREA. TERMINATE CONDUIT AT GRADE IN PLANTER ADJACENT TO PATIO SEATING.
 - ONE [1] 1" CONDUIT FOR EACH DIRECTIONAL SIGN TO ELECTRICAL PANELS IN BOH. (MAXIMUM THREE [3] DIRECTIONAL SIGNS SERVED BY A SINGLE CIRCUIT). PROVIDE A WEATHERPROOF JUNCTION BOX WITH DISCONNECT SWITCH.
- PRE-ORDER MENU:
- ONE [1] 1" CONDUIT FROM PRE-ORDER MENU BOARD TO ELECTRICAL PANELS IN BOH
- MENU:
- ONE [1] 1" CONDUIT FOR TENANT'S MENU BOARD TO ELECTRICAL PANELS IN BOH
- DIGITAL ORDER SCREEN:
- ONE [1] 1" CONDUIT FROM DIGITAL ORDER SCREEN TO ELECTRICAL PANELS IN BOH
 - TWO [2] 1" CONDUITS FOR DATA FROM DIGITAL ORDER SCREEN TO THE INTERIOR OF THE DRIVE THRU "BUMP-OUT"
 - ONE [1] 1" CONDUIT EMBED IN DRIVE THRU LANE FOR VEHICLE DETECTOR LOOP. CENTER CONDUIT ON DIGITAL ORDER SCREEN POST.
 - ONE [1] 1" CONDUIT EMBED IN DRIVE THRU LANE FOR VEHICLE DETECTOR LOOP. CENTER CONDUIT ON DRIVE THRU WINDOW.
- OTHER:
- ONE [1] 1" CONDUIT FROM LIGHTED BOLLARDS TO ELECTRICAL PANELS IN BOH (WHERE SHOWN)
 - ONE [1] 1" CONDUIT FROM TRASH ENCLOSURE TO ELECTRICAL PANELS IN BOH
 - THREE [3] 1" SPARE CONDUITS TO BE RUN THROUGH FOUNDATION ADJACENT TO ELECTRICAL PANEL. CONDUITS SHALL TERMINATE AT GRADE (EXTERIOR SIDE), AND EXTEND ABOVE CEILING ON INTERIOR SIDE.
 - CIRCUIT SERVING THIS DEVICE SHALL BE AUTOMATICALLY CONTROLLED. FURNISH AND INSTALL ALL CONDUIT, WIRE, CONNECTIONS, AND CONTACTORS NECESSARY TO ENSURE A FUNCTIONAL SYSTEM (SEE LIGHTING CONTROL DIAGRAM ON E6).

CONTRACTOR SHALL REFER TO CIVIL DRAWINGS AND STARBUCKS SITE EQUIPMENT RISER FOR DIAGRAMS ON DRAWING E3 FOR ADDITIONAL CONDUITS THAT MAY BE REQUIRED. REFER TO CIVIL DRAWINGS FOR EXACT LOCATIONS OF STARBUCKS EXTERIOR EQUIPMENT, SITE SIGNAGE AND SITE LIGHTING POLES.

CONTRACTOR SHALL GO ONLINE TO WWW.SUNSHINE811.COM TO FILL OUT A UTILITY MARKING REQUEST TICKET AT LEAST TWO FULL BUSINESS DAYS BEFORE DIGGING TO HAVE UTILITIES LOCATED AND MARKED. UNDERGROUND SERVICE CONDUCTORS THAT ARE NOT ENCASED IN CONCRETE AND ARE BURIED 18" OR MORE BELOW GRADES SHALL HAVE THEIR LOCATION IDENTIFIED BY A WARNING RIBBON THAT IS PLACED IN THE TRENCH AT LEAST 12" ABOVE THE UNDERGROUND INSTALLATION. THE ELECTRICAL CONTRACTOR IS REQUIRED TO CALL FOR CONDUIT DEPTH AND WARNING RIBBON PLACEMENT ELECTRICAL INSPECTIONS FOR THE SERVICE LATERAL. NEC 230.32, 300.5 C.3.

REVISION	DATE	REVISION	DATE
1	07/10/23	1	07/10/23
2	08/30/23	2	08/30/23
3	09/20/23	3	09/20/23

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STARBUCKS
TUSKAWILLA
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DRAWING TITLE
SITE ELECTRICAL PLAN

DAVID E. ALLEY, PE
FL PE #55008

DATE
06-23-23

SCALE
AS NOTED


PROJ. NO.:
230069

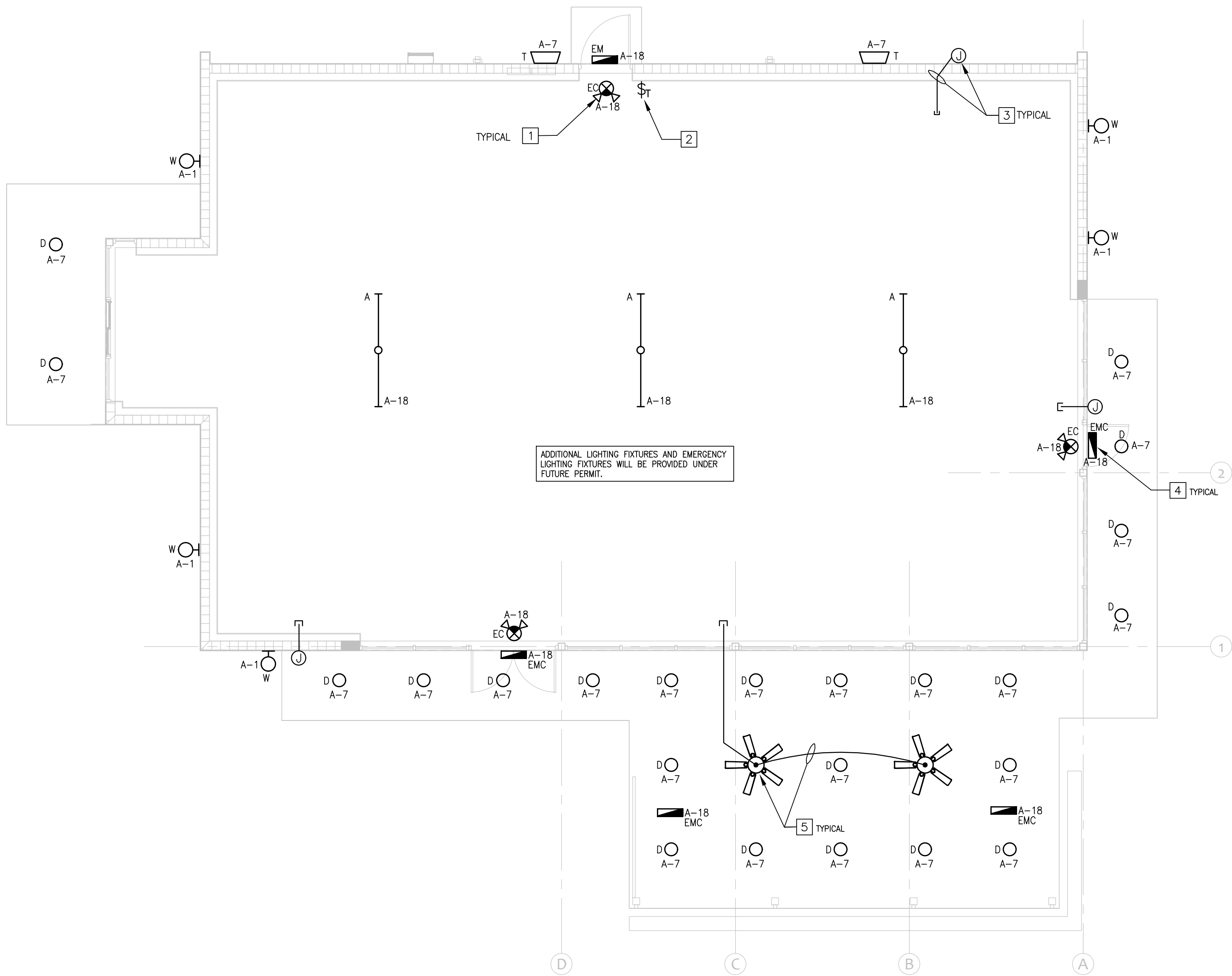
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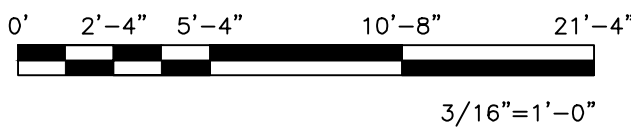
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LIGHTING PLAN

SCALE: 3/16" = 1'-0"



LIGHTING NOTES:

- EXIT AND EMERGENCY BATTERIES SHALL REMAIN UNSWITCHED.
- PROVIDE 120V, INTERMATIC #E1215 ELECTRONIC PUSH BUTTON TIMER SWITCH FOR CONTROL OF TEMPORARY CONSTRUCTION LIGHTS.
- PROVIDE JUNCTION BOX AND 3/4" CONDUIT WITH PULL STRING FOR FUTURE TENANT SIGNAGE. STUB CONDUIT INTO TENANT SPACE ABOVE FUTURE CEILING. FIELD VERIFY EXACT SIGN LOCATIONS AND ELEVATIONS PRIOR TO ROUGH-IN.
- SURFACE MOUNT EMERGENCY LIGHTING FIXTURE TO CANOPY WITH CONCEALED CONDUIT. REMOTE MOUNT DRIVER AND BATTERY INSIDE ABOVE AT TOP OF WALL ABOVE FUTURE TENANT CEILINGS.
- PROVIDE CEILING FAN RATED JBOX FOR FUTURE OWNER PROVIDE CEILING FANS. FROM JBOX EXTEND (1) 3/4" EMPTY CONDUIT INTO TENANT SPACE ABOVE FUTURE CEILING.

REVISION	DATE	COMMENTS
1	07/10/23	COUNTY COMMENTS
2	08/30/23	COUNTY COMMENTS

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LIGHTING PLAN

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ENGINEER OF RECORD

DAVID E. ALLEY, PE
FL PE #55008

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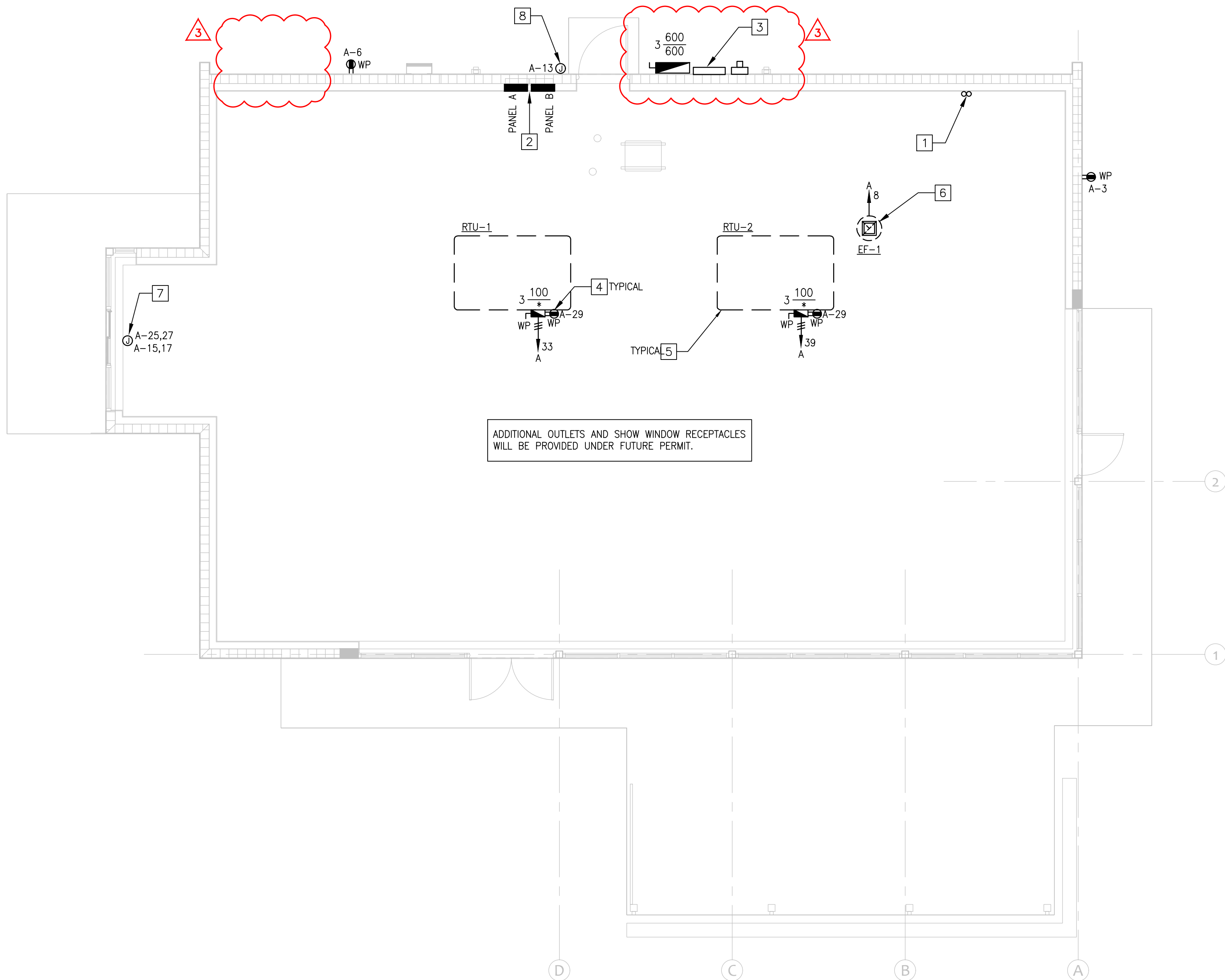
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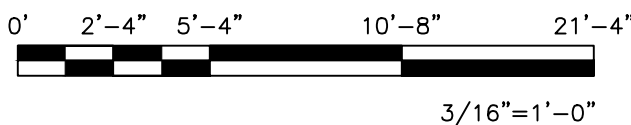
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E4



POWER AND SYSTEMS PLAN

SCALE: 3/16" = 1'-0"



3/16"=1'-0"

POWER NOTES: ☐

1. STUB-UP (2) 2" CONDUITS FROM SITE COMMUNICATION PROVIDERS TO ABOVE CEILING AND EXTEND OVERHEAD TO THE LOCATION OF THE TENANT'S OFFICE. REFER TO SITE PLAN ON DRAWING E2 FOR ADDITIONAL INFORMATION. EXACT LOCATION TO BE BASED ON TENANT FLOOR PLANS.
2. PROPOSED LOCATION OF TENANT ELECTRICAL PANELS A AND B. EXACT LOCATION TO BE BASED ON TENANT FLOOR PLANS. SEE RISER DIAGRAM ON DRAWING E6 FOR ADDITIONAL INFORMATION.
3. PROPOSED METER AND DISCONNECT SWITCH LOCATION. SEE RISER DIAGRAM ON DRAWING E6 FOR ADDITIONAL INFORMATION.
4. INSTALL ROOF TOP RECEPTACLES BELOW DISCONNECT SWITCH.
5. ALL CONDUITS SERVING ROOF TOP MOUNTED EQUIPMENT SHALL CONNECT TO THE EQUIPMENT THROUGH THE EQUIPMENT ROOF CURB OPENING ONLY IN FACTORY APPROVED LOCATIONS PER THE RTU MANUFACTURER'S WRITTEN INSTALLATION DRAWINGS.
6. EF-1 SHALL BE TIME CLOCK CONTROLLED REFER TO LIGHTING CONTROL DIAGRAM ON DRAWING E6 FOR ADDITIONAL INFORMATION.
7. COORDINATE ROUGH-IN REQUIREMENTS OF ELECTRICAL CIRCUITS SERVING THE DRIVE-THRU WINDOW SYSTEM WITH VENDOR BASED ON SPECIFIC SYSTEM BEING PROVIDED.
8. PROVIDE JUNCTION BOX, 120V BRANCH CIRCUIT, EXTERIOR PUSH BUTTON AND NUTONE DOOR BELL #MCV309NWHGL. PROVIDE LOW VOLTAGES WIRING AS REQUIRED.

REVISION	DATE	COMMENTS	UTILITY COORDINATION
1	08/30/23		
2	09/20/23		
3			
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5			
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POWER AND SYSTEMS PLAN

ENGINEER OF RECORD

DAVID E. ALLEY, PE
FL PE #55008

DATE
06-23-23

SCALE
AS NOTED

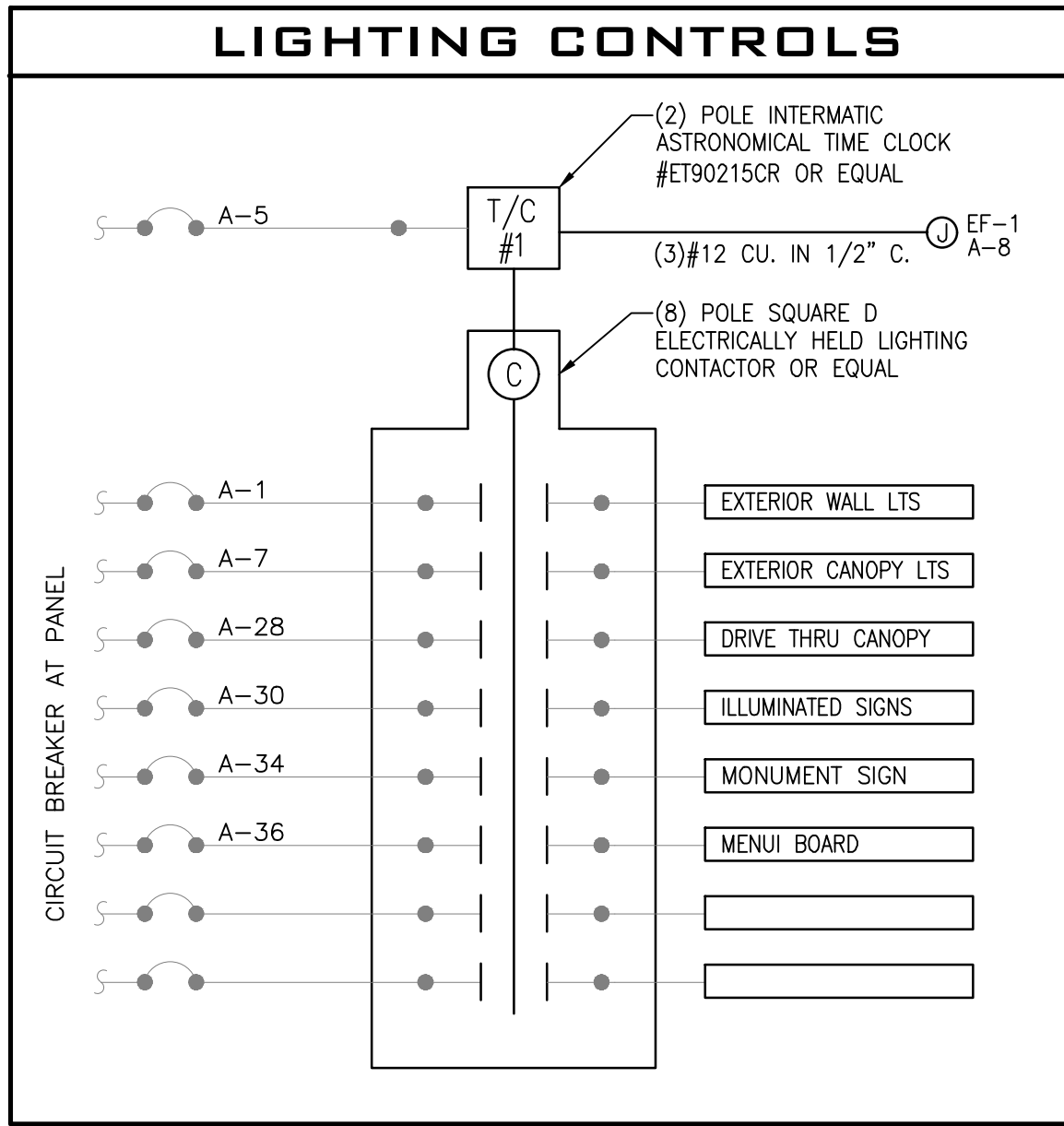
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DAP

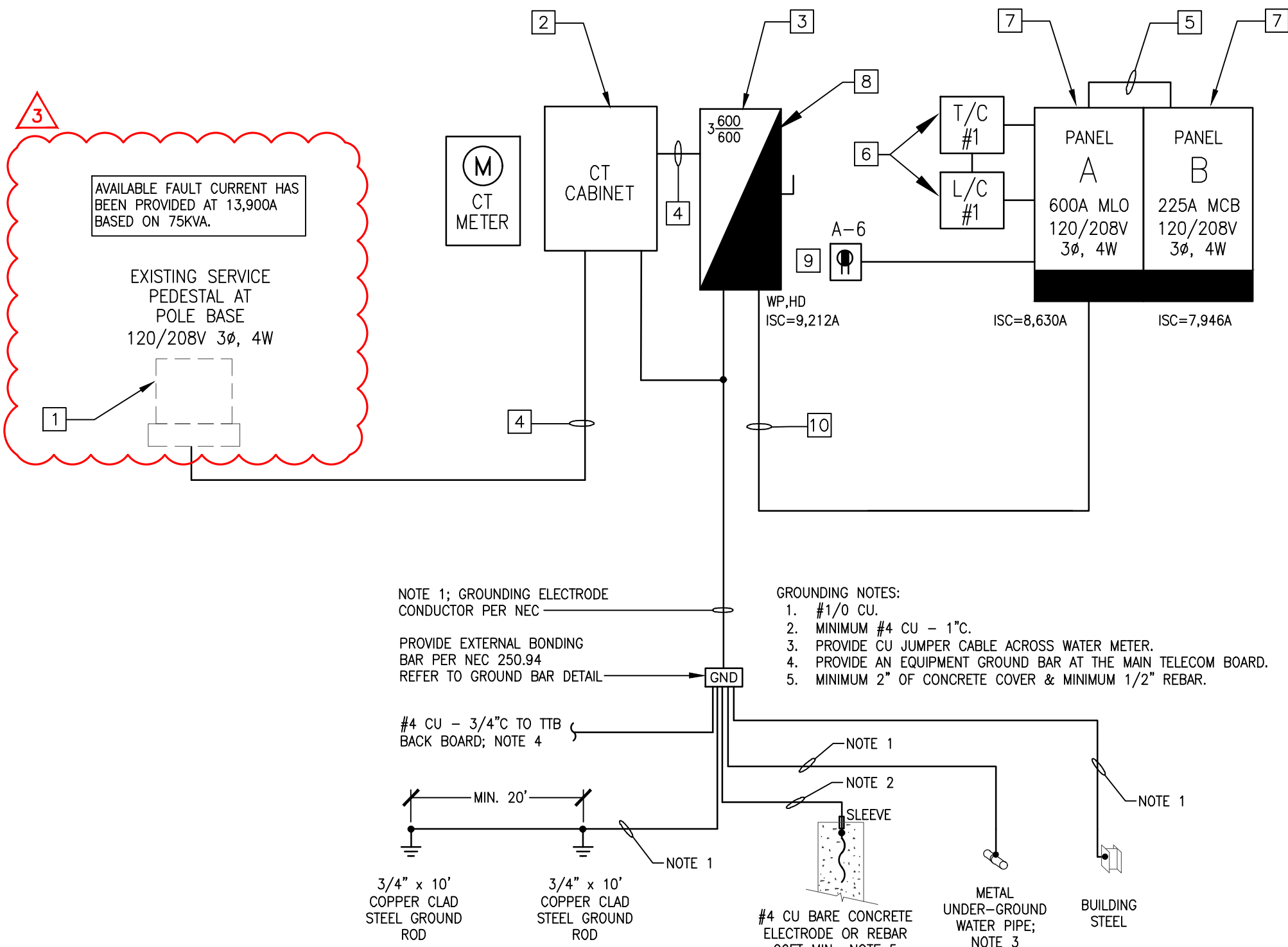
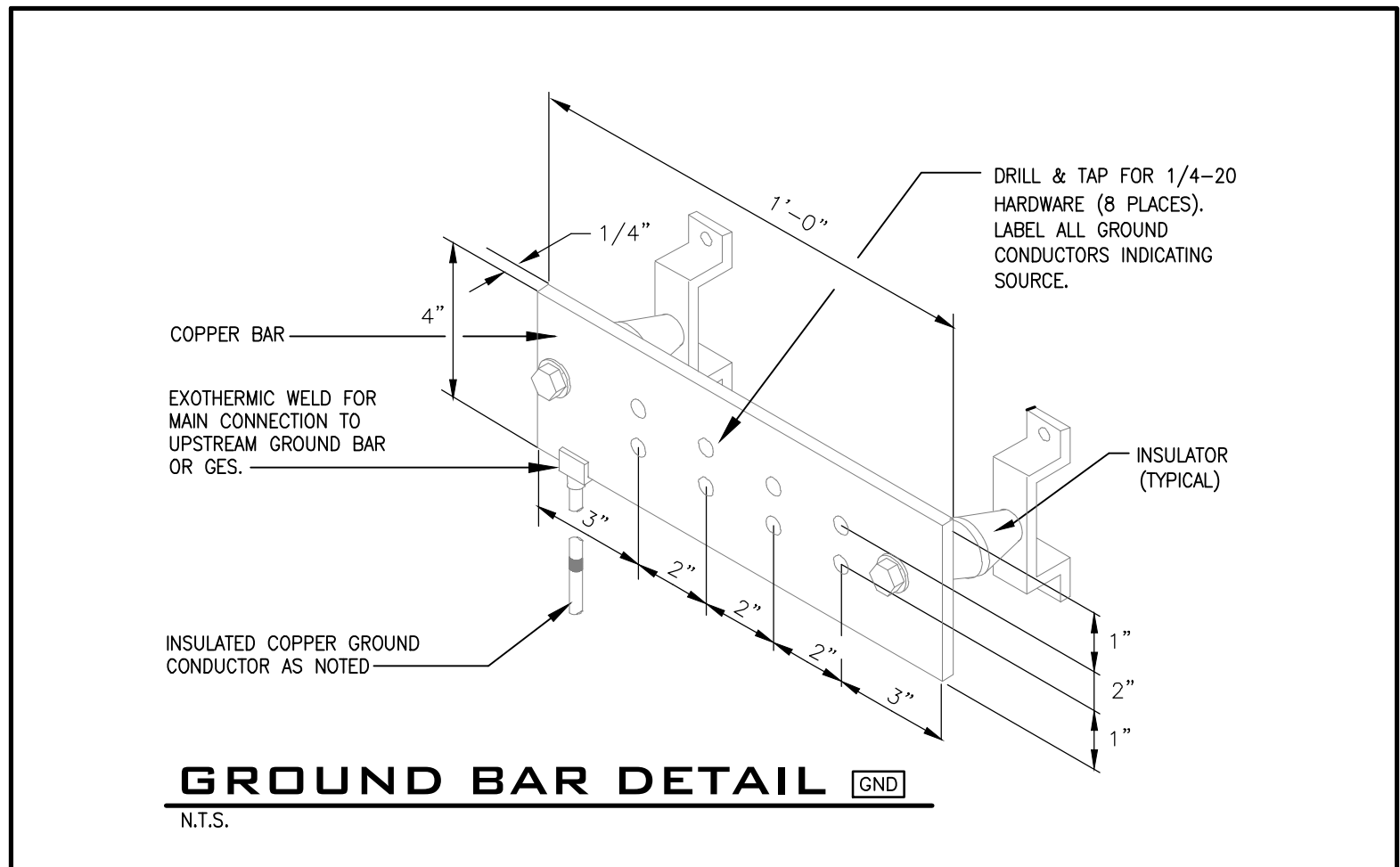
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DEA

DRAWING NO.
E5



PANEL SCHEDULE																							
PANEL: A			RATING: 600A MLO SERVICE: 120/208V, 3Ø, 4W					LUG LOCATION: BOTTOM MOUNTING: FLUSH					A.I.C. : 10KAIC TYPE: SQ-D NO										
CKT	DESCRIPTION		KVA	CKT	BRKR	BRANCH	CIRCUIT			Ø	CKT	DESCRIPTION		KVA	CKT	BRKR	BRANCH	CIRCUIT					
				POLE	TRIP	Ø	N	GND	C"							POLE	TRIP	Ø	N	GND	C"		
1	EXTERIOR BUILDING LIGHTS	#	0.30	1	20	10	10	10	1	Ø	2	SPARE				1	20						
3	RECEPTS EXTERIOR		0.54	1	20	12	12	12	3/4	b	4	SPARE				1	20						
5	TIME CLOCK			1	20					c	6	RECEPTS - EXTERIOR				1	20	12	12	12	3/4		
7	EXTERIOR BUILDING LIGHTS	#	0.80	1	20	10	10	10	1	a	8	EF-1	⊗	0.51	1	20	12	12	12	12	3/4		
9	RECEPT - PATIO		0.72	1	20	10	10	10	1	b	10	SPARE				1	20						
11	SPARE			1	20					c	12	SPARE				1	20						
13	DOOR BELL		0.10	1	20	12	12	12	3/4	a	14	SPARE				1	20						
15	DRIVE THRU WINDOW		0.50	1	20	12	12	12	3/4	b	16	SPARE				1	20						
17	DRIVE THRU WINDOW		0.50	1	20	12	12	12	3/4	c	18	CONSTRUCTION LIGHTS	0.50	1	20		12	12	12	12	3/4		
19	SPARE			1	20					a	20	SPARE				1	20						
21	SPARE			2	30					b	22	SPARE				1	20						
23										c	24	SPARE				1	20						
25	AIR CURTAIN		0.70	2	40	8	-	10	1	a	26	DRIVE THRU DSC/DCB	0.50	1	20		10	10	10	1			
27			0.70			8				b	28	DRIVE THRU CANOPY	#	0.40	1	20		10	10	10	1		
29	RECEPTS - ROOF		0.36	1	20	12	12	12	3/4	c	30	ILLUMINATED SIGNS	#	0.60	1	20		10	10	10	1		
31						3				a	32	PRE-MENU BOARD	0.40	1	20		10	10	10	1			
33	RTU-1		23.6	3	90	3	-	8	1 1/4	b	34	MONUMENT SIGN	#	0.10	1	20		12	12	12	3/4		
35						3				c	36	MENU BOARD	#	0.5	1	20		12	12	12	3/4		
37						3				a	38												
39	RTU-2		23.6	3	90	3	-	8	1 1/4	b	40	SPARE				3	20						
41						3				c	42												
43	SPARE			1	20					a	44	SPARE				1	20						
45				1	20					b	46					1	20						
47				1	20					c	48					1	20						
49				1	20					a	50					1	20						
51				1	20					b	52					1	20						
53				1	20					c	54					1	20						
55				1	20					a	56					1	20						
57				1	20					b	58					1	20						
59				1	20					c	60					1	20						
61				1	20					a	62					1	20						
63				1	20					b	64					1	20						
65				1	20					c	66					1	20						
CONNECTED LOAD (KVA) #A																		#B		#C			
EQUIPMENT SERVED				CONNECTED LOAD				LF		DF		DEMAND LOAD				REMARKS:							
LIGHTING				3.6						1.25		4.5				- PROVIDE TYPE WRITTEN DIRECTORY							
HVAC EQUIPMENT				47.2								47.2				- PROVIDE NEUTRAL AND GROUND BARS							
RECEPTS (10KVA PLUS 50% REST)				1.08								1.08				⊗ TIME CLOCK CONTROLLED							
MISC. EQUIPMENT				2.5								2.5				- PROVIDE LOCKABLE HINGED DOOR-IN-DOOR.							
TOTAL KVA:												55		# CONTACTOR CONTROLLED									
AMPS:												153											

PANEL SCHEDULE																							
PANEL: B			RATING: 225A MCB SERVICE: 120/208V, 3ø, 4W					LUG LOCATION: BOTTOM MOUNTING: FLUSH					A.I.C. : 10KAIC TYPE: SQ-D NQ										
CKT	DESCRIPTION		KVA	CKT	BRKR	BRANCH		CIRCUIT		ø	CKT	DESCRIPTION		KVA	CKT	BRKR	BRANCH		CIRCUIT				
				POLE	TRIP	ø	N	GND	C"							POLE	TRIP	ø	N	GND	C"		
1	SPARE	GFCI CB		2	20						2	SPARE	GFCI CB		2	40							
3											4												
5		GFCI CB		2	40						6		GFCI CB		2	30							
7											8												
9		GFCI CB		2	40						10		GFCI CB		1	20							
11											12		GFCI CB		1	20							
13		GFCI CB		2	50						14		GFCI CB		1	20							
15											16		GFCI CB		1	20							
17		GFCI CB		2	30						18		GFCI CB		1	20							
19											20		GFCI CB		1	20							
21		GFCI CB		2	30						22		GFCI CB		1	20							
23											24		GFCI CB		2	20							
25		GFCI CB		1	20						26												
27		GFCI CB		1	20						28		GFCI CB		1	20							
29		GFCI CB		1	20						30		GFCI CB		1	20							
31		GFCI CB		1	20						32		GFCI CB		1	20							
33		GFCI CB		1	20						34		GFCI CB		1	20							
35		GFCI CB		1	20						36		GFCI CB		1	20							
37		GFCI CB		2	20						38		GFCI CB		1	20							
39											40		GFCI CB		1	20							
41		GFCI CB		1	20						42		GFCI CB		1	20							
43		GFCI CB		1	20						44				1	20							
45		GFCI CB		2	40						46				1	20							
47											48				1	20							
49		GFCI CB		1	20						50				1	20							
51				1	20						52				1	20							
53				1	20						54				1	20							
55				1	20						56												
57				1	20						58				3	40							
59				1	20						60												
61	SPACE										62	SPACE											
63	SPACE										64	SPACE											
65	SPACE										66	SPACE											
CONNECTED LOAD (KVA) øA																		øB		øC			
EQUIPMENT SERVED				CONNECTED LOAD				LF		DF		DEMAND LOAD				REMARKS: - PROVIDE TYPE WRITTEN DIRECTORY - PROVIDE NEUTRAL AND GROUND BARS - PROVIDE LOCKABLE HINGED DOOR-IN-DOOR.							
TOTAL KVA:																							
AMPS:																							



RISER NOTES:

- EXISTING SERVICE PEDESTAL AT BASE OF EXISTING DUKE ENERGY POLE WITH POLE MOUNTED TRANSFORMER BANK. FIELD VERIFY WITH LOCAL ELECTRIC COMPANY FOR ALL REQUIREMENTS PRIOR TO ROUGH-IN.
- ALL SERVICE EQUIPMENT AND METERING SHALL BE PER THE UTILITY ELECTRIC SERVICE STANDARDS. COORDINATE SPECIFIC REQUIREMENTS WITH THE AREA PLANNER. PROVIDE LABELING PER SERVICE STANDARDS. PROVIDE #1/0 CU BOND TO CT CABINET.
- PROVIDE SIGNAGE AT THE SERVICE INDICATING THE MAXIMUM AVAILABLE FAULT CURRENT AND THE DATE CALCULATED PER NEC 110.24(A). REFER TO CALCULATED FAULT CURRENTS SHOWN ON RISER DIAGRAM FOR ADDITIONAL INFORMATION.
- (2) SETS, EACH SET: (4)#350 KCMIL CU. IN 3 1/2" CONDUIT.
- (4)#4/0 CU. (1)#4 CU. GROUND IN 2 1/2" CONDUIT.
- PROVIDE TIME CLOCK AND LIGHTING CONTACTOR PER DIAGRAM ON THIS DRAWING.
- CIRCUIT BREAKER SIZES AND QUANTITIES ARE PRELIMINARY. REFER TO TENANT'S DRAWINGS FOR ACTUAL REQUIREMENTS.
- BOND SERVICE DISCONNECT SWITCH PER NEC 250.24 WITH A #1/0 CU BONDING JUMPER PER NEC TABLE 250.102(C)(1).
- PROVIDE A WEATHERPROOF 20A, GFCI RECEPTACLE AT THE SERVICE PER NEC 210.64.
- (2) SETS, EACH SET: (4)#350 KCMIL CU. (1)#1/0 CU GROUND IN 3 1/2" CONDUIT.

IF THE CONTRACTOR CHOOSES TO USE A SERIES RATED SYSTEM PER 240.86, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE CHOSEN SWITCHGEAR VENDOR SELECTS THE APPROPRIATE UL TESTED SERIES RATED CIRCUIT BREAKERS COMBINATIONS (TIER 2 OR TIER 3) AS NEEDED BASED ON THE AVAILABLE FAULT CURRENT AT THE SERVICE EQUIPMENT. PROVIDE AND INSTALL ALL LABELING PER NEC 110.24.

INDICATED FAULT CURRENTS ARE BASED ON PRELIMINARY UTILITY TRANSFORMER SIZES AND SHALL BE VERIFIED BASED ON THE EXISTING OR NEW INSTALLED TRANSFORMER. REPORT ANY DISCREPANCIES TO THE ENGINEER.

PER NEC 110.16, PROVIDE ARC-FLASH HAZARD WARNING LABELS FOR ALL ELECTRICAL EQUIPMENT, SUCH AS SWITCHBOARDS, SWITCHGEAR, PANELBOARDS, INDUSTRIAL CONTROL PANELS, METER SOCKET ENCLOSURES, AND MOTOR CONTROL CENTERS, THAT IS IN OTHER THAN DWELLING UNITS, AND IS LIKELY

REMARKS:

FAN SCHEDULE

VENTILATION AIR SCHEDULE

LEGEND

DESIGN DATA

AIR DISTRIBUTION

SUPPLY BRANCH &

DUCTWORK AND ACCESSORIES

CONDENSING UNIT WITH TIE-DOWN ROOF RACK DETAIL

CENTRIFUGAL ROOF FAN

P-TRAP DETAIL

IT IS THE RESPONSIBILITY OF ALL BIDDING CONTRACTORS TO ENSURE THAT EACH OF THEIR SUBCONTRACTORS RECEIVE THE NECESSARY DRAWINGS AND INFORMATION FOR BIDDING. MECHANICAL CONTRACTOR SHALL INDICATE TO ALL BIDDING VENDOR'S THAT EACH VENDOR SHALL REQUEST FROM THE BLUEPRINT COPY COMPANY FULL SIZE DRAWINGS PER MECHANICAL CONTRACTOR'S FOR WHICHEVER DRAWINGS HE/SHE NEEDS NECESSARY.

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CONSTRUCTION ENGINEERING

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Neké White: 407-416-9965

STARBUCKS
TUSKAWILLA

ENGINEER OF RECORD

M1



1. ROUTE FULL SIZE DUCTWORK TO BOTTOM OF STRUCTURE. SEE DETAIL ON SHEET M1.
2. PROVIDE TEMPORARY THERMOSTAT TO BE LOCATED ON INTERIOR WALL DURING TENANT IMPROVEMENT BUILD OUT.
3. COORDINATE INITIAL MECHANICAL START-UP PER MANUFACTURER'S RECOMMENDATION AND PROVIDE TENANT WITH VALIDATION/COORDINATION OF MECHANICAL START-UP.
4. WIRE 150' THERMOSTAT CABLE TO UNIT, LOOPED AND LEFT IN CEILING.

2651 EAU GALIE BLVD, SUITE A
MELBOURNE, FL 32935
TEL. 321.253.1221
WWW.CEGENGINEERING.COM
C.O.A. #0008097



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KEITH M. PRZECLAWSKI
FL PE #82393

DATE 06-23-23

SCALE
AS NOTED

PROJ. NO. : 230069

DESIGNED BY:
KMP

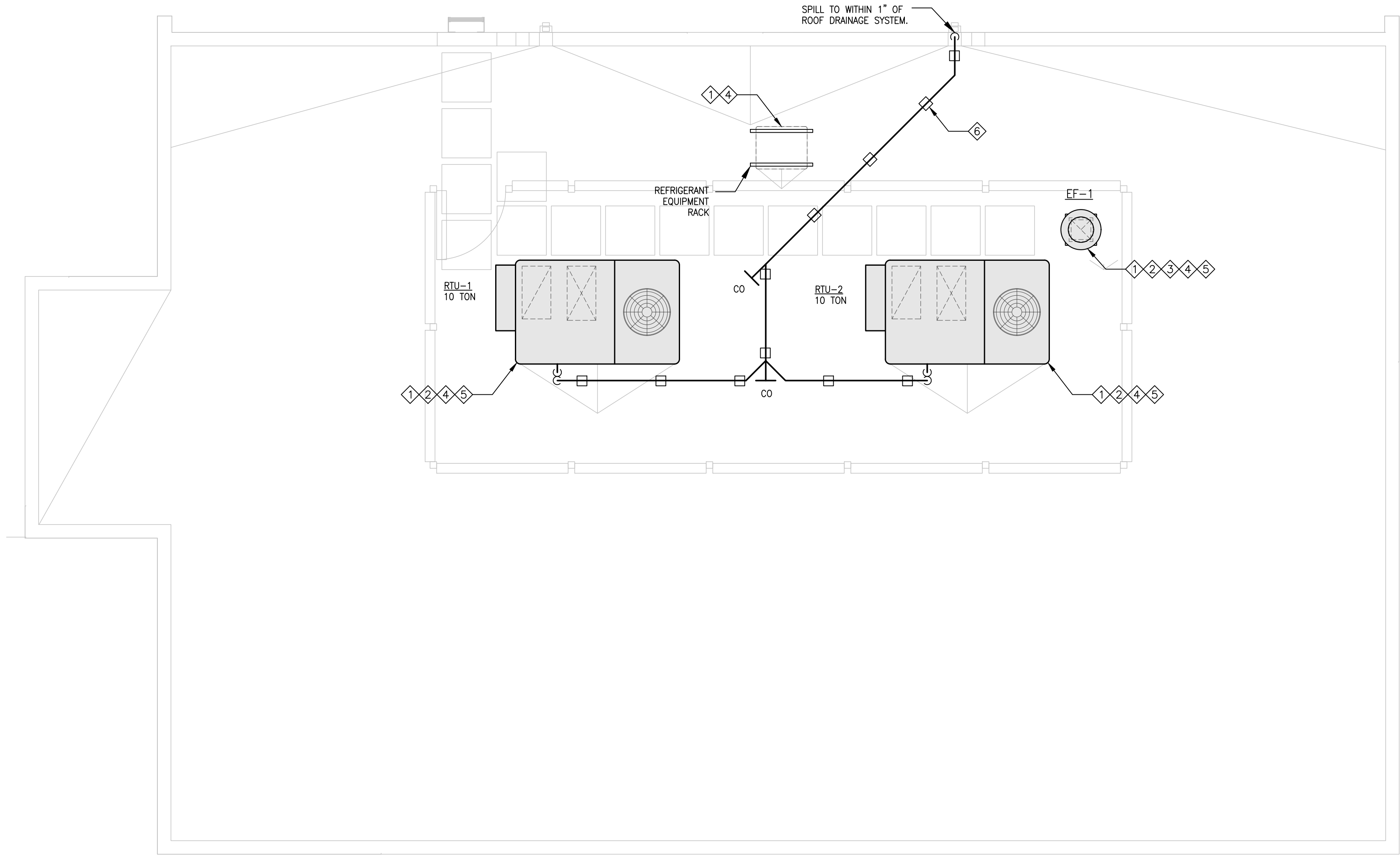
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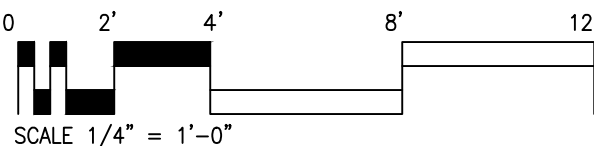
M2

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MECHANICAL PLAN - ROOF

SCALE: 1/4" = 1'-0"



SCALE 1/4" = 1'-0"

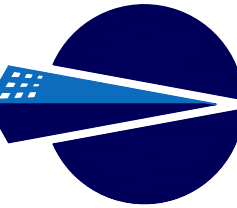
NOTES: ◇

1. VERIFY ALL REQUIRED CLEARANCES FOR MAINTENANCE AS RECOMMENDED BY EQUIPMENT MANUFACTURER. INSTALL EQUIPMENT SUCH THAT ALL REQUIRED CLEARANCES ARE MAINTAINED.
2. MAINTAIN A MINIMUM DISTANCE OF 10 FEET BETWEEN BUILDING INTAKE AND EXHAUST.
3. COORDINATE FINAL FAN LOCATION WITH RESTROOMS PER TENANT CONSTRUCTION DRAWINGS.
4. COORDINATE SIZE AND LOCATION OF UNITS, CURBS, AND REFRIGERATION EQUIPMENT RACKS WITH FINAL TENANT PLANS. ENSURE THAT DUCTWORK DOES NOT CONFLICT WITH STRUCTURAL MEMBERS.
5. GENERAL CONTRACTOR MUST CONFIRM REQUIRED TONNAGE WITH STARBUCKS AND TENANT IMPROVEMENT DRAWINGS PRIOR TO ORDERING UNIT.
6. PROVIDE DURA-BLOK DBR SERIES PIPE SUPPORTS PER LEASE LETTER @ 4' O.C.. SLOPE 1/8" PER FOOT.

REV#	DATE	REVISION

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MECHANICAL PLAN - ROOF

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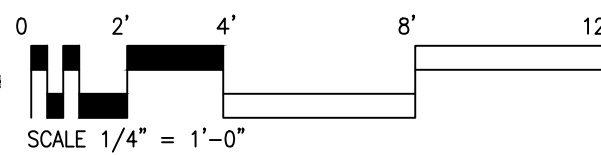
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CHECKED BY:
KMP

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