



JURISDICTION: SEMINOLE COUNTY
PARCEL ID: 36-21-30-513-0000-0010

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SHT. NO.	DESCRIPTION
CV	COVER SHEET
C0	CIVIL DATA AND NOTES
C0.1	DEMOLITION PLAN
C1	SITE PLAN
C1.1	FIRE TRUCK TURN PLAN
C2	UTILITY PLAN
C3	GRADING AND DRAINAGE PLAN
C4	STORM WATER POLLUTION PREVENTION PLAN
C5	CONSTRUCTION DETAILS
C5.1	CONSTRUCTION DETAILS
C6	SEMINOLE COUNTY DETAILS
L-1	TREE REMOVAL PLAN
L-2	LANDSCAPE PLAN
L-3	LANDSCAPE DETAILS
L-4	IRRIGATION PLAN
L-5	IRRIGATION DETAILS
SP1	SITE PHOTOMETRICS PLAN
	SURVEY
C12	F250 TRUCK TURN PLAN
S-7	DUMPSTER ENCLOSURE
A801	DUMPSTER ENCLOSURE

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 1, TRINITY CENTER; THENCE N 89°18'56" E, ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 188.17 FEET; THENCE N 00°32'59" W, DEPARTING SAID SOUTH LINE, 269.68 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD 426 (ALOMA AVENUE); THENCE S 89°27'01" W, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, 178.60 FEET; THENCE N 58°17'27" W, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, 12.37 FEET TO THE WEST LINE OF SAID LOT 1, TRINITY CENTER; THENCE S 00°44'02" E, ALONG SAID WEST LINE, 276.73 FEET TO THE POINT OF BEGINNING.

The map displays the Bertha neighborhood, with a red diamond marker indicating a specific location on Alameda Avenue. The map includes labels for streets such as Cypress Avenue, Alameda Avenue, and various local streets like Chamberlain Place and Cypress Lane. Parks like North Lake Buena Vista and Cypress Lake are also shown.

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[illegible]

SARAH CULOTTA, P.E.
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STARBUCKS RESTAURANT
33645 ALOMA AVE
OVIEDO
FLORIDA 32765

CV

COVER SHEET

PROJECT NO.:2023.103

FDOT GENERAL NOTES

1. ALL WORK PERFORMED WITHIN THE FDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH 2022/23 EDITION OF THE FDOT STANDARDS PLANS FOR ROAD AND BRIDGE CONSTRUCTION, 2022 SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE 2017 UTILITY ACCOMMODATION MANUAL.
2. ALL EXCAVATIONS WITHIN TEN(10) FEET OF THE TRAVEL LANES AND GREATER THAN THREE(3) INCHES DEEP MUST BE FILLED IN OR HAVE A SHOULDER TREATMENT PLACED AT THE DROP OFF PER INDEX #102-600 OF FDOT STANDARDS PLANS INDEXES AT THE END OF THE WORKDAY.
3. CONTRACTOR SHALL CONTACT FDOT TWO WEEKS IN ADVANCE AND SET UP A PRE-CONSTRUCTION MEETING PRIOR TO STARTING ANY WORK IN FDOT RIGHT-OF-WAY.
4. ALL TRAFFIC CONTROL DEVICES MUST BE IN PLACE BEFORE WORK CAN START.
5. MAINTENANCE OF TRAFFIC TO BE SUPERVSED BY AN FDOT CERTIFIED WORK TRAFFIC SUPERVISOR.
6. IT WILL BE THE RESPONSIBILITY OF THE PERMITTEE TO REPAIR ANY DAMAGE TO FDOT FACILITIES CAUSED BY CONSTRUCTION OF THE PROJECT.
7. PERMITTEE SHALL NOT WORK WITHIN THE FDOT RIGHT-OF-WAY UNTIL A FDOT INSPECTOR IS PRESENT AT THE JOB SITE AND AGREES THAT PROPER PREPARATIONS HAVE BEEN MADE.
8. SOD(BERMUDA) ALL UNPAVED AREAS WITHIN THE FDOT RIGHT-OF-WAY THAT ARE DISTURBED BY CONSTRUCTION PER FDOT STANDARDS PLANS INDEX #570-010.
9. ALL SIDEWALKS TO BE REMOVED AND REPLACED FROM JOINT TO JOINT AND HAVE 3" EXPANSION JOINTS (PREFORMED JOINT FILLER) PLACED BETWEEN OLD AND NEW SIDEWALK.
10. ALL AFFECTED SIDEWALKS, RAMPS, AND CROSSWALKS WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.
11. ALL PAVEMENT MARKINGS PERTAINING TO FDOT PROPOSED DRIVEWAY CONNECTION SHALL BE THERMOPLASTIC.
12. ALL RAISED PAVEMENT MARKINGS (RPM) INSTALLED WITHIN THE FDOT RIGHT-OF-WAY AND PROPOSED DRIVEWAY CONNECTION SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX #706-001.
13. ENGINEER'S CERTIFICATIONS TOGETHER WITH AS-BUILT PLANS ARE REQUIRED TO BE SUBMITTED WITHIN 30 DAYS OF COMPLETION WORK WITHIN FDOT RIGHT-OF-WAY.
14. PERMITTEE SHALL NOT COMMENCE USE OF CONNECTION PRIOR TO FINAL INSPECTION AND FINAL ACCEPTANCE BY DEPARTMENT. FAILURE TO COMPLY WITH PERMIT CONDITION MAY RESULT IN REVOCATION OF THE PERMIT AND CLOSURE OF DRIVEWAY PER FL RULE CHAPTER 14-96.

EROSION CONTROL NOTES

ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH LOCAL CITY/COUNTY AND WATER MANAGEMENT DISTRICT SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONAL CHANGES.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN, CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERMITTER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
3. ALL AREAS AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION, UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
4. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THESE PLANS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
5. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET THE REQUIREMENTS OF LOCAL SPECIFICATIONS.
6. THE CONTRACTOR SHALL SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR CONSTRUCTION AND STABILIZE ANY POTENTIAL EROSION AREAS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.
7. CONTRACTOR SHALL KEEP ANY AND ALL SAND, SILT OR OTHER DEBRIS FROM MOVING OFF-SITE. USE AND MAINTAIN SILT FENCE JUST INSIDE THE LIMITS OF CONSTRUCTION.
8. CONTRACTOR SHALL BLOCK INTRUSION OF SAND, SILT OR OTHER DEBRIS INTO ANY DRAINAGE OR SANITARY SEWER STRUCTURE OR PIPING ON OR ADJACENT TO THE SITE.
9. ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
10. FOR ADDITIONAL INFORMATION AND DETAILS, SEE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL MANUAL.
11. UNLESS SPECIFIED, SILT FENCES MAY BE USED IN LIEU OF SYNTHETIC BARRIERS.
12. ADDITIONAL POSTS AND RAILS MAY BE NECESSARY TO SECURE AND SUPPORT BARRIERS.
13. ADDITIONAL BARRIER LENGTHS MAY BE REQUIRED BY THE GOVERNING JURISDICTION OR BY OTHER REGULATORY AGENCIES.
14. FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR SYNTHETIC BALES/WATTLES, UNTIL THE LIMEROCK BASE IS FINISHED AND PRIMED.
15. THE BOTTOM AND SIDE SLOPES OF RETENTION PONDS SHALL BE UNDER EXCAVATED BY ROUGHLY 12 INCHES AT THE BEGINNING OF CONSTRUCTION, ONCE THE ENTIRE SITE IS STABILIZED, THE RETENTION POND SHALL BE EXCAVATED TO THE DESIGN DEPTH AND STABILIZED WITH SEED OR SOD AS SPECIFIED IN THE LANDSCAPING PLANS. NO MUCK GROWN SOD SHALL BE USED.

GENERAL NOTES

THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS AND THESE PLANS PRIOR TO THE START OF CONSTRUCTION. ANY CONFLICTS BETWEEN CONDITIONS IN THE FIELD AND THESE PLANS SHALL BE REPORTED TO THE ENGINEER OF RECORD AT ONCE.

- A. GENERAL
1. ALL INFRASTRUCTURE AND IMPROVEMENTS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL JURISDICTION AND WILL BE SUBJECT TO THEIR INSPECTION AND ACCEPTANCE.
 2. SITE LOCATION: 3645 ALOMA AVE, OVIEDO, SEMINOLE COUNTY, FLORIDA 32765.
 3. THIS SITE LIES IN FLOOD ZONE "X", F.I.R.M. PANEL 12117C0260F, COMMUNITY NO. 120289, UN-INCORPORATED SEMINOLE COUNTY, FLORIDA. DATED SEPTEMBER 28, 2007.
 4. BOUNDARY, TOPOGRAPHIC, AND TREE SURVEY BY ALTAMAX SURVEYING, 910 BELLE AVENUE, SUITE 100, CASSELBERRY, FLORIDA 32708.
 5. BENCHMARK – REFER TO TOPOGRAPHIC SURVEY BY ALTAMAX SURVEYING.
 6. LEGAL DESCRIPTION SHOWN HEREIN IS FURNISHED BY SURVEYOR, AND IS INCLUDED FOR PERMITTING AND APPROVAL PURPOSES, AND AS A COURTESY FOR THE CONTRACTOR. THE ENGINEER ASSUMES NO LIABILITY FOR ITS ACCURACY OR COMPLETENESS.
 7. SITE GEOTECHNICAL INVESTIGATION PERFORMED BY UNIVERSAL ENGINEERING SCIENCES, THE CIVIL ENGINEER ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, ACCURACY AND COMPLETENESS OF THEIR WORK. THE CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL ENGINEER'S REPORT FOR THIS SITE AND COMPLY WITH RECOMMENDATIONS CONTAINED THEREIN. IF ADDITIONAL SERVICES ARE REQUIRED, THE CONTRACTOR SHALL MAKE A REQUEST TO THE OWNER.
 8. CONTRACTOR SHALL PROVIDE AND INSTALL EROSION CONTROL DEVICES (SILT FENCE OR OTHER METHODS) AT LIMITS OF CONSTRUCTION AND AROUND EACH STORM INLET PRIOR TO CONSTRUCTION, AND SHALL MAINTAIN SAID EROSION CONTROL DEVICES DURING CONSTRUCTION, ALL IN CONFORMANCE WITH CURRENT LOCAL, COUNTY AND STATE CRITERIA.
 9. THE SITE SHALL BE CLEARED AS MAY BE NOTED ON THE PLANS, OF ALL OBSTRUCTIONS AND DELETERIOUS MATERIAL SUCH AS FENCES, WALLS, FOUNDATIONS, LOGS, SHRUBS, BRUSH, WEEDS, OTHER VEGETATION, AND ACCUMULATION OF RUBBISH OF WHATEVER NATURE. OFF-SITE DISPOSAL, INCLUDING ANY HAZARDOUS MATERIAL ENCOUNTERED, SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS.
 10. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO START OF CONSTRUCTION.
 11. THE CONTRACTOR SHALL REMAIN SOLELY RESPONSIBLE FOR ANY DESIGN CHANGES WHICH HE MAY INCORPORATE INTO THE PLANS WITHOUT PRIOR WRITTEN CONSENT AND/OR APPROVAL FROM THE OWNER AND THE ENGINEER.
 12. THE CONTRACTOR SHALL COORDINATE ALL WORK WITHIN EACH EXISTING RIGHT OF WAY WITH SEMINOLE COUNTY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION.
 13. THE CONTRACTOR SHALL RESTORE OFF-SITE AREAS TO A CONDITION EQUAL TO OR BETTER THAN THE CONDITION EXISTING PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 14. ALL DISTURBED AREAS SHALL BE SODDED.
 15. AT LEAST 30 DAYS PRIOR TO ANTICIPATED COMPLETION OF SITE CONSTRUCTION, THE FINAL CERTIFICATION PROCESS WILL BEGIN. THE CONTRACTOR SHALL PROVIDE DOCUMENTS AND INFORMATION, IN A TIMELY MANNER, TO ENGINEER, INCLUDING, WITHOUT LIMITATION:
 - a. SURVEYED "AS-BUILTS" MEETING THE REQUIREMENTS OF THE LOCAL JURISDICTION.
 - b. COMPACTION AND DENSITY TEST REPORTS, AND
 - c. PRESSURE TESTING AND BACTERIOLOGICAL TESTING RESULTS, AS REQUIRED, FOR WATER DISTRIBUTION AND/OR WASTEWATER COLLECTION/TRANSMISSION SYSTEMS.

THE CONTRACTOR SHALL HAVE TWO (2) SETS OF AS-BUILT PLANS, SIGNED AND SEALED BY SURVEYOR OF RECORD, ON SITE THE DAY OF THE CIVIL ENGINEERING FINAL PUNCH LIST INSPECTION. THE GENERAL CONTRACTOR IS TO GIVE THE TWO AS-BUILT PLANS TO THE REPRESENTATIVE FROM Z DEVELOPMENT SERVICES COMPLETING THE INSPECTION. IF ANY DEFICIENCIES ARE NOTED, ONE SET OF RED-LINED AS-BUILT PLANS WILL BE GIVEN TO THE GC FOR REVISIONS TO BE MADE. REVISED AS-BUILTS WILL NEED TO BE FORWARDED TO THE ENGINEER BEFORE ANY CERTIFICATIONS CAN BE INITIATED.

16. ALL TRAFFIC CONTROL DEVICES, EQUIPMENT AND INSTALLATION SHALL MEET THE REQUIREMENTS OF THE LOCAL JURISDICTION AND/OR FLORIDA DEPARTMENT OF TRANSPORTATION.
17. VEHICLE PARKING SPACES SHALL CONFORM WITH LOCAL CODE. ACCESSIBLE PARKING SPACES AND ACCESS ROUTES SHALL FURTHER CONFORM WITH CURRENT ADA REQUIREMENTS.
18. ACCESSIBLE PARKING PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM WITH CURRENT ADA REQUIREMENTS AND LOCAL ORDINANCE.
19. LANDSCAPE SHALL BE TRIMMED TO ENSURE SIGHT VISIBILITY OF TRAFFIC CONTROL DEVICES.
20. ALL PAVEMENT IS DIMENSIONED TO FACE OF CURB.
21. ALL BUILDING DIMENSIONS AND TIES ARE TO FACE OF BUILDING. SEE ARCHITECTURAL PLANS.
22. ALL PARKING LOT CURB RETURN RADII ARE 4' UNLESS OTHERWISE NOTED.
23. BUILDING AND SITE IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE WEST PROPERTY LINE UNLESS OTHERWISE NOTED.

DEMOLITION NOTES

1. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL COORDINATE ACTIVITIES WITH ALL UTILITY SERVICE PROVIDERS IN THE AREA. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE VERIFIED PRIOR TO ANY EXCAVATION ACTIVITIES.
2. THE CONTRACTOR SHALL COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND OTHER IMPROVEMENTS AS NOTED ON THE PLANS. THIS INCLUDES FOUNDATIONS, TIMBER, BRUSH, STUMPS, ROOTS, PAVEMENT AND BASE MATERIAL AND OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.
3. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS). THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.
4. WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
5. THE LOCATION OF ALL EXISTING UTILITIES AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED BASED UPON THE BEST AVAILABLE INFORMATION. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR ACCURACY. ALL UTILITIES, SURFACE IMPROVEMENTS AND TREE LOCATIONS SHOULD BE VERIFIED BY THE CONTRACTOR.
6. THE CONTRACTOR SHALL COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE SERVICE PROVIDER.
7. THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION. (UNDER THE DIRECTION OF A REGISTERED LAND SURVEYOR).
8. ALL EROSION CONTROL MEASURES NOTED BELOW AND IN THE PLANS SHOULD BE IN PLACE PRIOR TO THE START OF DEMOLITION.

UTILITY NOTES

PRIOR TO COMMENCING ANY CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES, INCLUDING WITHOUT LIMITATION POTABLE WATER, RECLAIMED WATER, SANITARY SEWER, AND SERVICE UTILITIES, AT POINTS OF CONNECTION, POINTS OF CROSSING, AND/OR POTENTIAL CONFLICT. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS.

- A. GENERAL
1. THE LOCATIONS OF EXISTING UTILITIES, SUCH AS WATER MAINS, SEWERS, GAS LINES, ETC., SHOWN ON THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER AND OWNER ASSUME NO LIABILITY FOR ACCURACY AND COMPLETENESS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION OR DEMOLITION AND TO HAVE THEIR FACILITIES LOCATED IN THE FIELD PRIOR TO ANY WORK.
 2. DUE TO GRAPHIC LIMITATIONS OF THE DRAWING SCALE, ALL STORM SEWER, DRAINAGE, WATER AND SANITARY SEWER MAINS, SERVICES, LATERALS, CONNECTIONS, AND APPURTENANCES DEPICTED HEREIN – UNLESS OTHERWISE LOCATED BY DIMENSIONS – REFLECT SCHEMATIC LOCATIONS ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL LOCATIONS DURING THE CONSTRUCTION AND INSTALLATION OF THE PROPOSED IMPROVEMENTS, INCLUDING ANY REQUISITE COORDINATION WITH THE RESPECTIVE GOVERNING AGENCY/UTILITY PROVIDER.
 3. ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF SEMINOLE COUNTY UTILITIES, AND WILL BE SUBJECT TO THEIR INSPECTION AND ACCEPTANCE.
 4. CONTRACTOR SHALL INSPECT PIPING AND MATERIALS BEFORE INSTALLATION TO DETECT APPARENT DEFECTS. MARK DEFECTIVE MATERIALS WITH WHITE PAINT AND PROMPTLY REMOVE FROM SITE.
 5. LAY SEWER PIPING BEGINNING AT LOW POINT OF SYSTEM (CONNECTION TO OFF SITE SYSTEM OR PUMP STATION), TRUE TO GRADES AND ALIGNMENT INDICATED WITH UNBROKEN CONTINUITY OF INVERTS. PLACE BELL ENDS OR GROOVE ENDS OF PIPING FACING UPSTREAM.
 6. CLEAR INTERIOR OF PIPE OF DIRT AND OTHER SUPERFLUOUS MATERIAL AS WORK PROGRESSES. MAINTAIN SWAB OR DRAG IN LINE AND PULL PAST EACH JOINT AS IT IS COMPLETED. PLACE PLUGS IN ENDS OF UNCOMPLETED CONDUIT WHENEVER WORK STOPS.
 7. MAINTAIN 36" COVER OVER MAINS, AND 30" OVER SERVICES/LATERALS UNLESS OTHERWISE NOTED.
 8. WHEN PROPOSED CONSTRUCTION OCCURS AT EXISTING MANHOLES, INLETS, VAULTS, AND OTHER STRUCTURES, THE CONTRACTOR SHALL MODIFY THE STRUCTURES, FRAMES, AND GRATES TO MEET THE PROPOSED GRADES UNLESS OTHERWISE DIRECTED.
 9. INSTALL CONTINUOUS LOCATOR TAPE/WIRE, LOCATED DIRECTLY OVER POTABLE WATER MAINS AND SANITARY SEWER MAINS AT 6" TO 8" ABOVE PIPE.
 10. WHERE APPLICABLE, UTILITY TRENCHES CROSSING PAVEMENT AREAS SHALL BE BACK FILLED WITH COMPACTED GRANULAR MATERIAL IN ACCORDANCE WITH A.A.S.H.T.O.–T-99.
 11. CONTRACTOR SHALL PROVIDE SLEEVES FOR IRRIGATION LINES AND SITE LIGHTING UNDER PAVEMENT. COORDINATE WITH GENERAL CONTRACTOR.
 12. ALL TRENCHES EXCAVATED FOR THE PURPOSES OF UTILITY/STORM INSTALLATION SHALL BE KEPT DRY FOR THE DURATION OF UTILITY/STORM CONSTRUCTION. DEWATERING OF UTILITY/STORM TRENCHES MAY BE REQUIRED TO PREVENT FLOATION OF UTILITY/STORM PIPES DURING INSTALLATION.

13. THE CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN CONSTRUCTION IS COMPLETE FOR WATER, WASTEWATER AND STORMWATER SYSTEMS SO TIMELY CERTIFICATIONS MAY BE INITIATED. SATISFACTORY BACTERIOLOGICAL TEST RESULTS, PRESSURE TEST RESULTS, AND AN AS-BUILT SURVEY SHALL BE SUBMITTED TO ENGINEER PRIOR TO FINAL CERTIFICATION.

14. SUITABLE COUPLINGS COMPLYING WITH ASTM SPECIFICATIONS ARE REQUIRED FOR JOINING DISSIMILAR MATERIALS.

15. DEFLECTION TESTS ARE REQUIRED FOR ALL FLEXIBLE PIPE. TESTING REQUIREMENTS: 1) NO PIPE SHALL EXCEED A DEFLECTION OF 5%; 2) USING A RIGID BALL OR WANDREL FOR THE DEFLECTION TEST WITH A DIAMETER NOT LESS THAN 95% OF THE BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE; 3) PERFORMING THE TEST WITHOUT MECHANICAL PULLING DEVICES.

B. MATERIALS (WATER)

1. SERVICE PIPE SHALL BE POLYETHYLENE (PE) TUBING, DR9 MINIMUM.
2. WATER MAINS SHALL BE PVC ASTM C900, DR 14 WITH INTEGRAL BELLS AND ELASTOMERIC JOINTS PER ASTM C3139 AND GASKETS PER ASTM F477.
3. DUCTILE IRON PIPE (D.I.P.), IF REQUIRED, SHALL CONFORM TO ANSI/AWWA A21.51/C151, CLASS 50 (MIN.) PIPE FOR ALL SIZES.
4. CORPORATION STOPS SHALL BE BRASS, SIZED TO MATCH THE TAP DIAMETER, EQUIPPED WITH CONNECTIONS COMPATIBLE WITH SERVICE PIPE AND THREADED IN ACCORDANCE WITH SPECIFICATIONS IN AWWA C800. CURB STOPS SHALL BE SIZED TO MATCH THE METER SIZE AND CONFORM WITH AWWA C800 AND AWWA C901.
5. FITTINGS SHALL BE BRASS, CAST AND MACHINED IN ACCORDANCE WITH AWWA C800 AND AWWA C901, WITH COMPATIBLE PIPE CONNECTIONS.
6. TAPPING SADDLES SHALL BE USED FOR ALL SERVICE LINE TAPS. SERVICE SADDLES SHALL BE DOUBLE STRAP, ANCHORED BY A MINIMUM FOUR (4) BOLT PATTERN ON A DUCTILE IRON SADDLE BODY. FOR PVC PIPE, DOUBLE STRAPS SHALL BE CORROSION RESISTANT ALLOY STEEL, SIZED EXACTLY TO THE PIPE OUTSIDE DIAMETER. SEALING GASKETS SHALL BE BUNA-N RUBBER.
7. ALL POTABLE WATER PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL BE BLUE IN COLOR VIA INTEGRAL PIPE COLOR, STRIPING, OR OTHER METHODS.

C. MATERIALS (SEWER)

1. ALL GRAVITY SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVNYL CHLORIDE PIPE (PVC) CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS.
2. ALL FITTINGS AND ACCESSORIES SHALL BE MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR PRIOR-APPROVED EQUAL.
3. BEDDING AND INITIAL BACK FILL OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER.

D. MATERIALS (STORM)

1. REINFORCED CONCRETE PIPE (RCP): 0-RING PIPE SHALL CONFORM TO ASTM C 76 (CLASS III, UNLESS OTHERWISE SPECIFIED) AND AASHTO M 170 STANDARD SPECIFICATIONS, AND ASTM C 443 STANDARD SPECIFICATION FOR JOINTS FOR RCP USING RUBBER GASKETS.

2. ELLIPTICAL RCP SHALL CONFORM TO ASTM C 507 (CLASS III) AND AASHTO M 207 STANDARD SPECIFICATIONS.
3. HDPE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M-252 (3"-10"), M-294 (12" AND LARGER), TYPE S (CORRUGATED OUTSIDE – SMOOTH INSIDE, 4"-60"), AND MP7 (60" TYPE S).

- A. BELL/SPIGOT GASKET FOR HDPE PIPE SHALL BE SOIL/SILT TIGHT PER AASHTO SECTION 26 WITH RUBBER GASKET MEETING ASTM F-477.

4. PVC STORM SEWER PIPE (12" OR LESS) AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE PIPE (PVC) CONFORMING TO ASTM D3034, SDR26, WITH PUSH-ON RUBBER GASKET JOINTS.

UTILITY DISINFECTING & TESTING NOTES

WATER MAINS THAT ARE INCLUDED IN THIS PROJECT THAT WILL BE CONSTRUCTED OF POLYVINYL CHLORIDE PIPE WILL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C605. ALL OTHER WATER MAINS INCLUDED IN THIS PROJECT WILL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C600.

LEAKAGE TESTS ARE REQUIRED AS FOLLOWS: 1) THE LEAKAGE EXFILTRATION OR INFILTRATION DOES NOT EXCEED 200 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY FOR ANY SECTION OF THE PIPE; 2) EXFILTRATION OR INFILTRATION TESTS BE PERFORMED WITH A MINIMUM POSITIVE HEAD OF 2 FEET; 3) AIR TESTS, AS A MINIMUM, CONFORM TO THE TEST PROCEDURE DESCRIBED IN ASTM C 828 FOR CLAY PIPE, ASTM C 924 FOR CONCRETE PIPE, ASTM F-1417 FOR PLASTIC PIPE, AND FOR OTHER MATERIALS APPROPRIATE TEST PROCEDURES.

DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA C651 DISINFECTING WATER MAINS. SATISFACTORY BACTERIOLOGICAL TEST RESULTS SHALL BE SUBMITTED TO ENGINEER PRIOR TO FINAL CERTIFICATION.

THE CONTRACTOR SHALL MAKE PROVISIONS TO PROTECT THE ACTIVE EXISTING MAIN FROM BACKFLOW CONTAMINATION DURING FILLING, FLUSHING, AND TESTING OF THE NEW MAIN, AS SPECIFIED IN AWWA C651-92.

CONTRACTOR SHALL UTILIZE A JUMPER CONNECTION DURING WATER MAIN TESTING. ALTERNATE TYPES OF BACKFLOW PREVENTION MAY BE UTILIZED AS APPROVED BY INSPECTION STAFF AND ENGINEER.

UTILITY SEPARATION NOTES

1. NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT WILL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER (OR A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER I.E. THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST SIX INCHES ABOVE THE TOP OF THE SEWER); A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM."

2. NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY – OR VACUUM – TYPE SANITARY SEWER OR STORM SEWER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR AT LEAST 12 INCHES BELOW THE OTHER PIPELINE; AND NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER , WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE.

3. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE OR THE PIPES SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., AND AT LEAST SIX FEET FROM ALL JOINTS IN GRAVITY – OR PRESSURE – TYPE SANITARY SEWERS, WASTEWATER FORCE MAINS, OR PIPELINES CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

UTILITY CONTACTS

STORM DRAINAGE	ST. JOHNS RIVER WATER MANAGEMENT DISTRICT ALTAMONTE SPRINGS SERVICE CENTER 975 KELLER ROAD ALTAMONTE SPRINGS, FLORIDA 32714 PHONE: 407-659-4800 CONTACT: KEN LEWIS
SEWER/ WATER	SEMINOLE COUNTY UTILITIES UTILITIES ENGINEERING DIVISION 500 W. LAKE MARY BLVD. SANFORD, FL 32773 PHONE: 407-665-2041 CONTACT: DENNIS WESTRICK
ELECTRIC	DUKE ENERGY P.O. BOX 14042 ST. PETERSBURG, FL 33733 PHONE: 866-372-4663 CONTACT: RICH MARSIGLIO
CABLE	SPECTRUM 844 MAGUIRE RD OCOE, FL 34781 PHONE: 407-532-8520 CONTACT: JOHN SMITH
TELEPHONE	AT&T 1155 W STATE ROAD 434 SUITE 103 LONGWOOD, FL 32750 PHONE: 561-683-2729 CONTACT: DINO FARRUGGIO

LEGEND

PROPOSED CONTOUR	PROPOSED 73.50
MEET EXISTING GRADE	MEG
EDGE OF PAVEMENT	EOP
SIDEWALK	SW
GRADE BREAK	GB
SPOT ELEVATION	12.55 10%
DIRECTION OF FLOW AND PERCENT SLOPE	
STORM SEWER & INLET	
DOWN SPOUT DRAINS	DSD
SANITARY SEWER & MANHOLE	SS C.O.
CLEANOUT	
WATER SERVICE	W
FIRE HYDRANT	
WATER METER	
BACKFLOW PREVENTION DEVICE	
GATE VALVE	
REDUCER	
UNDERGROUND TELEPHONE	T
UNDERGROUND ELECTRIC	UGE
SITE LIGHTING	
TRANSFORMER	T
AIR CONDITIONING UNIT	AC
PARKING SPACE TOTALS	8 12'
6" CURBING WITH DIMENSION (TO FACE OF CURB U.N.O.)	
DETAIL NUMBER	3 C4
SHEET NUMBER	

Z DEVELOPMENT s e r v i c e s CA 29354					708 E. COLONIAL DR., STE 100 ORLANDO, FL 32803	PH: (407) 271-8910 FAX: (407) 442-0604
DATE						
REVISION						
DATE						
REVISION						

SARAH CULOTTA, P.E.
FL REG # 87413

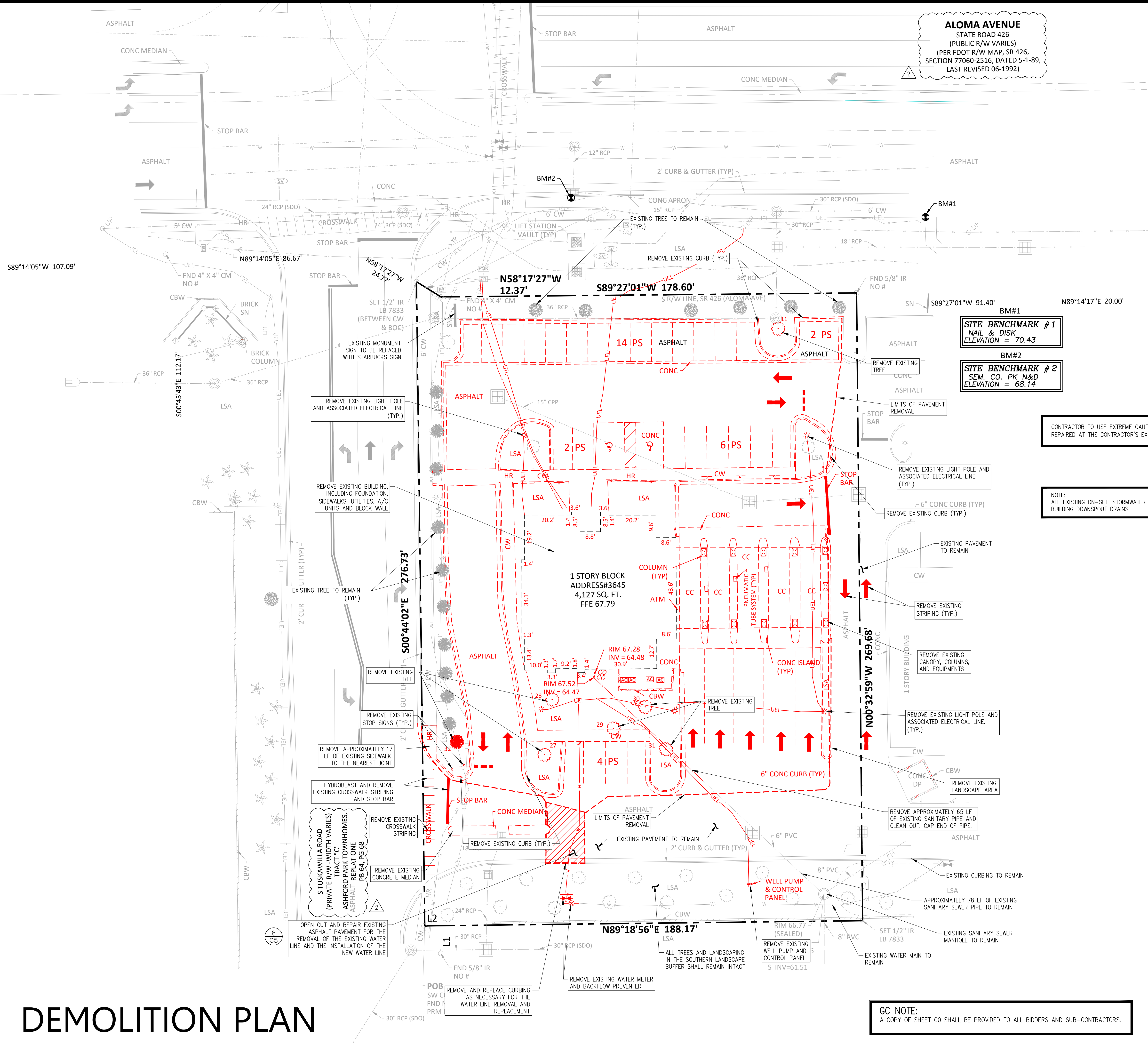
STARBUCKS RESTAURANT
3645 ALOMA AVE
OVIEDO
FLORIDA 32765

DATE: 05-05-23
DRAWN: LF
CHECKED: SC

C0
CIVIL DATA AND
NOTES
PROJECT NO.: 2023.103

GC NOTES:
A COPY OF THIS SHEET C0 SHALL BE PROVIDED TO ALL BIDDERS
AND SUB-CONTRACTORS.

DEMOLITION PLAN



ALOMA AVENUE
STATE ROAD 426
(PUBLIC R/W VARIES)
(PER FDOT R/W MAP, SR 426,
SECTION 77060-2516, DATED 5-1-89,
LAST REVISED 06-1992)

DEMOLITION NOTES

1. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL COORDINATE ACTIVITIES WITH ALL UTILITY SERVICE PROVIDERS IN THE AREA. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE VERIFIED PRIOR TO ANY EXCAVATION ACTIVITIES.
2. THE CONTRACTOR SHALL COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND OTHER IMPROVEMENTS AS NOTED ON THE PLANS. THIS INCLUDES FOUNDATIONS, TIMBER, BRUSH, STUMPS, ROOTS, PAVEMENT AND BASE MATERIAL AND OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.
3. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS). THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.
4. WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
5. THE LOCATION OF ALL EXISTING UTILITIES AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED BASED UPON THE BEST AVAILABLE INFORMATION. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR ACCURACY. ALL UTILITIES, SURFACE IMPROVEMENTS AND TREE LOCATIONS SHOULD BE VERIFIED BY THE CONTRACTOR.
6. THE CONTRACTOR IS TO COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE SERVICE PROVIDER.
7. THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION (UNDER THE DIRECTION OF A REGISTERED LAND SURVEYOR).
8. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE START OF DEMOLITION AND SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION.

CONTRACTOR TO USE EXTREME CAUTION WHEN WORKING NEAR EXISTING UNDERGROUND UTILITIES. ANY DAMAGES TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

NOTE:
ALL EXISTING ON-SITE STORMWATER INLETS AND ASSOCIATED PIPING SHALL REMAIN INTACT AND OPERATIONAL, WITH THE EXCEPTION OF ANY BUILDING DOWNSPOUT DRAINS.

FIRE SAFETY DURING DEMOLITION SHALL MEET THE REQUIREMENTS OUTLINED IN NFPA 1, CHAPTER 16 (2018 EDITION) AND NFPA 241 FOR ANY COMBUSTIBLE WASTE DISPOSAL, ACCESS ROADS FOR FIRE DEPARTMENT, ANY UTILITIES AND FIRE PROTECTION APPLIANCES SUCH AS HYDRANTS SHALL BE MAINTAINED.



GC NOTE:
A COPY OF SHEET C0 SHALL BE PROVIDED TO ALL BIDDERS AND SUB-CONTRACTORS.

Z DEVELOPMENT
s e r v i c e s
CA 29354
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REVISION	DATE	REVISION	DATE
1	06-28-23		
COUNTY COMMENTS			

SARAH CULOTTA, P.E.
FL REG # 87413

STARBUCKS RESTAURANT
3645 ALOMA AVE
OVIEDO
FLORIDA 32765

DATE: 05-05-23
DRAWN: LF
CHECKED: SC
C0.1
DEMOLITION
PLAN
PROJECT NO.: 2023.103

SITE DATA

HOURS OF OPERATION SUNDAY TO SATURDAY 5:00 AM TO 9:00 PM

NUMBER OF EMPLOYEES: 5

SITE AREA			
	50,940 S.F.	(1.17 AC)	
EXISTING			
PERVIOUS AREA	12,153 SF	(23.9%)	{ (100%)
IMPERVIOUS AREA	38,787 SF	(76.1%)	
BUILDING AREA	4,127 SF	(8.1%)	
PAVEMENT / SIDEWALK	34,660 SF	(68.0%)	

PROPOSED			
PERVIOUS AREA	13,430 SF	(26.4%)	{ (100%)
IMPERVIOUS AREA	37,510 SF	(73.6%)	
BUILDING AREA	2,700 SF	(5.3%)	
PAVEMENT / SIDEWALK	34,810 SF	(68.3%)	

ZONING	PD (PLANNED DEVELOPMENT – TRINITY RETAIL)		
MAXIMUM IMPERVIOUS SURFACE	75%		
MINIMUM OPEN SPACE	25%		
PROVIDED OPEN SPACE	26.4%		

FUTURE LAND USE HIGH INTENSITY HIP–TR–HIGH INTENSITY PLANNED DEVELOPMENT (TRANSITIONAL AREAS)

MAXIMUM ALLOWABLE F.A.R.	0.35	
PROVIDED F.A.R.	0.05	
MAXIMUM ALLOWABLE BUILDING HEIGHT	35 FT	
PROPOSED BUILDING HEIGHT	21'–9" FEET	
NUMBER OF STORIES	1	

LANDSCAPE BUFFERS	REQUIRED	PROVIDED
FRONT (NORTH, ALOMA AVE.)	10 FT	10.2 FT
SIDE (WEST, TUSKAWILLA RD.)	10 FT	15.6 FT
SIDE (EAST)	0 FT	13.5 FT (VARIES)
REAR (SOUTH)	0 FT	25.9 FT

BUILDING SETBACKS		
FRONT (NORTH, ALOMA AVE.)	25 FT	104.7 FT
SIDE (WEST, TUSKAWILLA RD.)	0 FT	67.4 FT
SIDE (EAST)	0 FT	80.7 FT
REAR (SOUTH)	10 FT	96.5 FT

PARKING REQUIRED
RESTAURANT WITH DRIVE–THRU
ONE (1) SPACE FOR EACH FOUR (4) SEATS.
= 65 (41 INDOOR + 24 OUTDOOR) SEATS / 4
= 16.2 OR 16 SPACES

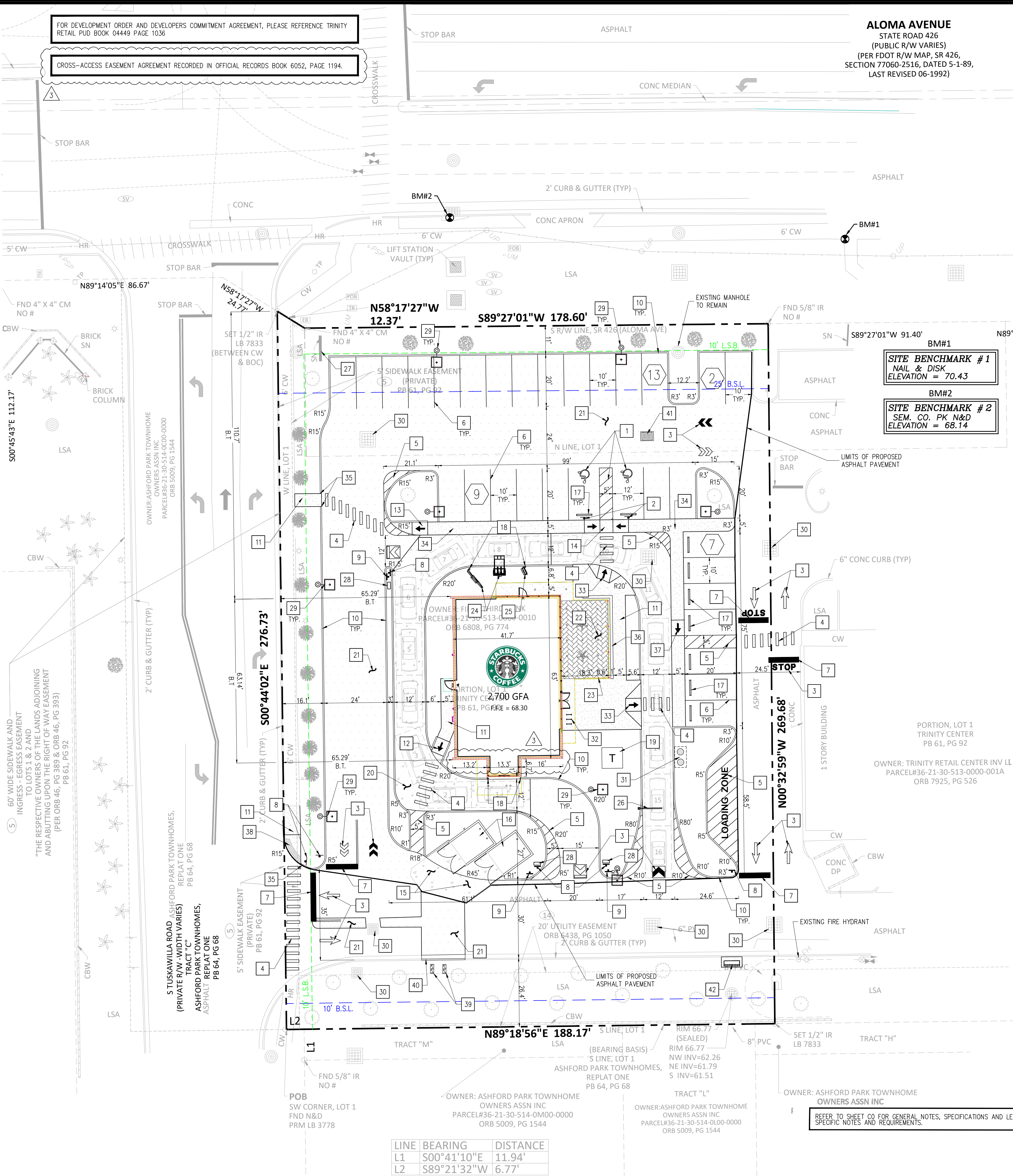
PARKING REQUIRED
BICYCLE PARKING REQUIRED: TWO (2) BICYCLE SPACES ARE REQUIRED FOR EACH TEN (10) OFF–STREET PARKING SPACES
= 31 SPACES / 10 * 2
= 6 BICYCLE SPACES

TOTAL PARKING PROVIDED	
REGULAR	29 SPACES
ACCESSIBLE	2 SPACES
TOTAL VEHICLE SPACES	31 SPACES
BICYCLE SPACES	6 SPACES

FIRE MARSHAL NOTES:

- 1) FIRE DEPARTMENT ACCESS ROADS PROVIDED AT THE START OF A PROJECT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION (NFPA 1, 16.1.4).
- 2) A SECOND ENTRANCE / EXIT MIGHT BE REQUIRED PER AHJ IF THE RESPONSE TIME FOR EMERGENCY IS EXCEEDED PER NFPA 1, SECTION 18.2.3.3 MULTIPLE ACCESS ROADS.
- 3) A WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ACCUMULATES. THIS APPLIES TO BOTH COMMERCIAL AND RESIDENTIAL DEVELOPMENTS (NFPA 1, 16.4.3.1).
- 4) WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED AND IN SERVICE PRIOR TO CONSTRUCTION WORK. (NFPA 1, 16.4.3.1.3)
- 5) FIRE FLOW TESTING SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 291, RECOMMENDED PRACTICE FOR FIRE FLOW TESTING.
- 6) A 36 IN. CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS AND A CLEAR SPACE OF NOT LESS THAN 60 IN. (1524 MM) SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 212 IN. (NFPA 1, 18.5.7)
- 7) HYDRANT SHALL BE MARKED WITH A BLUE REFLECTOR THAT IS PLACED 6 IN THE ROADWAY IN ACCORDANCE WITH NFPA 1, CHAPTER 18.5.10.
- 8) ACCESS TO CATED SUBDIVISIONS OR DEVELOPMENTS SHALL PROVIDE FIRE DEPARTMENT ACCESS THROUGH AN APPROVED SOS AND SEMINOLE COUNTY KNOX KEY SWITCH. (NFPA 1, 18.2.2.2).

SITE PLAN



PLAN NOTES

- 1 ADA PARKING, STRIPING & ACCESS AISLE
- 2 ADA PARKING SIGN
- 3 PAVEMENT MARKING (PAINT)
- 4 CROSSWALK STRIPING (PAINT)
- 5 4" WHITE STRIPING
- 6 6" WHITE STRIPING
- 7 24" WIDE STOP BAR (PAINT)
- 8 "STOP" SIGN (R1–1 36")
- 9 "DO NOT ENTER" SIGN (R5–1 30")
- 10 6" VERTICAL CURB
- 11 CONCRETE WALK WITH SCORE MARKS AND EXPANSION JOINTS
- 12 ACCESSIBLE END RAMP
- 13 ACCESSIBLE CORNER RAMP
- 14 DOUBLE SIDEWALK RAMP
- 15 BLACK CONCRETE APRON
- 16 DUMPSTER ENCLOSURE (REFER TO ARCHITECTURAL PLANS)
- 17 WHEEL STOPS
- 18 BOLLARD
- 19 TRANSFORMER PAD
- 20 7" THICK BLACK INTEGRAL CONCRETE REINFORCED WITH WELDED WIRE MESH PER STARBUCKS SPECIFICATIONS
- 21 ASPHALT PAVEMENT
- 22 STAMPED, STAINED AND SEALED CONCRETE SURFACE SEATING AREA (REFER TO ARCHITECTURAL PLANS)
- 23 3'–0" HIGH PATIO RAILING (REFER TO ARCHITECTURAL PLANS)
- 24 DRIVE–THRU MENU BOARD, SPEAKER BOX AND AWNING (REFER TO ARCHITECTURAL PLANS)
- 25 PREVIEW MENU BOARD (REFER TO ARCHITECTURAL PLANS)
- 26 CLEARANCE BAR (REFER TO ARCHITECTURAL PLANS)
- 27 EXISTING MONUMENT SIGN TO REMAIN. REFACE WITH STARBUCKS LOGO.
- 28 STARBUCKS DIRECTIONAL SIGNAGE (REFER TO ARCHITECTURAL PLANS)
- 29 SITE LIGHTING (REFER TO SITE PHOTOMETRIC PLANS)
- 30 EXISTING DRAINAGE STRUCTURE (REFER TO GRADING PLAN, SHEET C3)
- 31 GREASE TRAP (REFER TO UTILITY PLAN, SHEET C2)
- 32 BIKE RACK
- 33 ACCESSIBLE FLARED RAMP
- 34 MONOLITHIC CURB AND SIDEWALK
- 35 TRANSITION CURB
- 36 3 FT HIGH CONCRETE KNEE WALL (REFER TO ARCHITECTURAL PLANS)
- 37 SIDEWALK RAMP
- 38 DETECTABLE WARNING
- 39 EXISTING WATER STRUCTURE (REFER TO UTILITY PLAN, SHEET C2)
- 40 CURB AND GUTTER
- 41 NEW DRAINAGE STRUCTURE (REFER TO GRADING AND DRAINAGE PLAN, SHEET C3)
- 42 BENCH ON CONCRETE PAD. CONTRACTOR SHALL COORDINATE WITH OWNER FOR SPECIFICATIONS.

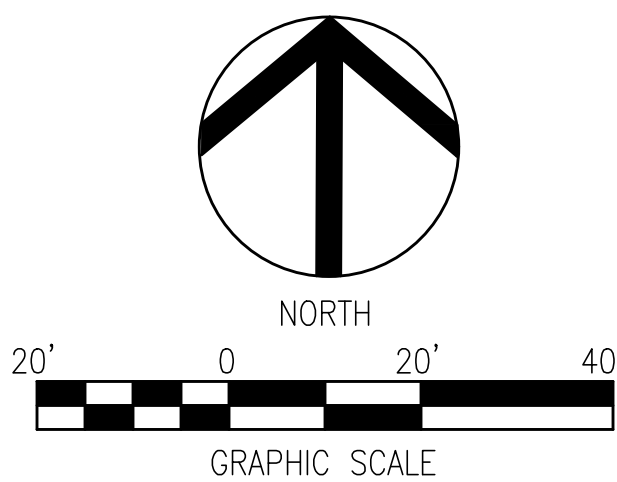
CONTRACTOR'S NOTE:
CONTRACTOR SHALL PROVIDE A COMPREHENSIVE AS–BUILT SURVEY FOR THE PROJECT AS REQUIRED BY THE GOVERNING AGENCY. CONTACT THE ENGINEER OF RECORD FOR THE REQUIREMENTS OF THE AS–BUILT SURVEY.

FDOT NOTE:

ALL CONSTRUCTION IN THE FDOT ROW SHALL CONFORM TO THE LATEST EDITIONS OF THE FDOT DESIGN STANDARDS (INDEXES), THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE FDOT UTILITY ACCOMMODATION MANUAL.

ALL SIDEWALK ALONG THE FRONTAGE OF THE PROPERTY IN FDOT RIGHT OF WAY MUST BE TURNED OVER TO FDOT MEETING ADA STANDARDS AND UNBROKEN. CONTRACTOR MUST MAKE REPAIR TO ANY SIDEWALK NOT MEETING ADA STANDARDS.

REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS AND LEGENDS IN ADDITION TO SITE SPECIFIC NOTES AND REQUIREMENTS.



STARBUCKS RESTAURANT
3645 ALOMA AVE
OVIEDO
FLORIDA 32765

DATE: 05–05–23
DRAWN: LF
CHECKED: SC

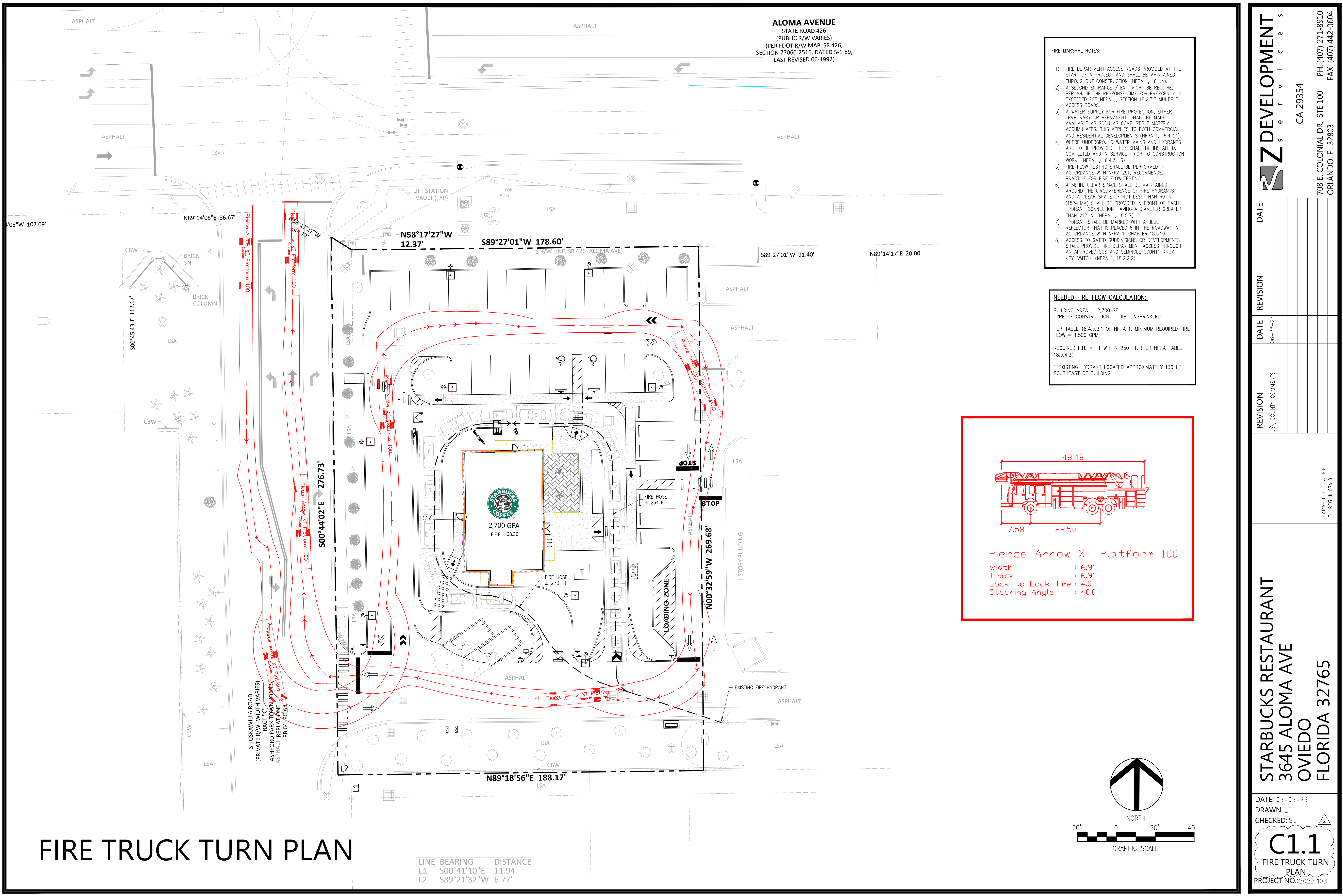
C1
SITE PLAN

PROJECT NO.: 2023.103

Z DEVELOPMENT
s e r v i c e s
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708 E. COLONIAL DR., STE 100
ORLANDO, FL 32803
PH: (407) 271-8910
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REVISION	DATE	REVISION	DATE
1	06–08–23	1	06–08–23
2	06–28–23	2	06–28–23
3	08–10–23	3	08–10–23

SARAH CULOTTA, P.E.
FL REG # 87413



FIRE TRUCK TURN PLAN

LINE	BEARING	DISTANCE
L1	S00°41'10"E	11.94'
L2	S89°21'32"W	6.77'

ALOMA AVENUE
STATE ROAD 426
(PUBLIC R/W VARIES)
(PER FDOT R/W MAP, SR 426,
SECTION 77060-2516, DATED 5-1-89,
LAST REVISED 06-1992)

- FIRE MARSHAL NOTES:**
- 1) FIRE DEPARTMENT ACCESS ROADS PROVIDED AT THE START OF A PROJECT AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION (NFPA 1, 16.1.4).
 - 2) A SECOND ENTRANCE / EXIT MIGHT BE REQUIRED PER AHJ IF THE RESPONSE TIME FOR EMERGENCY IS EXCEEDED PER NFPA 1, SECTION 18.2.3.3 MULTIPLE ACCESS ROADS
 - 3) A WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ACCUMULATES. THIS APPLIES TO BOTH COMMERCIAL AND RESIDENTIAL DEVELOPMENTS (NFPA 1, 16.4.3.1).
 - 4) WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED AND IN SERVICE PRIOR TO CONSTRUCTION WORK. (NFPA 1, 16.4.3.1.3)
 - 5) FIRE FLOW TESTING SHALL BE PERFORMED IN ACCORDANCE WITH NFPA 291, RECOMMENDED PRACTICE FOR FIRE FLOW TESTING.
 - 6) A 36 IN. CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS AND A CLEAR SPACE OF NOT LESS THAN 60 IN. (1524 MM) SHALL BE PROVIDED IN FRONT OF EACH HYDRANT CONNECTION HAVING A DIAMETER GREATER THAN 212 IN. (NFPA 1, 18.5.7)
 - 7) HYDRANT SHALL BE MARKED WITH A BLUE REFLECTOR THAT IS PLACED 6 IN. THE ROADWAY IN ACCORDANCE WITH NFPA 1, CHAPTER 18.5.10
 - 8) ACCESS TO GATED SUBDIVISIONS OR DEVELOPMENTS SHALL PROVIDE FIRE DEPARTMENT ACCESS THROUGH AN APPROVED SOS AND SEMINOLE COUNTY KNOX KEY SWITCH. (NFPA 1, 18.2.2.2)

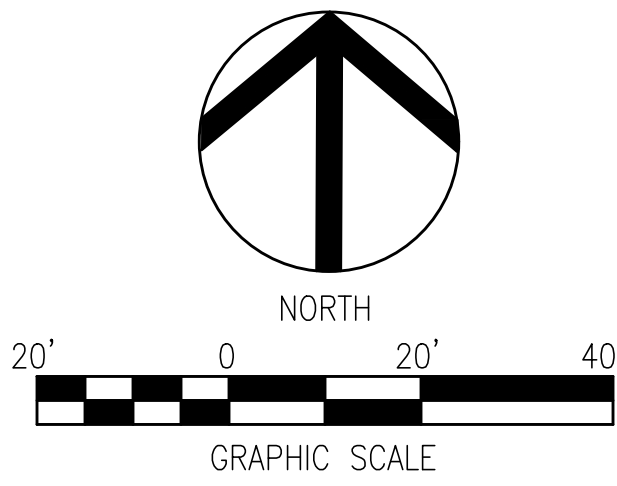
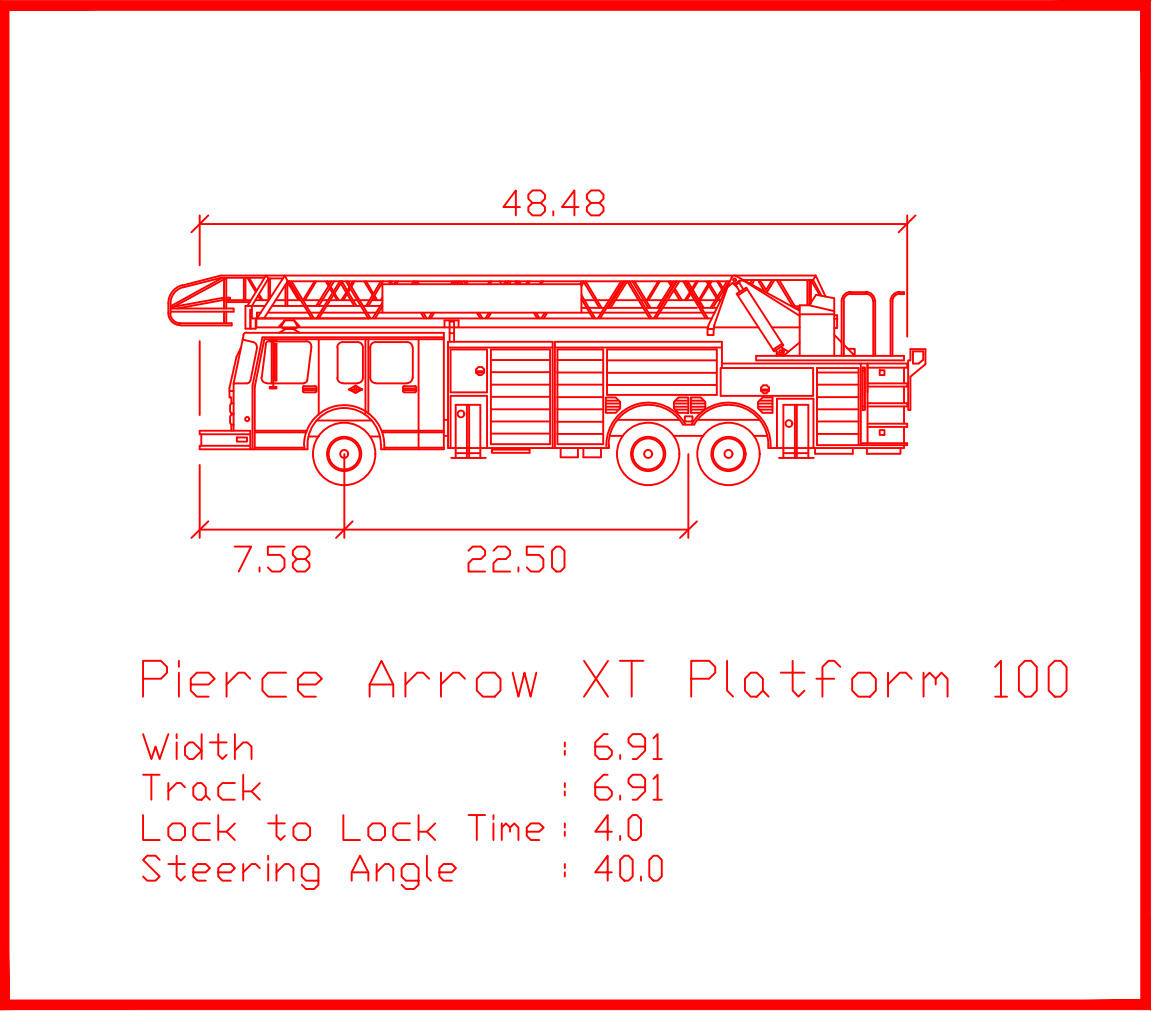
NEEDED FIRE FLOW CALCULATION:

BUILDING AREA = 2,700 SF
TYPE OF CONSTRUCTION - IIB, UNSPRINKLED

PER TABLE 18.4.5.2.1 OF NFPA 1, MINIMUM REQUIRED FIRE FLOW = 1,500 GPM

REQUIRED F.H. = 1 WITHIN 250 FT. (PER NFPA TABLE 18.5.4.3)

1 EXISTING HYDRANT LOCATED APPROXIMATELY 130 LF SOUTHEAST OF BUILDING

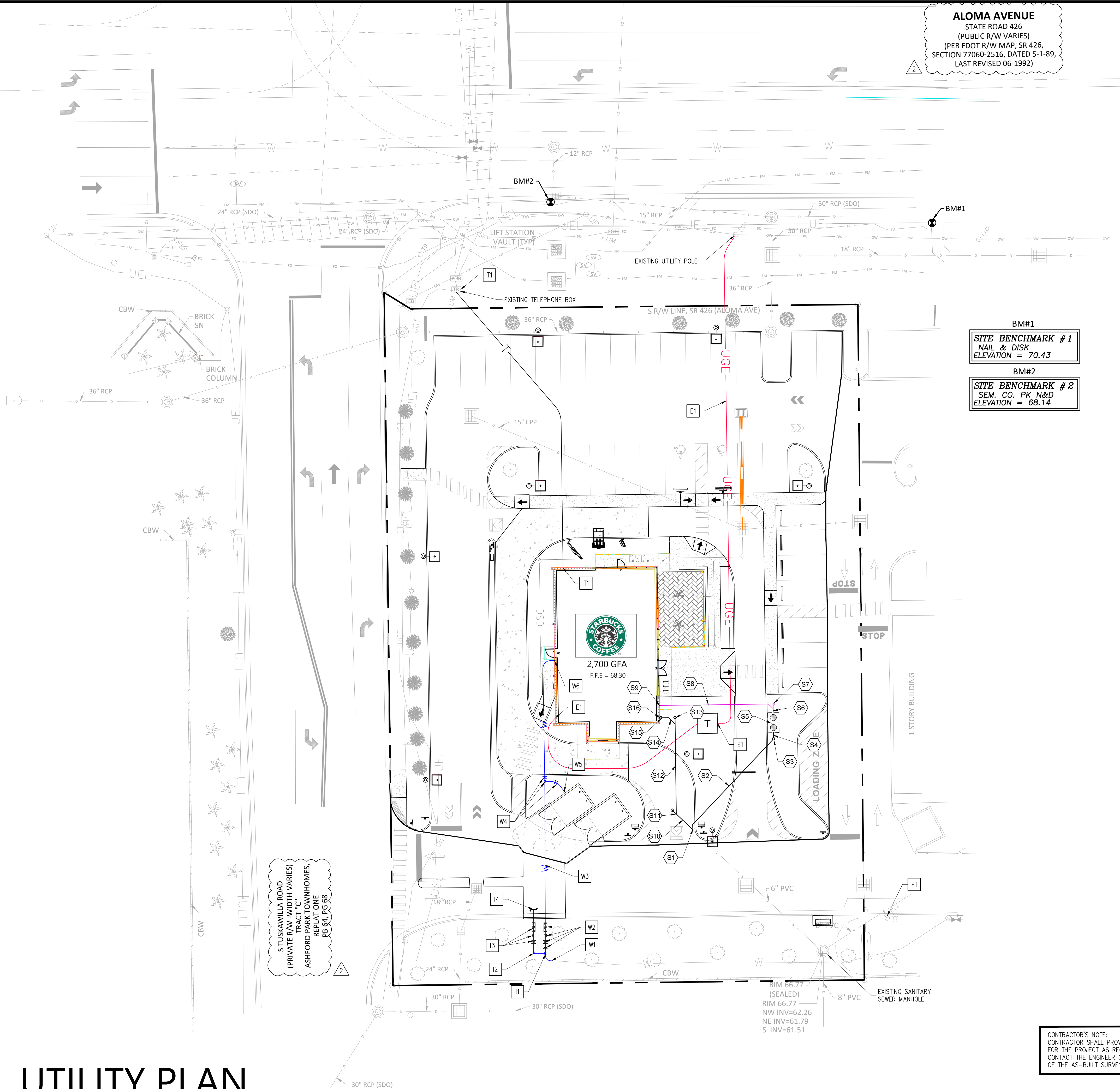


REVISION	DATE	REVISION	DATE
1	06-28-23		
COUNTY COMMENTS			

SARAH CULOTTA, P.E.
FL REG # 87413

STARBUCKS RESTAURANT
3645 ALOMA AVE
OVIEDO
FLORIDA 32765

UTILITY PLAN



ALOMA AVENUE
STATE ROAD 426
(PUBLIC R/W VARIES)
(PER FDOT R/W MAP, SR 426,
SECTION 77060-2516, DATED 5-1-89,
LAST REVISED 06-1992)

BM#1
SITE BENCHMARK #1
NAIL & DISK
ELEVATION = 70.43

BM#2
SITE BENCHMARK #2
SEM. CO. PK N&D
ELEVATION = 68.14

CONTRACTOR'S NOTE:
CONTRACTOR SHALL PROVIDE A COMPREHENSIVE AS-BUILT SURVEY
FOR THE PROJECT AS REQUIRED BY THE GOVERNING AGENCY.
CONTACT THE ENGINEER OF RECORD FOR THE REQUIREMENTS
OF THE AS-BUILT SURVEY.

REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS AND LEGENDS IN ADDITION TO SITE SPECIFIC NOTES AND REQUIREMENTS.

UTILITIES NOTES

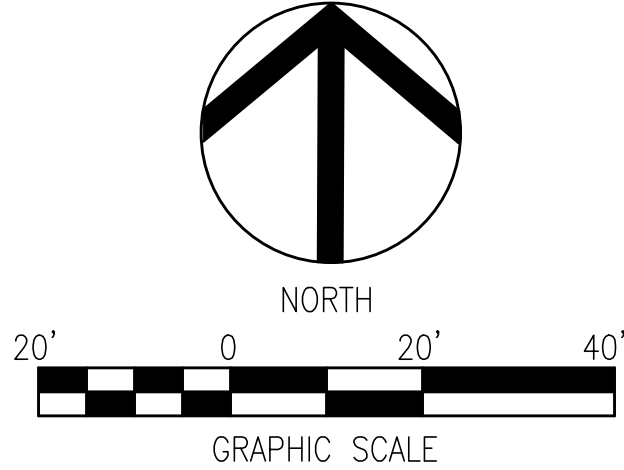
- NOTE: CONTRACTOR SHALL LAY PIPING BEGINNING AT THE LOW POINT OF THE SYSTEM (CONNECTION TO OFFSITE SYSTEM)
- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE AND INVERTS OF EXISTING SANITARY SEWER MANHOLE. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES EXIST.
- SANITARY SEWER**
- S1 REMOVE CAP AND INSTALL A 6" X 6" WYE @ INV. ELEV. = 63.40'
 - S2 49 LF - 6" PVC @ 1.3% SLOPE (10/25 108/26 110/26) (TYP.)
 - S3 CLEANOUT @ INV. ELEV. = 64.03' (9/25) (TYP.)
 - S4 3 LF - 6" PVC @ 1.3% SLOPE
 - S5 1,250 GALLON GREASE INTERCEPTOR (REFER TO PLUMBING PLANS FOR DETAIL)
N. RIM ELEV. = 67.55
S. RIM ELEV. = 67.45
INV. OUT. = 64.07'
INV. IN. = 64.32'
 - S6 2 LF - 6" PVC GREASE LINE @ 1.0% SLOPE
 - S7 CLEANOUT @ INV. ELEV. = 64.34'
 - S8 46 LF - 6" PVC GREASE LINE @ 1.0% SLOPE
 - S9 GREASE LINE CONNECTION TO BUILDING @ INV. ELEV. = 64.80'
(REFER TO PLUMBING PLANS FOR EXACT STUB-OUT LOCATION AND INVERT PRIOR TO START OF CONSTRUCTION)
 - S10 9 LF - 6" PVC @ 1.0% SLOPE
 - S11 CLEANOUT @ INV. ELEV. = 63.49'
 - S12 38 LF - 6" PVC @ 1.0% SLOPE
 - S13 CLEANOUT @ INV. ELEV. = 63.87'
 - S14 7 LF - 6" PVC @ 1.0% SLOPE
 - S15 DROP CLEANOUT
INV. OUT. = 63.94' (14/25) (TYP.)
INV. IN. = 64.80'
 - S16 SANITARY LINE CONNECTION TO BUILDING @ INV. ELEV. = 64.80'
(REFER TO PLUMBING PLANS FOR EXACT STUB-OUT LOCATION AND INVERT PRIOR TO START OF CONSTRUCTION)

- W1 WATER**
- CONNECT NEW 2" BLUE PE DOMESTIC WATER SERVICE TO EXISTING 2" WATER LINE
- W2** PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF EXISTING WATER MAIN. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES EXIST. (11/25 112/26 113/26) (TYP.)
- W3** 2" X 1 1/2" REDUCER, 1 1/2" GATE VALVE, 1 1/2" METER AND 1" BLACKFLOW PREVENTER
- W4** 118 LF - 1 1/2" BLUE PE DOMESTIC WATER SERVICE
- W5** 1 1/2" - 3/4" TEE, 1 1/2" GATE VALVE, AND 3/4" GATE VALVE
- W6** CONNECT 10 LF - 3/4" BLUE PE TO HOSE BIB LOCATION AT THE DUMPSTER ENCLOSURE
- CONNECT 1 1/2" LINE TO BUILDING FOR DOMESTIC SERVICE

- IRRIGATION**
- I1 2" X 1 1/2" TEE
 - I2 1 1/2" - 90° BEND AND 9 LF - 1 1/2" PVC (10/25 111/26 112/26)
 - I3 1" GATE VALVE, 1" METER AND 1" BLACKFLOW PREVENTER
 - I4 1 1/2" IRRIGATION STUB-OUT (SEE IRRIGATION PLANS FOR CONTINUATION).

- ELECTRIC**
- E1 CONTRACTOR SHALL COORDINATE WITH ELECTRIC SERVICE PROVIDER FOR TRANSFORMER TYPE AND LOCATION AS WELL AS PRIMARY AND SECONDARY ELECTRICAL CONDUITS PRIOR TO CONSTRUCTION.
- TELEPHONE**
- T1 CONTRACTOR SHALL COORDINATE NEW UNDERGROUND TELEPHONE SERVICE CONNECTION WITH TELEPHONE PROVIDER PRIOR TO CONSTRUCTION

- FIRE**
- F1 EXISTING LOCATION OF FIRE HYDRANT ASSEMBLY



STARBUCKS RESTAURANT
3645 ALOMA AVE
OVIEDO
FLORIDA 32765

DATE: 05-05-23
DRAWN: LF
CHECKED: SC

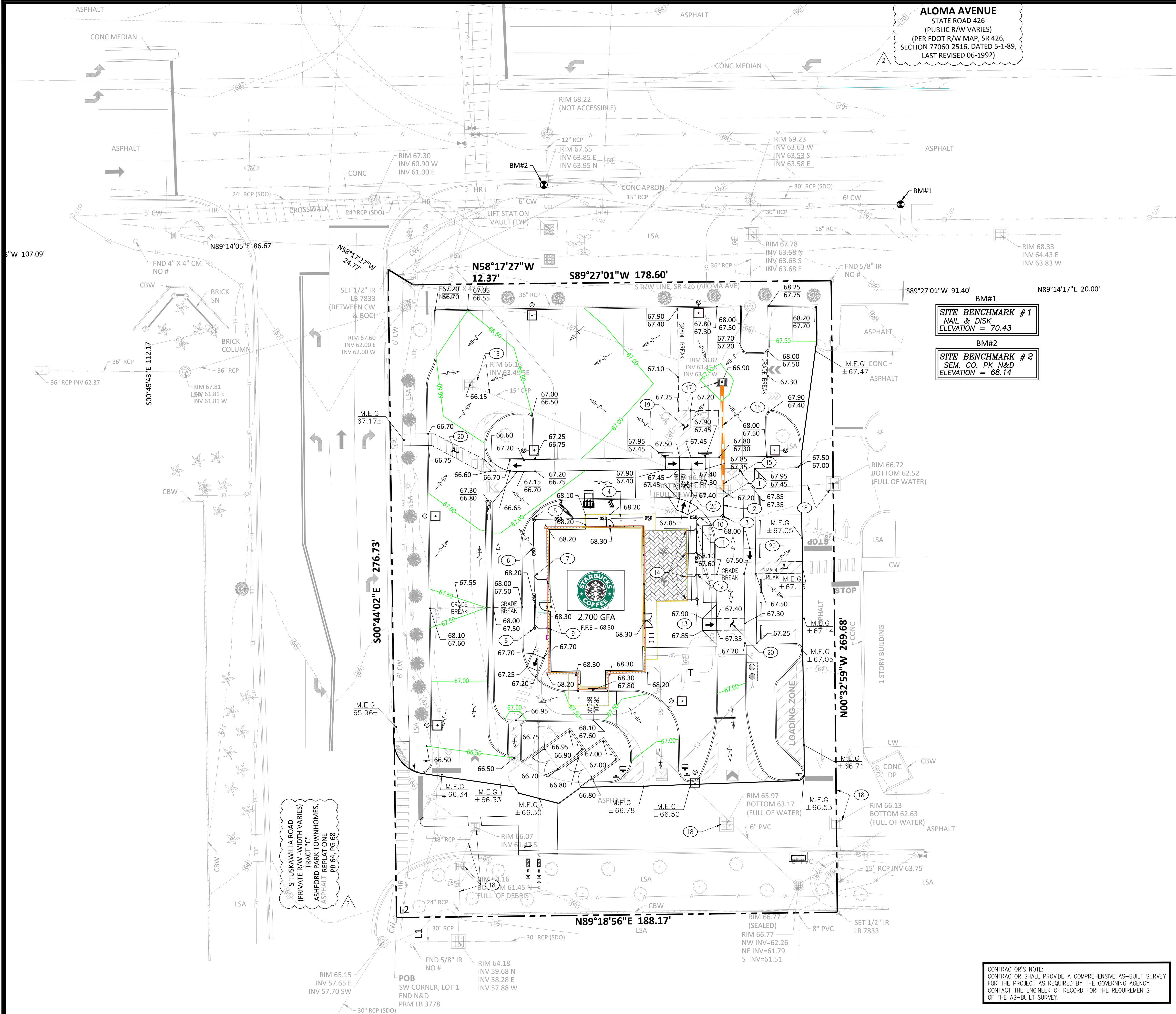
C2
UTILITY PLAN

PROJECT NO.: 2023.103

REVISION	DATE	REVISION	DATE
1	06-28-23		
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Z DEVELOPMENT
s e r v i c e s
CA 29354
708 E. COLONIAL DR., STE 100
ORLANDO, FL 32803
PH: (407) 271-8910
FAX: (407) 442-0604

SARAH CULOTTA, P.E.
FL REG # 87413



STARBUCKS RESTAURANT
3645 ALOMA AVE
OVIEDO
FLORIDA 32765

DATE: 05-05-23
DRAWN: LF
CHECKED: SC

C3
SITE GRADING AND DRAINAGE PLAN
PROJECT NO.: 2023.103

GRADING & DRAINAGE NOTES

NOTE: CONTRACTOR SHALL LAY PIPING BEGINNING AT THE LOW POINT OF THE SYSTEM (CONNECTION TO OFFSITE SYSTEM).

1 CORE DRILL AND CONNECT TO EXISTING STORMWATER INLET @ INV. ELEV. = 63.20
RAISE RIM ELEV. FROM 66.51' TO 67.20'

PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY LOCATION AND INVERTS OF EXISTING INLET AND NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES EXIST

DOWNSPOUT DRAINAGE ROUTE

2 9 LF - 8" PVC @ 1.0% SLOPE (101/101) TYP.

3 CLEANOUT @ INV. ELEV. = 63.29' (9/9) TYP.

4 81 LF - 8" PVC @ 1.0% SLOPE

5 CLEANOUT @ INV. ELEV. = 64.10'

6 46 LF - 8" PVC @ 1.0% SLOPE

7 8" X 6" WYE CONNECTION @ INV. ELEV. = 64.35'

8 CLEANOUT @ INV. ELEV. = 64.56'

9 6 LF - 6" PVC @ 1.0% SLOPE MIN. (2 PLACES).
CONNECT TO BUILDING STUB-OUT @ INV. ELEV. = 64.60

10 8" X 8" WYE CONNECTION @ INV. ELEV. = 63.39'

11 35 LF - 8" PVC @ 1.7% SLOPE

12 8" X 3" WYE CONNECTION (3 PLACES)

13 CLEANOUT @ INV. ELEV. = 64.00'

14 5 LF - 3" PVC @ 1.0% SLOPE MIN. (4 PLACES).
CONNECT TO BUILDING STUB-OUT @ INV. ELEV. = 64.10

15 CORE DRILL AND CONNECT TO EXISTING STORMWATER INLET @ INV. ELEV. = 63.30

16 45 LF - 15" HDPE @ 1.0% SLOPE

17 FDOT TYPE F INLET #1 (3/3) C5.1
TOP OF FRAME = 66.90
S. INV. = 63.75

18 EXISTING STORMWATER INLET AND / OR PIPE TO REMAIN

19 ACCESSIBLE ZONE - MAX 2.0% SLOPE IN ANY DIRECTION

20 ACCESSIBLE ROUTE - MAX 2.0% CROSS SLOPE AND / OR 5.0% RUNNING SLOPE

FDOT NOTES:

1. ALL CONSTRUCTION IN FDOT R.O.W SHALL CONFORM TO THE LATEST FDOT STANDARD PLANS AND FDOT STANDARD SPECIFICATIONS

2. ALL DISTURBED AREAS IN FDOT R.O.W SHALL BE SOODED

ALL ELEVATIONS SHOWN HEREON ARE BASED ON BENCHMARK DESIGNATION 4715101, BEING: 68,148 FEET, (NAVD 1988), PUBLISHED BY SEMINOLE COUNTY, FLORIDA

CONTRACTOR'S NOTE:
CONTRACTOR SHALL PROVIDE A COMPREHENSIVE AS-BUILT SURVEY FOR THE PROJECT AS REQUIRED BY THE GOVERNING AGENCY. CONTACT THE ENGINEER OF RECORD FOR THE REQUIREMENTS OF THE AS-BUILT SURVEY.

REFER TO SHEET C0 FOR GENERAL NOTES, SPECIFICATIONS AND LEGENDS IN ADDITION TO SITE SPECIFIC NOTES AND REQUIREMENTS.

GRADING & DRAINAGE PLAN

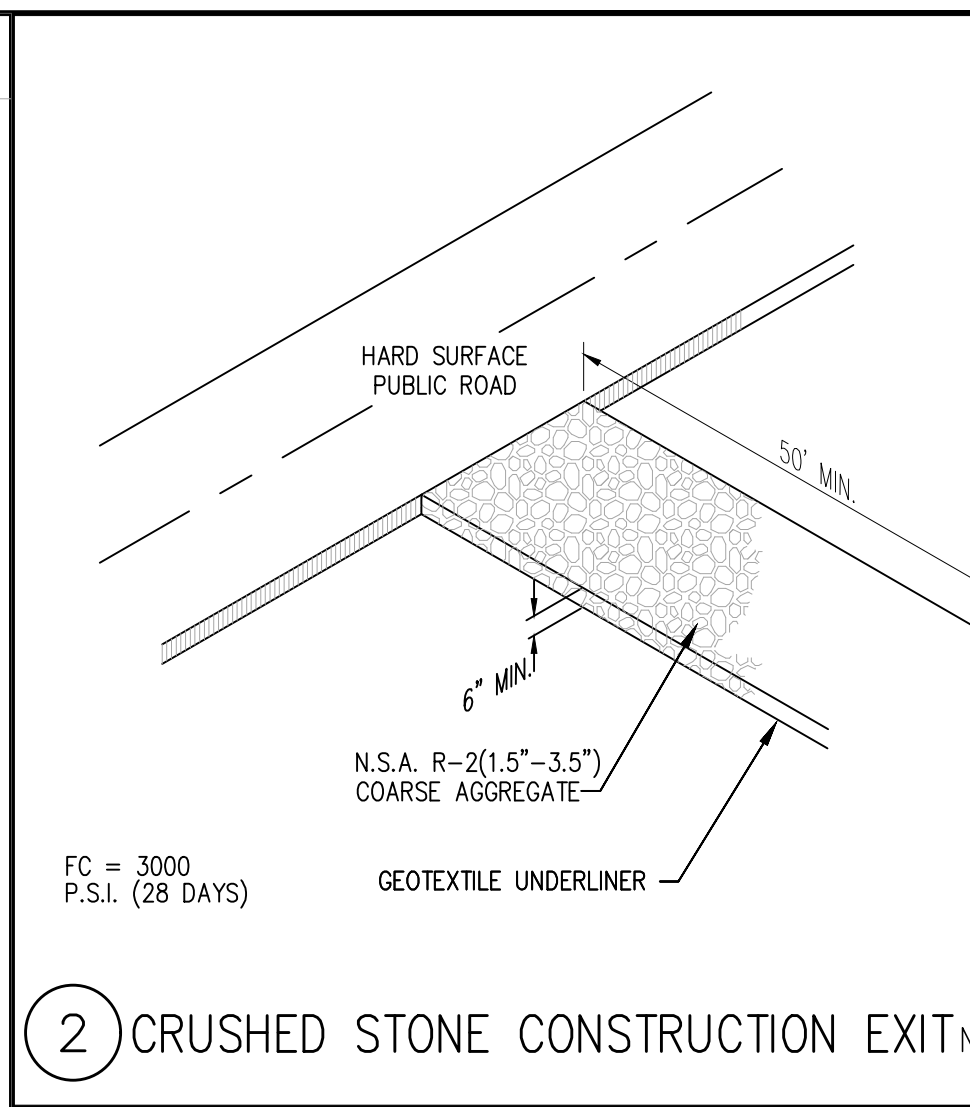
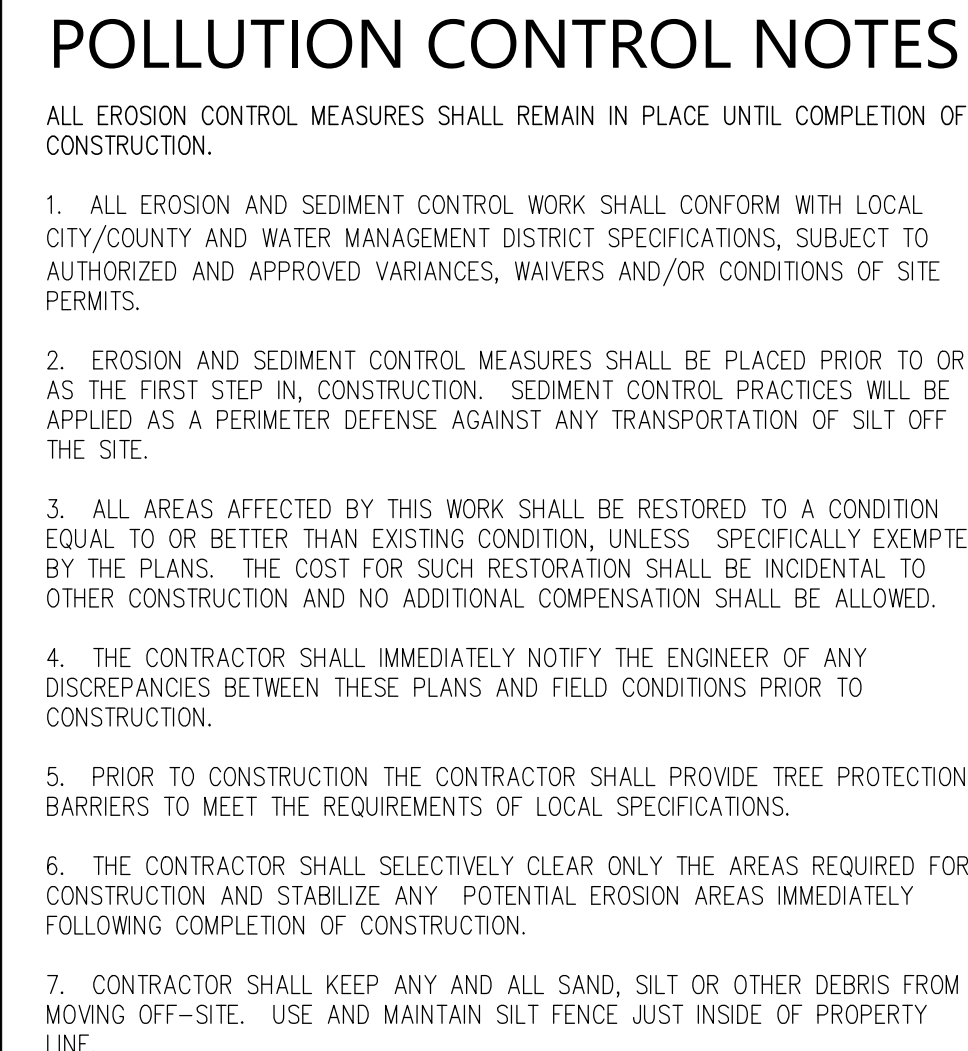
Z DEVELOPMENT
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CA 29354

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SARAH CULOTTA, P.E.
FL REG # 87413

DATE: 05-05-23
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C3
SITE GRADING AND DRAINAGE PLAN
PROJECT NO.: 2023.103

[illegible]

Condition Code:			
G = Good M = Marginal, needs maintenance or replacement soon			
P = Poor, needs immediate maintenance or replacement C = Needs to be cleaned			
D = Other			
Control Type Codes			
1. Soil Fence	10. Storm drain inlet protection	19. Reinforced soil retaining system	
2. Earth dikes	11. Vegetative buffer strip		
3. Structural diversion	12. Vegetative preservation area	20. Gabion	
4. Swale	13. Retention Pond	21. Sediment basin	
5. Sediment trap	14. Construction entrance stabilization	22. Temporary seed / sod	
6. Check dam	15. Perimeter ditch	23. Permanent seed / sod	
7. Subsurface drain	16. Curb and gutter	24. Mulch	
8. Pipe slope drain	17. Paved road surface	25. Hay Bales	
9. Level spreaders	18. Rock outlet protection	26. Geotextile	
		27. Rip-rap	
28. Tree protection	31. Waste disposal/housekeeping	33. Sand Bag	
29. Detention pond	32. Dam	34. Other	
30. Retention pond			

1. CONTRACTOR SHALL BLOCK INTRUSION OF SAND, SILT OR OTHER DEBRIS INTO ANY DRAINAGE OR SANITARY SEWER STRUCTURE OR PIPING ON OR ADJACENT TO SITE.
2. ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
3. FOR ADDITIONAL INFORMATION AND DETAILS, SEE STATE OF FLORIDA EROSION AND SEDIMENT CONTROL MANUAL.
4. UNLESS SPECIFIED, SILT FENCES MAY BE USED IN LIEU OF HAY BARRIERS.
5. ADDITIONAL POSTS AND RAILS MAY BE NECESSARY TO SECURE AND SUPPORT BARRIERS.
6. ADDITIONAL BARRIER LENGTHS MAY BE REQUIRED BY THE COUNTY ENGINEER OR BY REGULATORY AGENCIES.
7. FILTER FABRIC MUST BE INSTALLED UNDER ALL INLET GRATES, AT ALL TIMES WHEN INLETS ARE NOT PROTECTED BY SILT FENCE OR HAY BALES, UNTIL THE LIMEROCK BASE IS FINISHED AND PRIMED.
8. THE CONTRACTOR IS REQUIRED TO HAVE THIS PLAN ALONG WITH A COPY OF THE NPDES NOTICE OF INTENT POSTED IN A VISIBLE LOCATION ON THE CONSTRUCTION SITE AT ALL TIMES.
9. "CONTRACTOR IS REQUIRED BY NPDES TO KEEP A LOG ON SITE FOR THE SOIL EROSION AND SEDIMENT CONTROL MEASURES INDICATED ON THE PLAN. THE LOG SHALL CONTAIN DATES FOR: INSTALLATION OF CONTROL MEASURES, MAJOR SITE CONSTRUCTION ACTIVITIES, INSPECTION ON AT LEAST A WEEKLY BASIS AND INSPECTION AFTER ANY RAINFALL EVENT THAT IS 1/2" OR GREATER".
10. THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF TERMINATION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION UPON THE COMPLETION OF CONSTRUCTION.
11. CONTRACTOR SHALL RETAIN ALL RECORDS FOR A PERIOD OF THREE YEARS FOLLOWING THE NOTICE OF TERMINATION.
12. NO STORMWATER DISCHARGES SUCH AS FIRE HYDRANT FLUSHING, ETC SHALL BE DISCHARGED TO EXISTING UNDERGROUND STORMWATER FACILITY OR ON SITE RETENTION POND.
13. ANY POTENTIALLY HAZARDOUS CHEMICALS BROUGHT ONTO THE JOB SITE WILL BE LIMITED AND KEPT IN ORIGINAL CONTAINER WITH MSDS LABEL.
14. NO SILT SHALL BE TRACKED ONTO PUBLIC ROADWAYS. ANY SILT DEPOSITED ON PUBLIC ROADWAYS SHALL BE REMOVED BY THE END OF THE WORK DAY.

[illegible]

CONTRACTOR(S) AND SUBCONTRACTOR(S) THAT IMPLEMENT ANY PART OF THE
EROSION/POLLUTION CONTROL MEASURES REQUIRED BY THE NPDES PERMIT SHALL SIGN BELOW:

"I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared thereunder.

Name	Title	Company Name, Address & phone number	Date

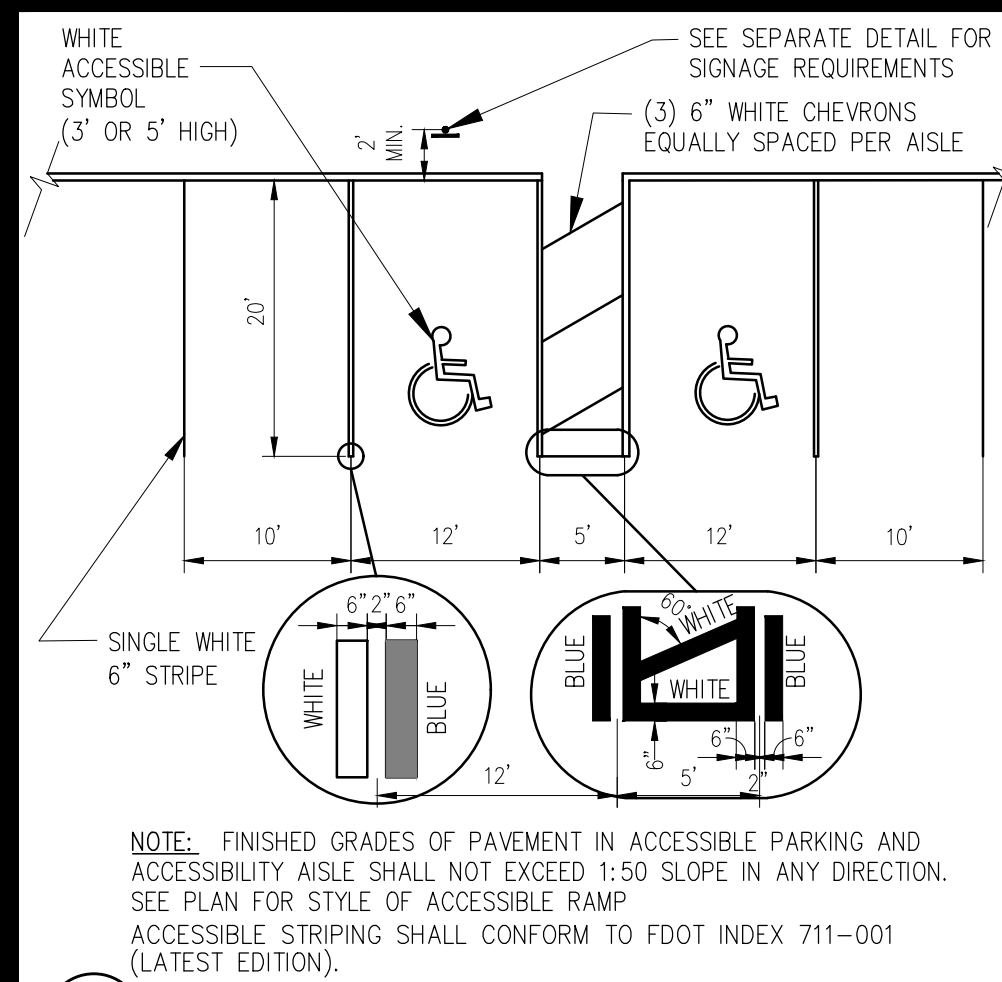
ENGINEER'S CERTIFICATION:

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

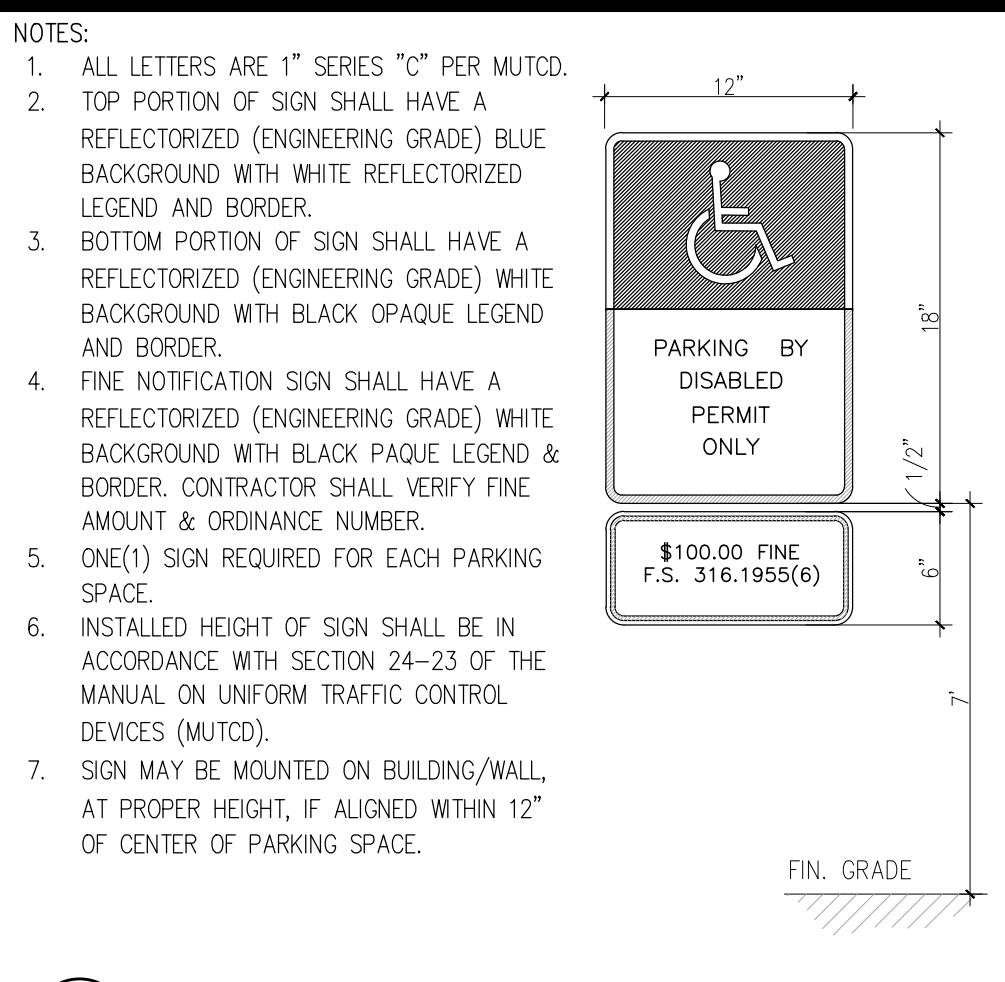
SARAH CULOTTA, P.E. #87413 Date

OWNER/AGENT CERTIFICATIONS:

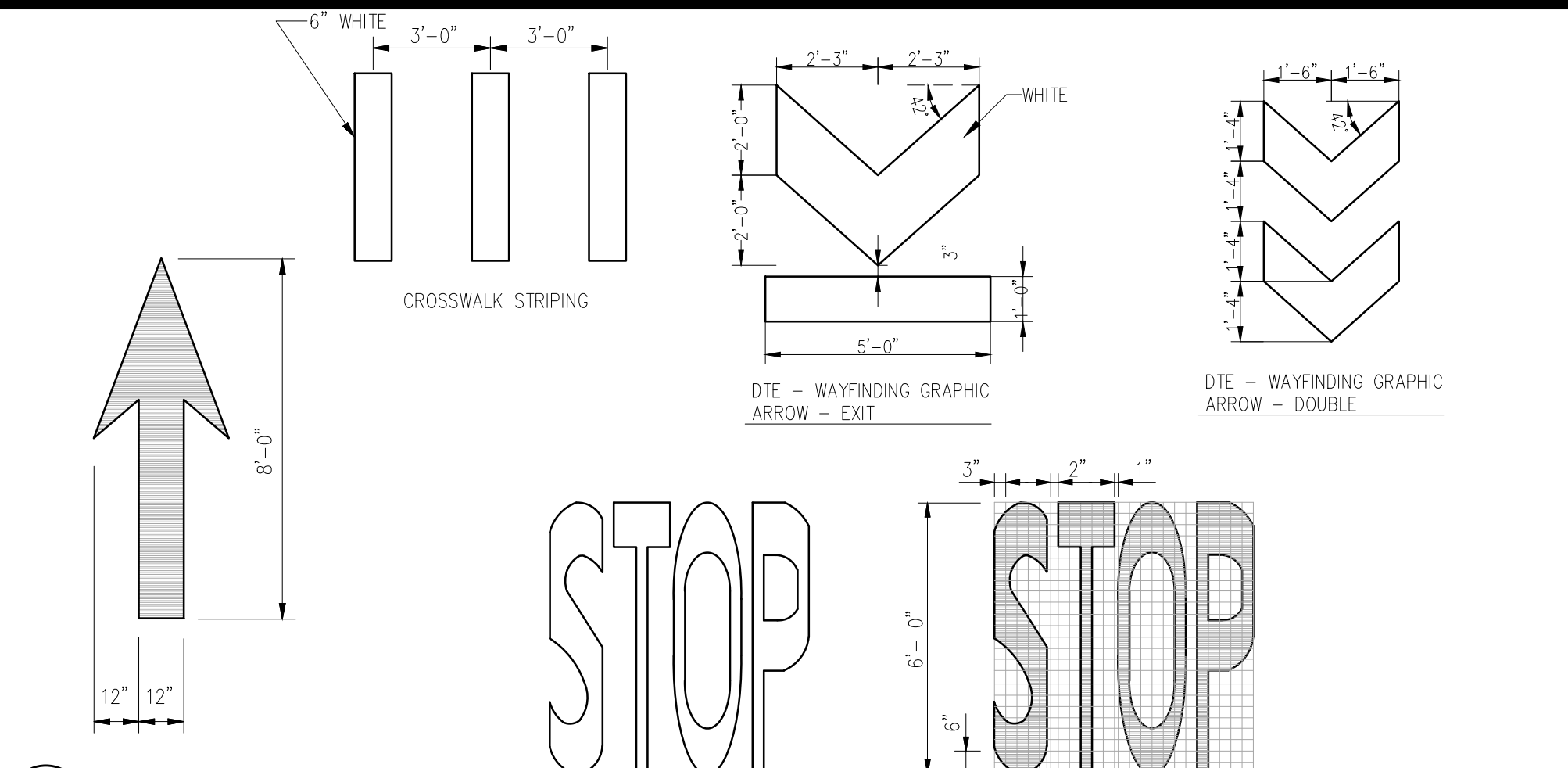
OWNER/AUTHORIZED REPRESENTATIVE _____ Date _____



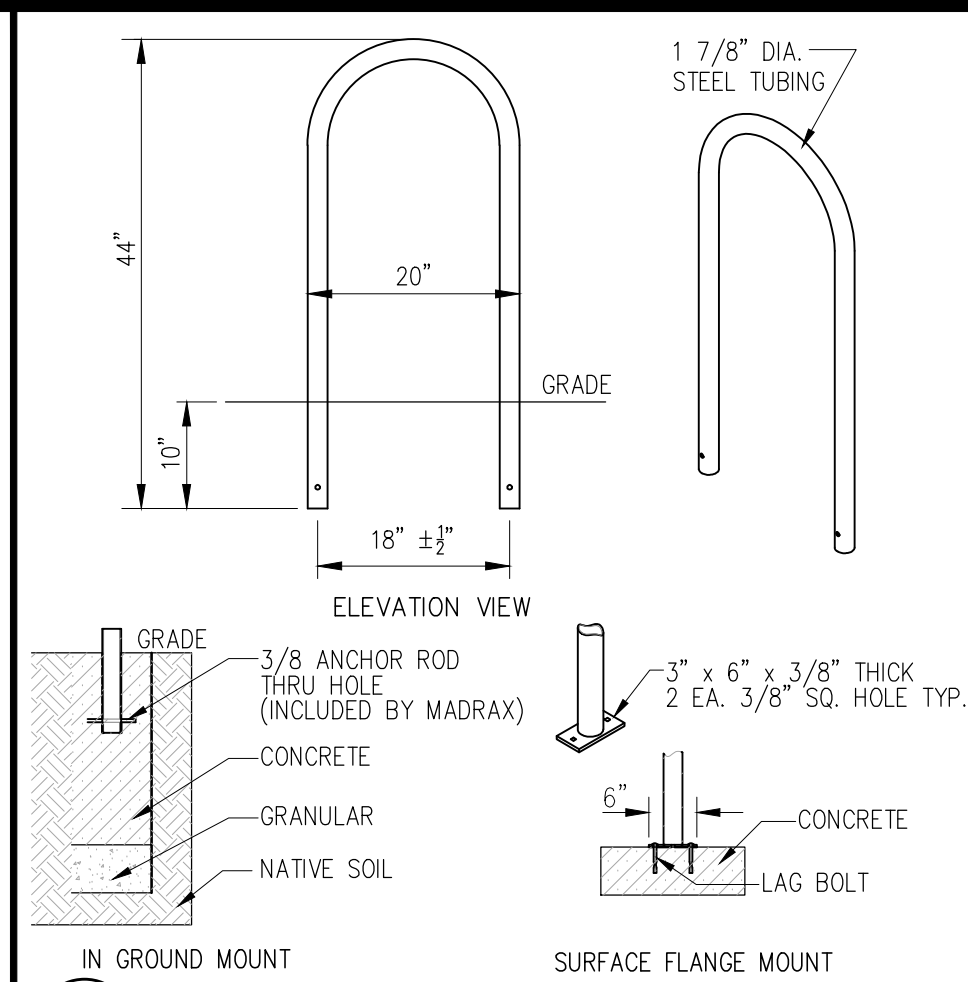
1 ACCESSIBLE STRIPING NTS



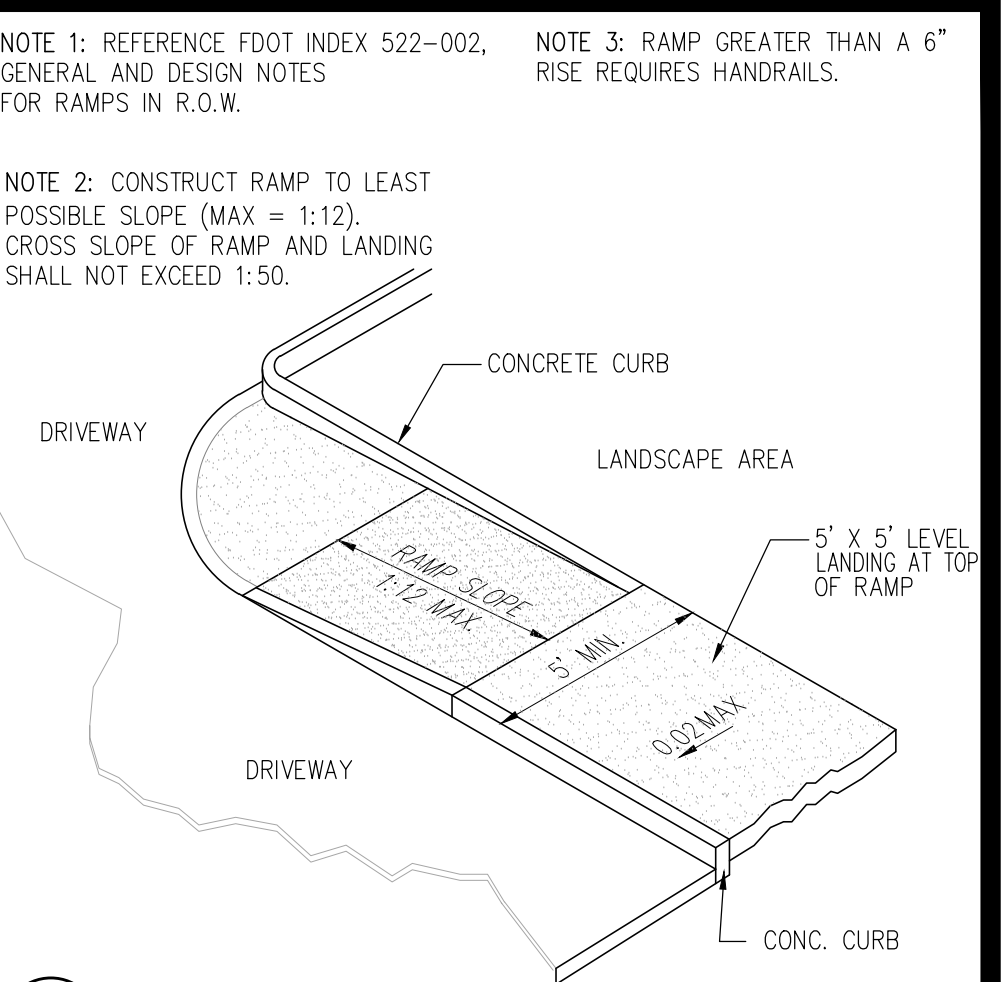
2 ACCESSIBLE PARKING SIGN NTS



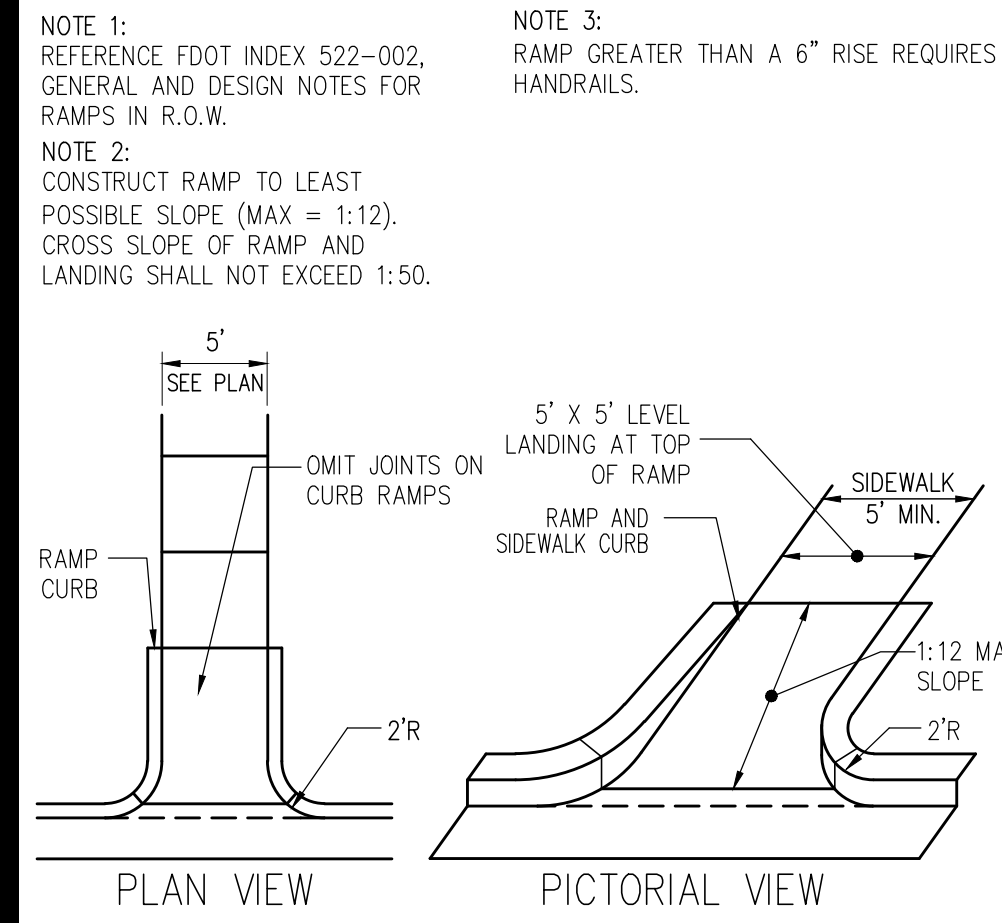
NTS



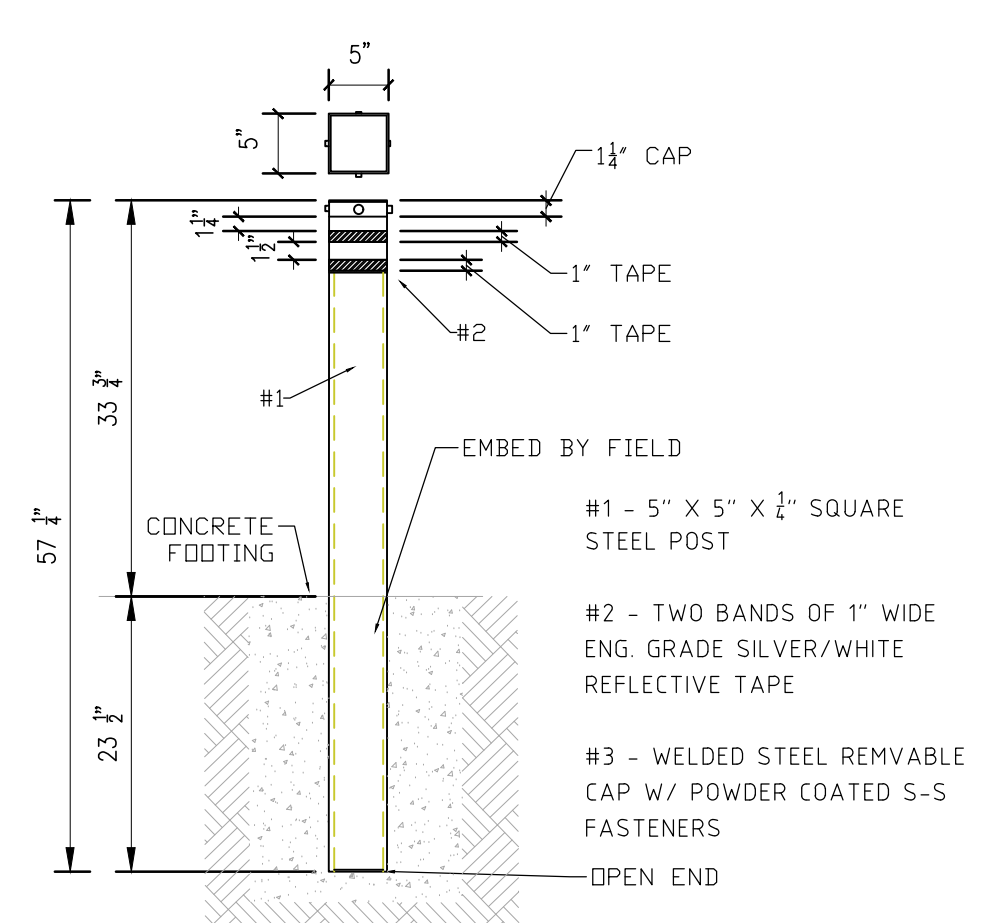
4 BICYCLE RACK NTS



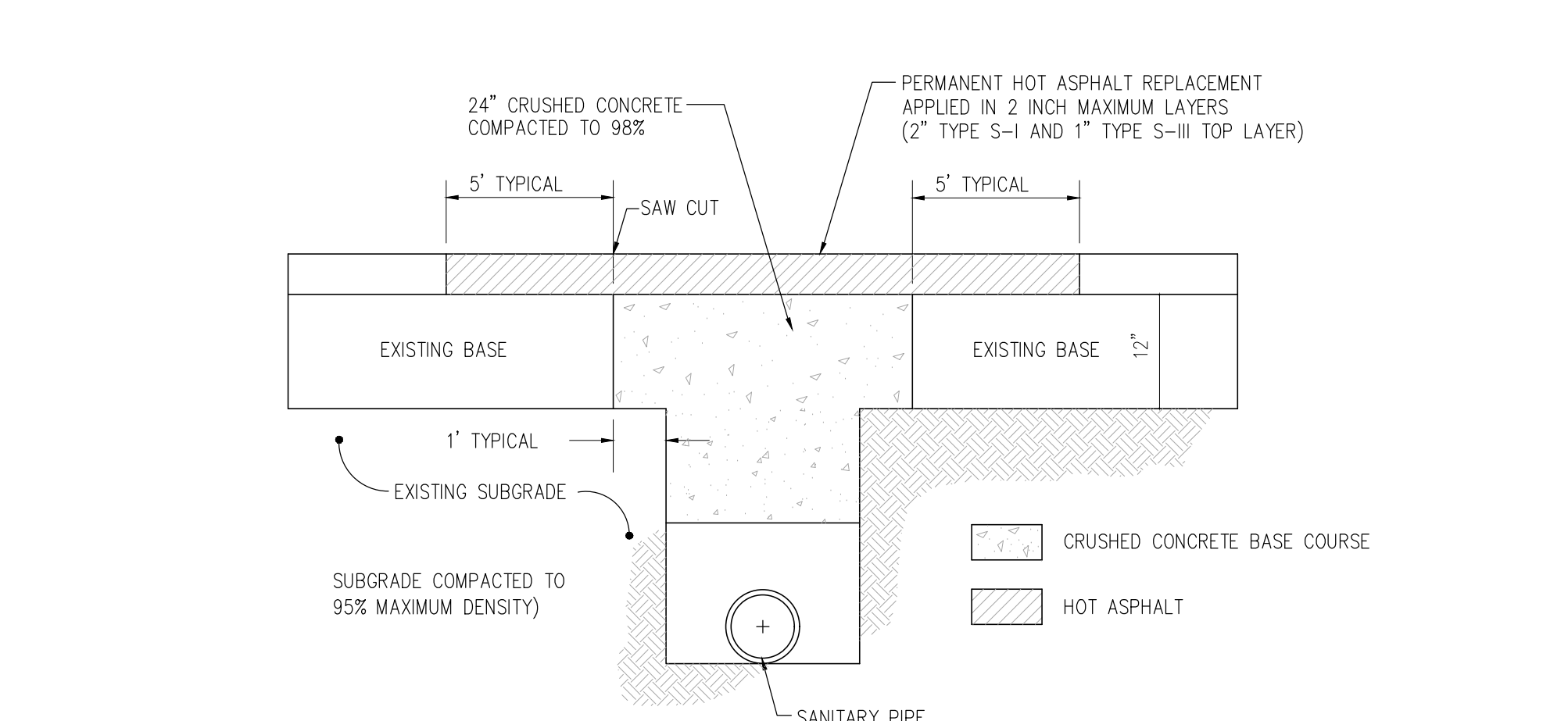
5 DRIVEWAY CORNER RAMP NTS



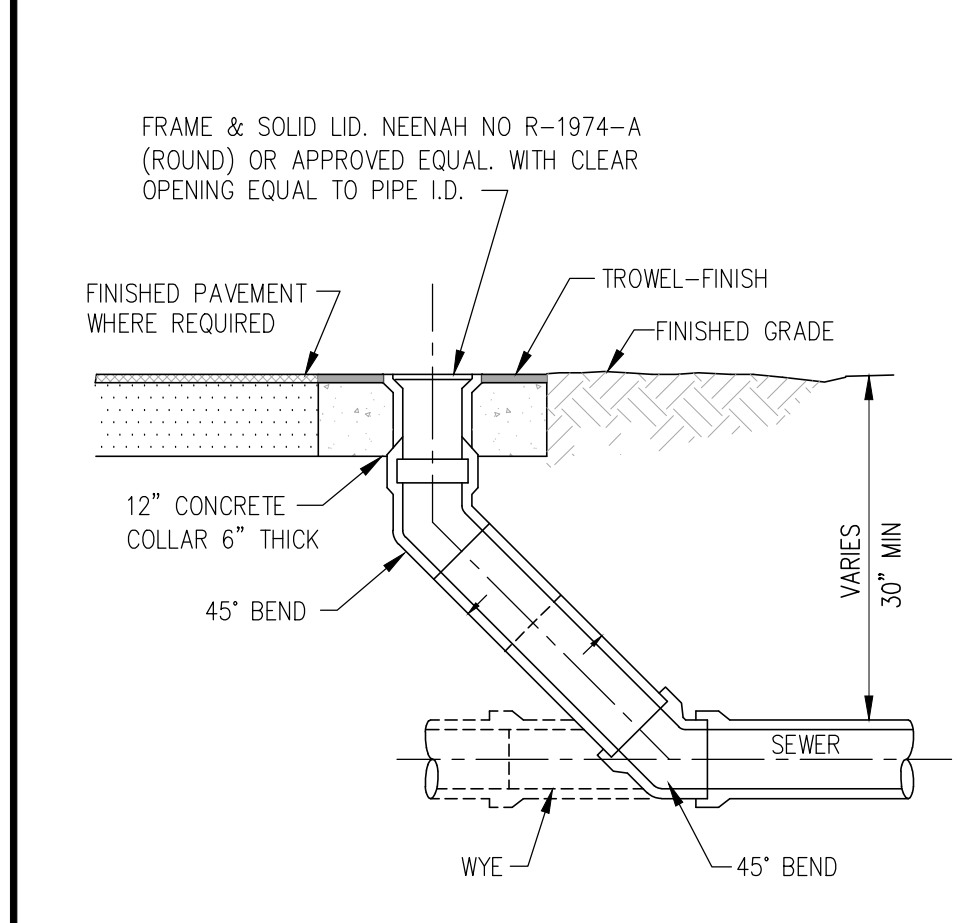
6 ACCESSIBLE END RAMP NTS



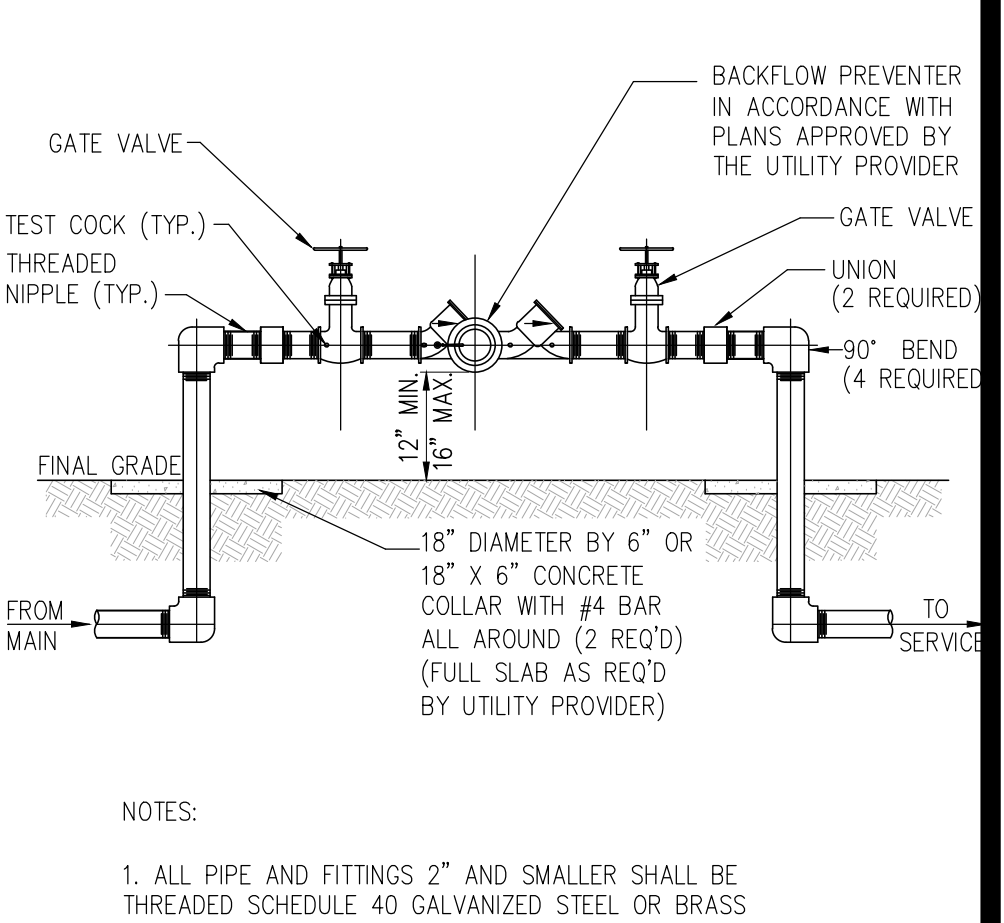
7 NON-ILLUMINATED BOLLARD NTS



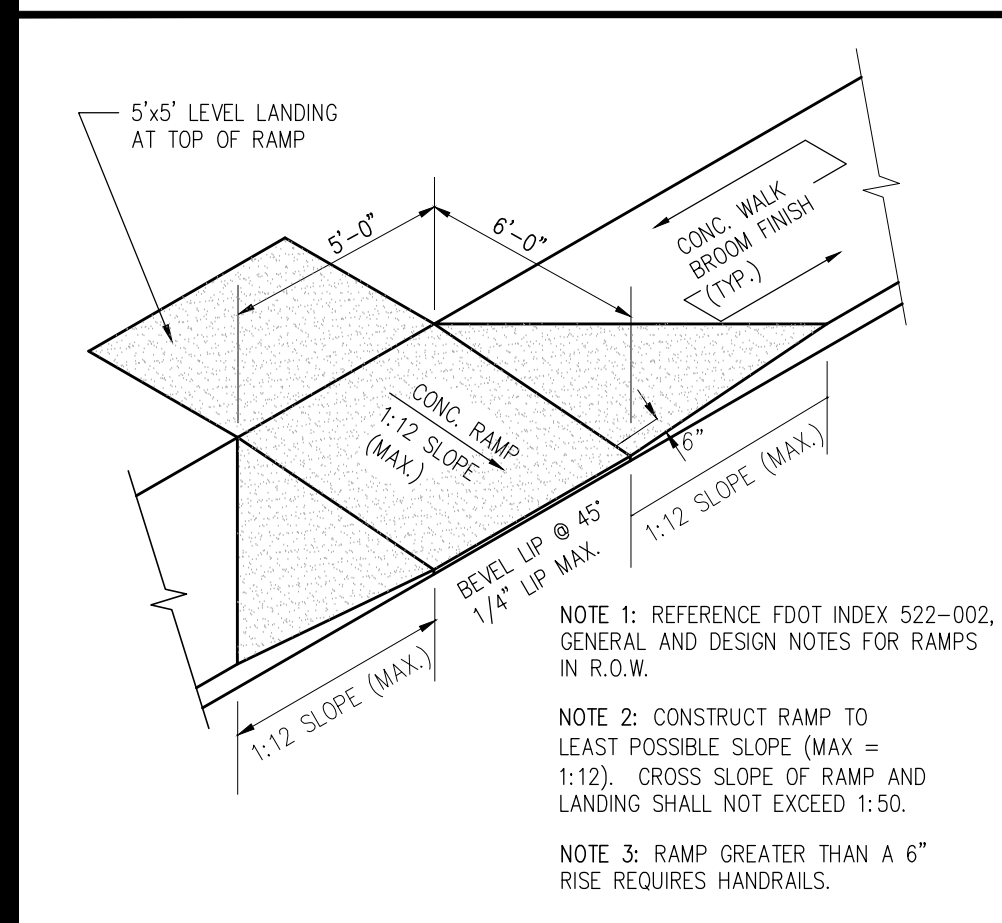
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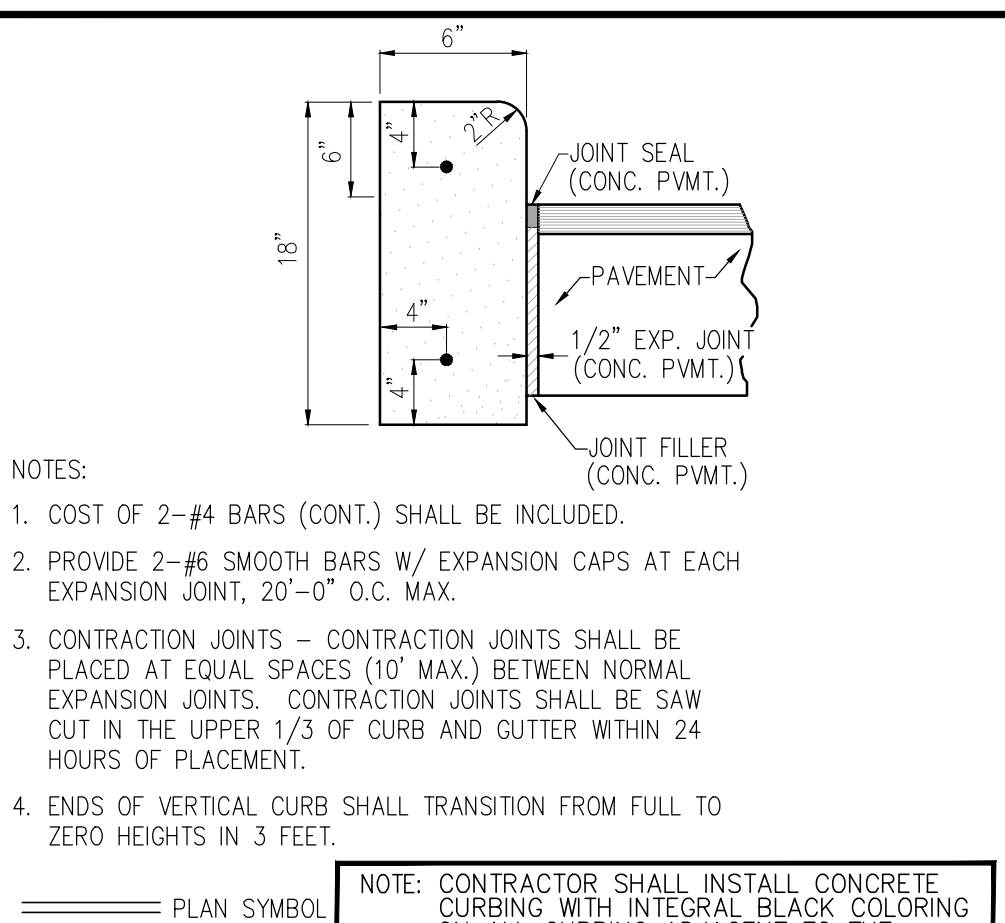
9 CLEANOUT NTS



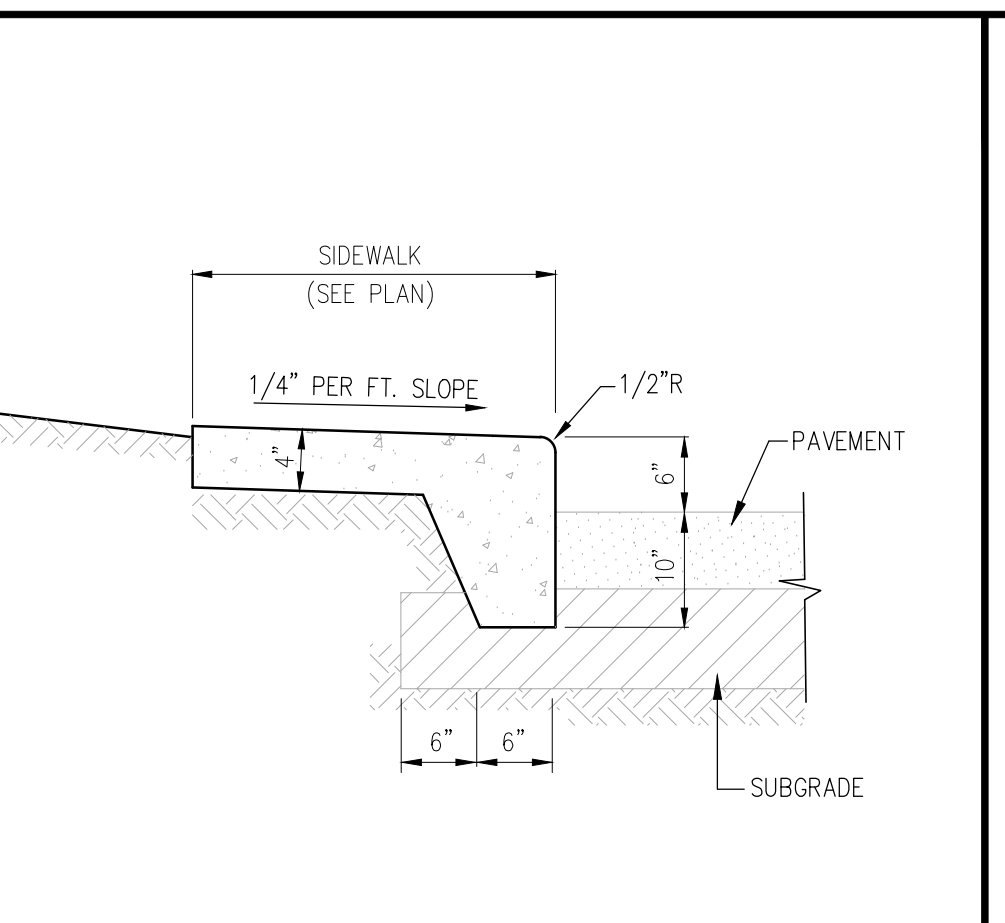
10 REDUCED PRESSURE BACKFLOW PREVENTER NTS



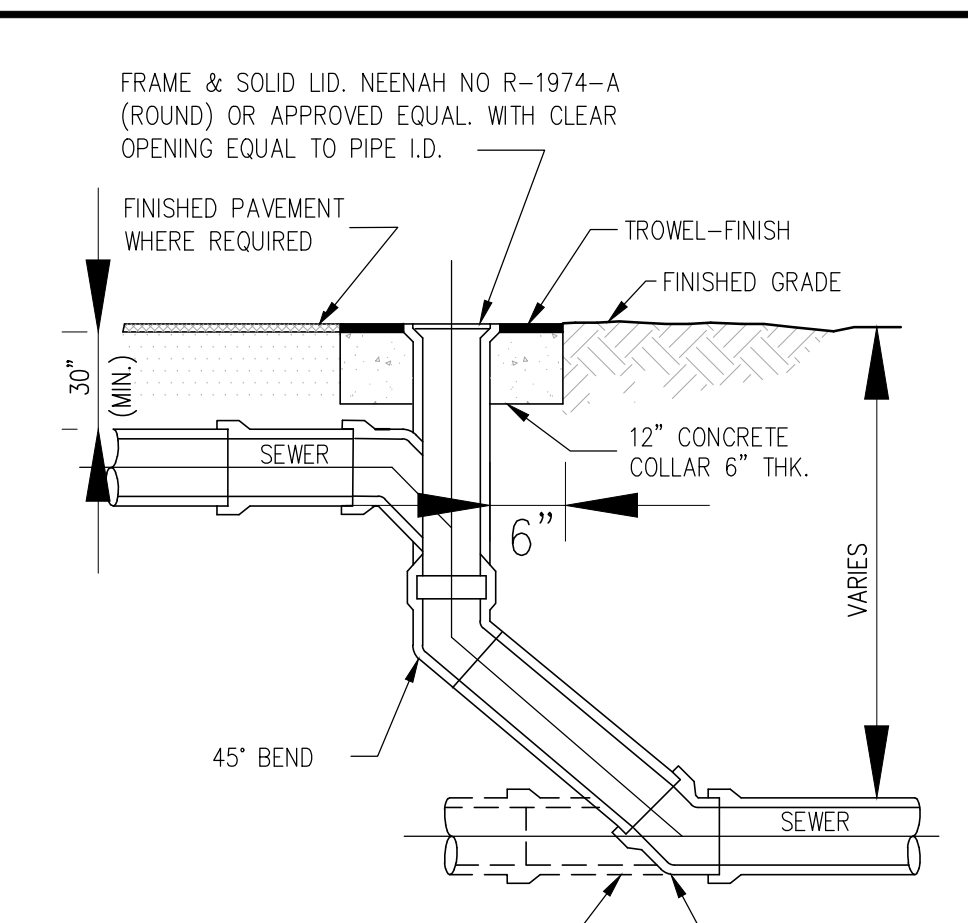
11 FLARED ACCESSIBLE RAMP NTS



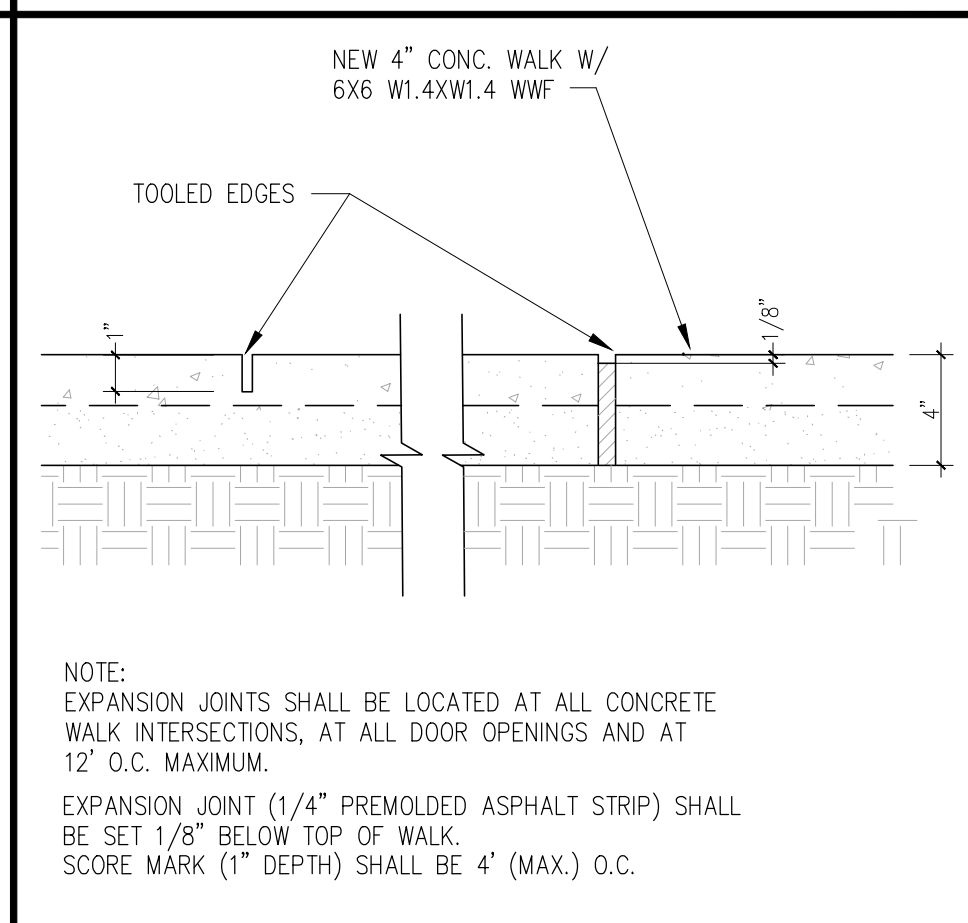
12 6\"/>



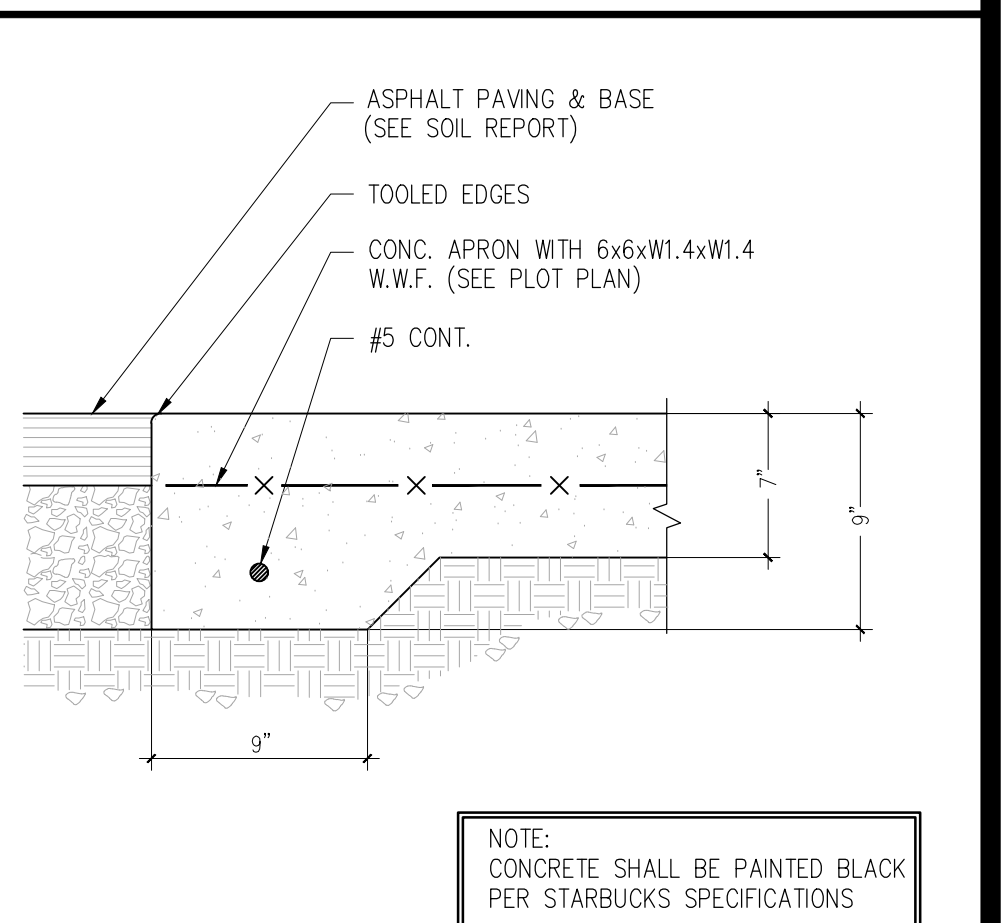
13 MONOLITHIC CURB & SIDEWALK NTS



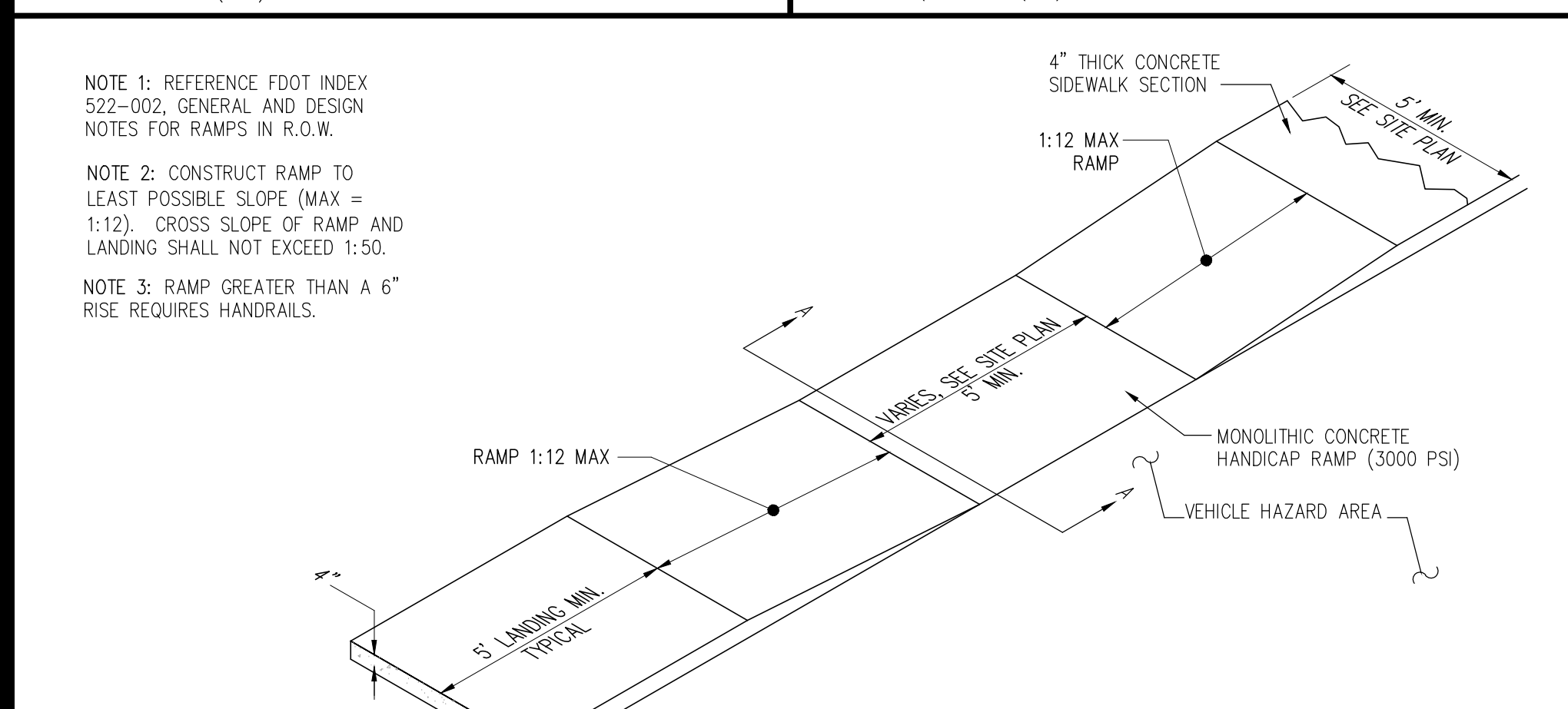
14 DROP CLEANOUT NTS



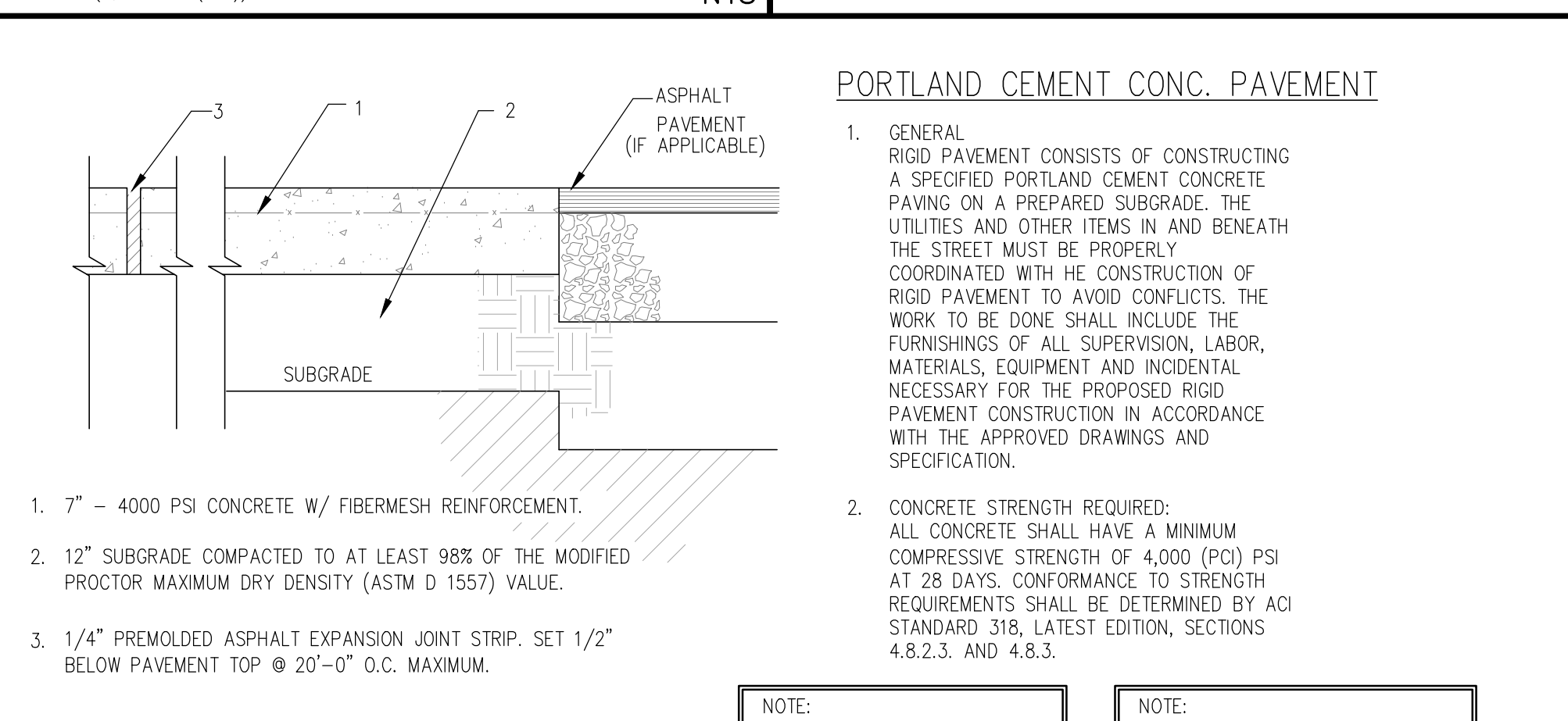
15 CONCRETE WALK NTS



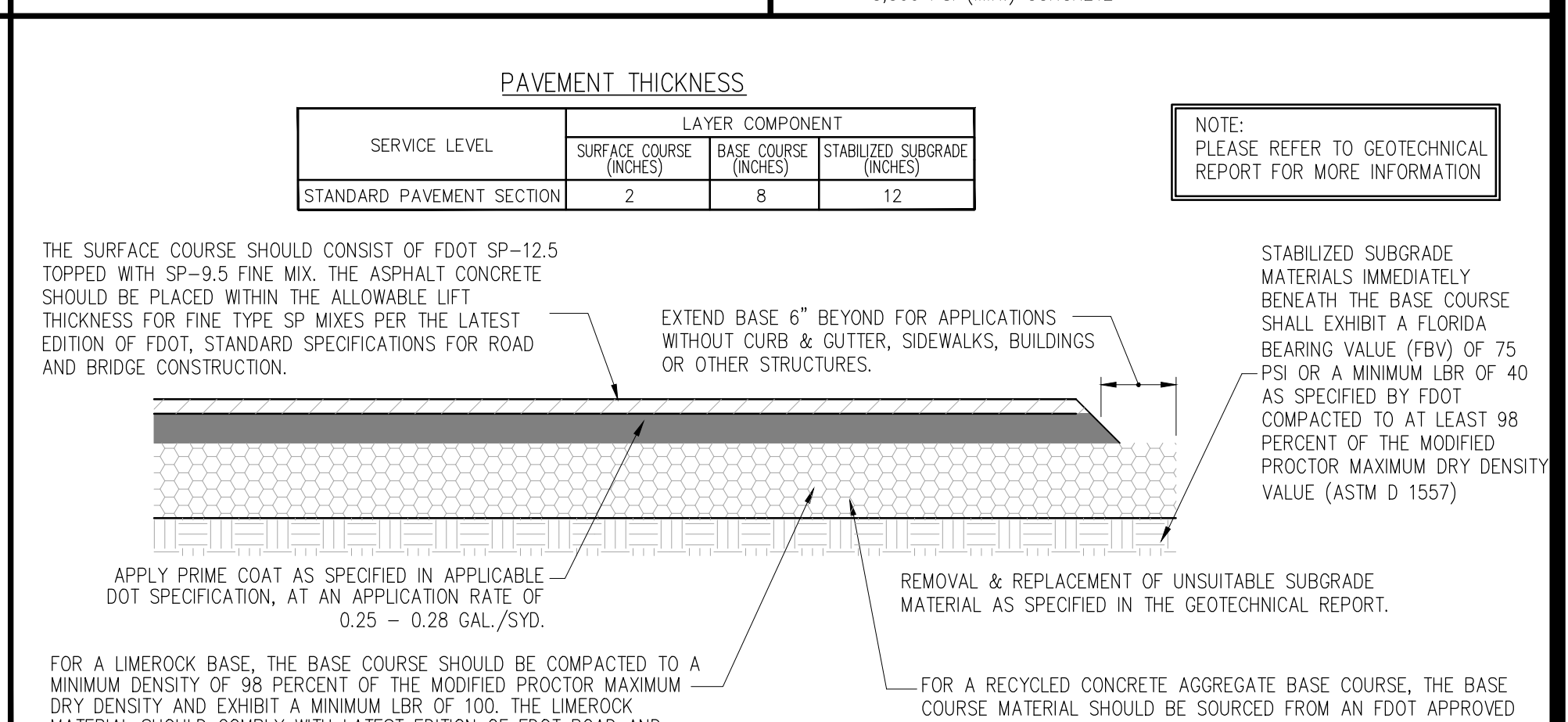
16 CONCRETE APRON NTS



17 SIDEWALK ACCESSIBLE RAMP NTS



18 CONCRETE PAVEMENT NTS

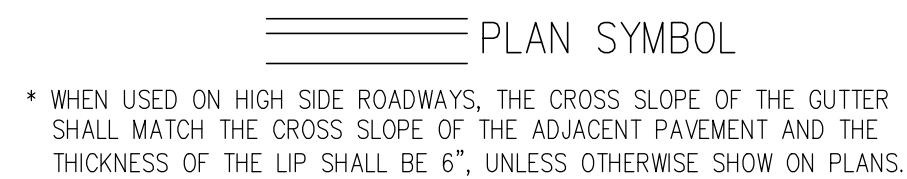


19 TYPICAL PAVEMENT SECTION NTS

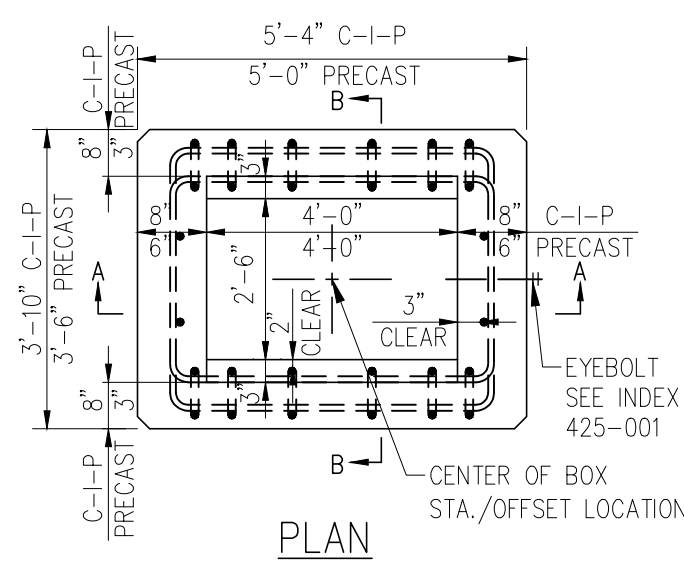
DATE					
REVISION	DATE	REVISION	DATE	REVISION	DATE



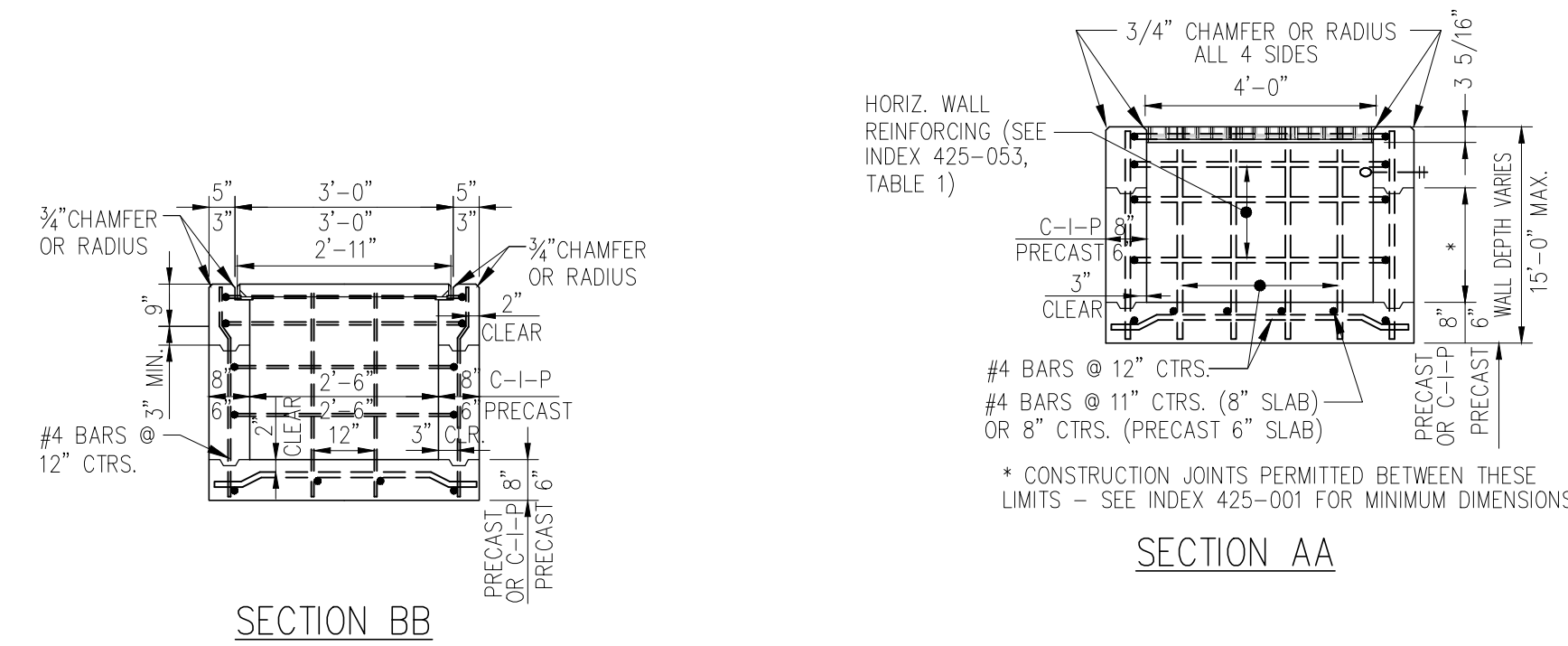
1. CURB RAMP RUNNING SLOPES SHALL NOT BE STEEPER THAN 1:12 AND CROSS SLOPE SHALL BE 0.02 OR FLATTER.
2. DETECTABLE WARNING SURFACES SHALL BE CONSTRUCTED BY TEXTURING OR APPLYING A TRUNCATED DOME MATERIAL IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT STANDARD FOR TRANSPORTATION FACILITIES, SECTION 705. TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS.
3. WHERE A CURB RAMP IS CONSTRUCTED WITHIN AN EXISTING CURB, CURB AND GUTTER AND/OR SIDEWALK, THE EXISTING CURB OR CURB AND GUTTER SHALL BE REMOVED TO THE NEAREST JUNT BEYOND THE CURB TRANSITIONS OR TO THE EXTENT THAT NO REMAINING SECTION OF CURB OR CURB AND GUTTER IS LESS THAN 5' LONG. THE EXISTING SIDEWALK SHALL BE REMOVED TO THE NEAREST JUNT BEYOND THE TRANSITION SLOPE WALK AROUND OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 5'.
4. WHERE ADJACENT WALKING SURFACES ARE COLORED OR ARE CONSTRUCTED WITH MATERIALS OTHER THAN STANDARD CLASS I PORTLAND CEMENT CONCRETE IN ACCORDANCE WITH SECTION 522 OF THE SPECIFICATIONS, THE PLAN MUST PROVIDE FOR DETECTABLE WALKING SURFACE COLORS OR MATERIALS THAT PROVIDE THE NECESSARY CONTRAST, EITHER DARK-ON-LIGHT OR LIGHT-ON-DARK. (SAY YELLOW OR BRICK RED).
5. RECOMMENDED MANUFACTURER:
ENGINEERED PLASTICS, INC. (ARMOR TILE) OLYMPIC TOWERS
300 PEARL STREET
SUITE 200
BUFFALO, NY 14202
PHONE: (800) 682-2525



② TYPE "F" CURB & GUTTER
(REF. FDOT INDEX 520-001, 1 OF 2)



③ TYPE "F" INLET



FOR REBAR LAYOUT REFER TO FDOT INDEX 425-053,
SHEET 1, TABLE 1. FOR GENERAL NOTES AND GRATE
INFORMATION REFERENCE FDOT INDEX 425-053.

INLET CAPACITY= 6.8 CFS (6" HEAD)

RECOMMENDED MAXIMUM PIPE SIZE:
2'-6" WALL = 18" PIPE
4'-0" WALL = 30" PIPE

FOR USE WITH HEAVY WHEEL LOADS



⑥ ACCESSIBLE SIDEWALK RAMP
3000 PSI (MIN.) CONCRETE

PICTORIAL VIEW

(a) In order to prevent destruction of or damage to trees, trees not designated for removal may be required by the terms of the permit to be protected by barrier zones. Protective barriers shall be erected prior to any land clearing or construction of any structures, roads, utility service, or other improvements and may be required by the terms of the permit to comply with the following:

- (1) Protective posts (two (2) inches by four (4) inches or larger wooden post, two (2) inches outer diameter or larger galvanized pipe, or other post material of equivalent size and strength-rebar shall not be used as a protective post) shall be implanted deep enough in the ground to be stable and with at least three (3) feet of the post visible above the ground;
- (2) Protective posts shall be placed at points not closer than the drip line of the protected tree, with the posts being not further than six (6) feet apart, except that pedestrian access may be allowed within this distance under the following conditions:
- (3) All protective posts shall be linked together (fencing at least three (3) feet high, two (2) courses of rope not less than one-half (1/2) inch in diameter or a chain of comparable size, or other material of equivalent visibility), and each section shall be clearly visible (flagged with yellow plastic tapes or other brightly colored weatherproof marker);
- (4) All existing trees to remain and replacement stock shall have the natural soil level maintained from the trunk to the drip line of each tree. Permanent tree wells, retaining walls or planter islands shall be provided, when found to be necessary by the Planning and Development Director, or his or her designee, to maintain the existing natural soil levels. Insofar as practicable to maintain a reasonable beneficial use of the property, natural drainage to such trees shall be maintained. No grade changes shall be made within the protective barrier zones, without Prior approval by the Planning and Development Director, or his or her designee;

(b) Protective barrier zones shall remain in place until the trees to be protected have been removed or until the clearing or construction is complete, whichever occurs first;

- (6) Landscape preparation in the protected area shall be limited to shallow diskings of the area, however, no diskings shall occur within five (5) feet of the trunk or above ground roots.

(b) No building materials, machinery or temporary soil deposits shall be placed within protective barrier zones defined in subsection (a) above;

(b) No attachments or wires other than those of a protective or non-damaging nature shall be attached to any tree;

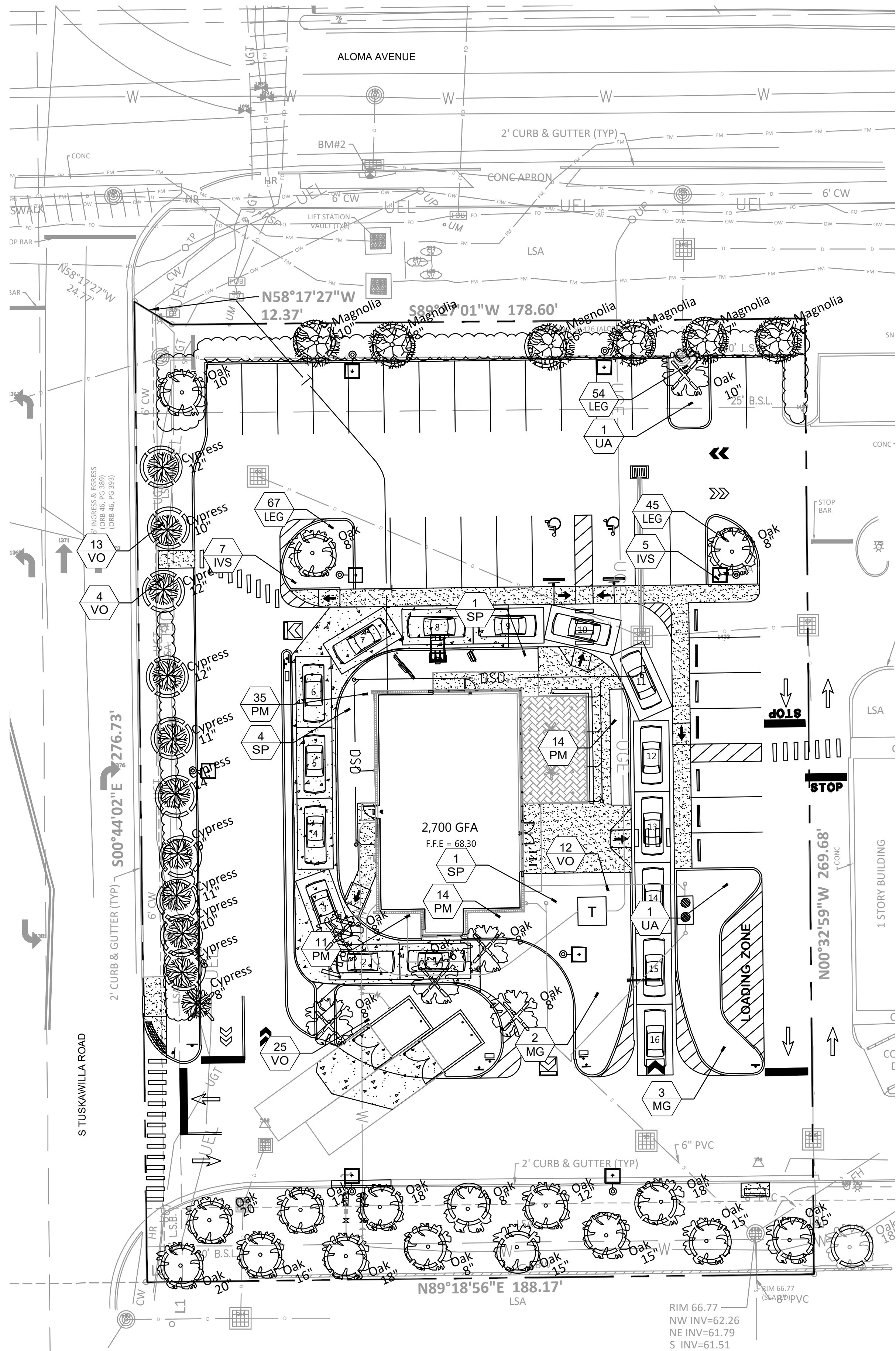
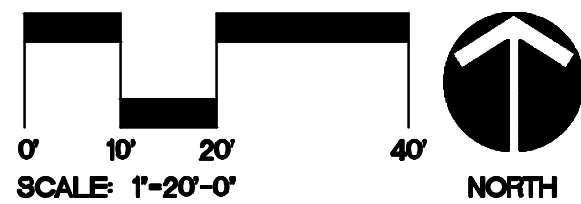
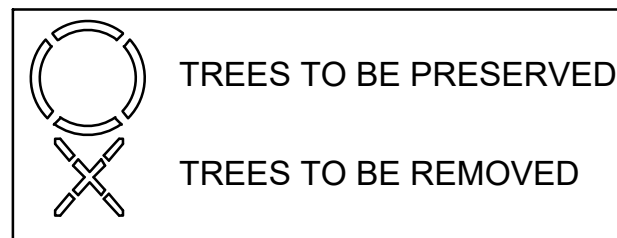
(d) Trenching of any type should be avoided in the protective barrier zone. Where underground installations are conducted adjacent to the trunks of trees to be preserved, tunneling should be utilized to the maximum practicable extent. When trenching or tunneling occurs near trees to be protected, protective measures should be taken in accordance with the Tree Protection Manual for Builders and Developers published by the Florida Department of Agriculture and Consumer Services which is adopted herein by this reference thereto;

(e) The Planning and Development Director, or his or her designee, shall inspect the project periodically during the construction phase of the project before work begins and during clearing, construction and post-construction phases of development in order to insure compliance with this Code and the intent of this chapter. Trees that are destroyed or which are subject to major damage, as determined by the Planning and Development Director, or his or her designee, shall be replaced in accordance with the requirements of this ordinance before occupancy unless removal has been permitted by the County.

TREE REMOVAL / REPLACEMENT TABLE							
DBH class	Total trees on site	Trees to be removed	Replacement ratio (minimum number 2" caliper trees)	Replacement trees required	Replacement inches required	Replacement trees provided (2", 4", 5")	Replacement inches provided
3-11"	24	7	2	14	28	28 (2")	56 (28 - 2" tree)
12-23"	16	0	4	0	0	0	0
24"+	0	0	5	0	0	0	0
Total	40	40		14	28	54	147 (41" shortfall)

Existing Trees to Remain		
Count	SIZE	TYPE
1	14"	Cypress
1	9"	Cypress
1	8"	Cypress
3	12"	Cypress
2	10"	Cypress
2	11"	Cypress
2	6"	Magnolia
2	7"	Magnolia
1	10"	Magnolia
1	8"	Magnolia
4	8"	Oak
4	15"	Oak
1	10"	Oak
3	18"	Oak
2	20"	Oak
1	16"	Oak
2	12"	Oak
33		

Existing Trees to Remove		
Count	SIZE	TYPE
1	8"	Cypress
1	10"	Oak
1	6"	Oak
4	8"	Oak
7		



48 HOURS BEFORE YOU DIG
CALL SUNSHINE
 1-800-432-4770 or 811
IT'S THE LAW IN FLORIDA
 FLORIDA LAW REQUIRES
 EXCAVATORS TO NOTIFY
 OWNERS OF UNDERGROUND
 FACILITIES NO LESS THAN TWO
 (2) DAYS PRIOR TO EXCAVATION



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Florida Landscape Architecture Firm
432 Nowell Loop
Deland, FL 32724
Office: 407 310-5567
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jasonbridgewater@gmail.com

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CADDSCAPES, INC.

Florida Landscape Architecture Firm
Landscape Architect:
432 Nowell Loop Jason Bridgewater, RLA
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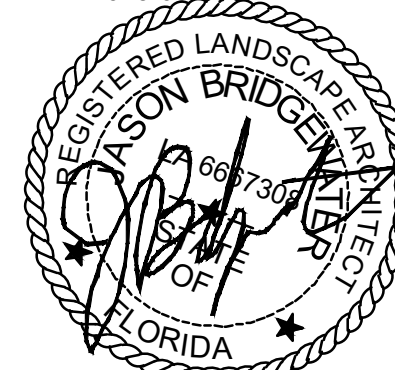
STARBUCKS RESTAURANT
3645 ALOMA AVE
OVIDO
FLORIDA 32765

DATE: 2023-05-15
DRAWN: JB
CHECKED: JB

L-1
TREE REMOVAL
PLAN
PROJECT NO.: 2023.103

REVISION	DATE	REVISION	DATE
COUNTY COMMENTS	7/24/23		

DATE: 2023-08-13

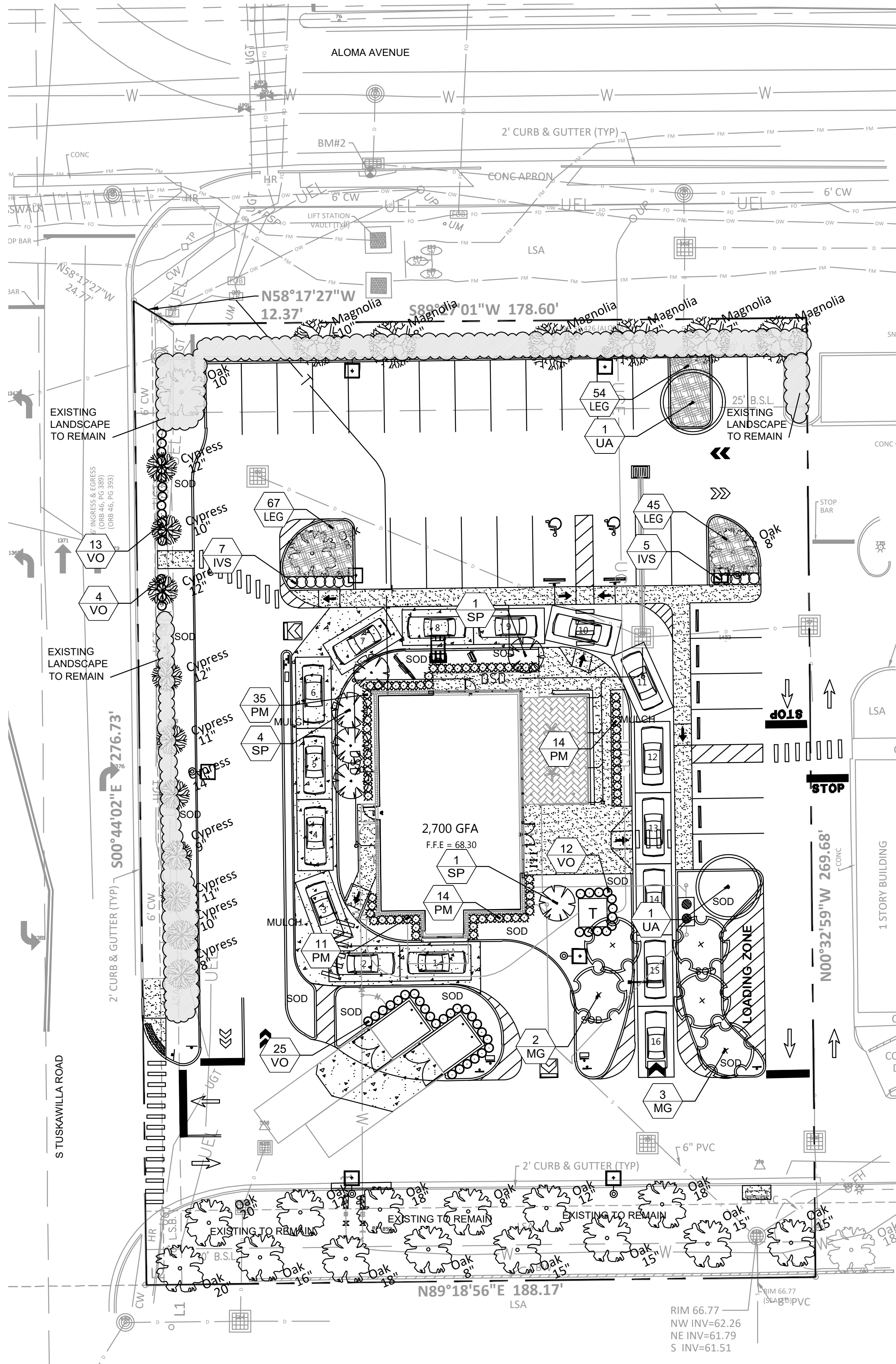
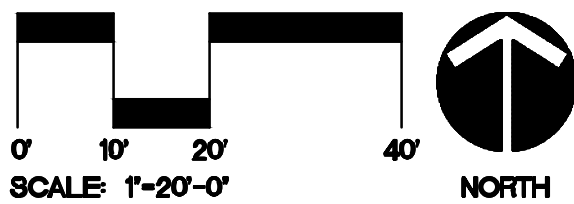


Jason P. Bridgewater
Registered Landscape Architect
FL. Registration -LA 6667308

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s e r v i c e s
CA 29354
708 E. COLONIAL DR., STE 100
MIAMI, FL 33133
PH: (407) 271-8910
FAX: (407) 442-0604

OPEN SPACE REQUIREMENT: PLAN PROVIDES FOR 26.4% OPEN SPACE WITH A BENCH LOCATED IN THE SOUTHEAST CORNER OF THE PROPERTY, IN SHADED AREA.

NOTE: ANY LANDSCAPING DISTURBED DURING CONSTRUCTION WILL BE SUPPLEMENTED TO PROVIDE WHAT WAS EXISTING PRIOR (4 CANOPY TREES PER 100' LINEAR FEET AND A 3' CONTINUOUS HEDGE).



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(2) DAYS PRIOR TO EXCAVATION

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jasonbridgewater@gmail.com
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3645 ALOMA AVE
OVIEDO
FLORIDA 32765

DATE: 2023-05-15
DRAWN: JB
CHECKED: JB

L-2
LANDSCAPE PLAN

PROJECT NO.: 2023.103

Z DEVELOPMENT
s e r v i c e s
CA 29354
708 E. COLONIAL DR., STE 100
ORLANDO, FL 32803
PH: (407) 271-8910
FAX: (407) 442-0604

REVISION	DATE	REVISION	DATE
COUNTY COMMENTS	7/24/23		

DATE: 2023-08-13
REGISTERED LANDSCAPE ARCHITECT
STATE OF FLORIDA
Jason P. Bridgewater
Registered Landscape Architect
FL Registration -LA 6667308



SHRUB AND GROUNDCOVER PLANTING DETAIL

MULTI-TRUNK TREE PLANTING DETAIL

LANDSCAPE PLANTING NOTES:

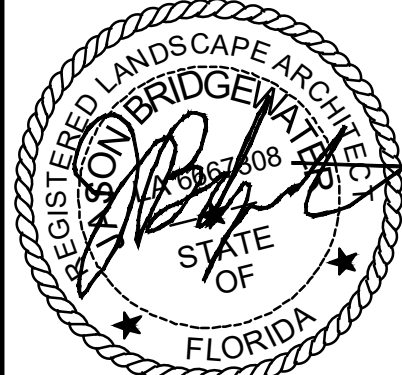
- LANDSCAPE CONTRACTOR NOTES:**

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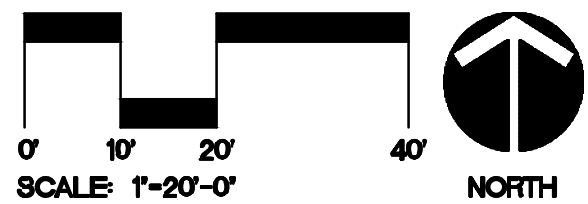
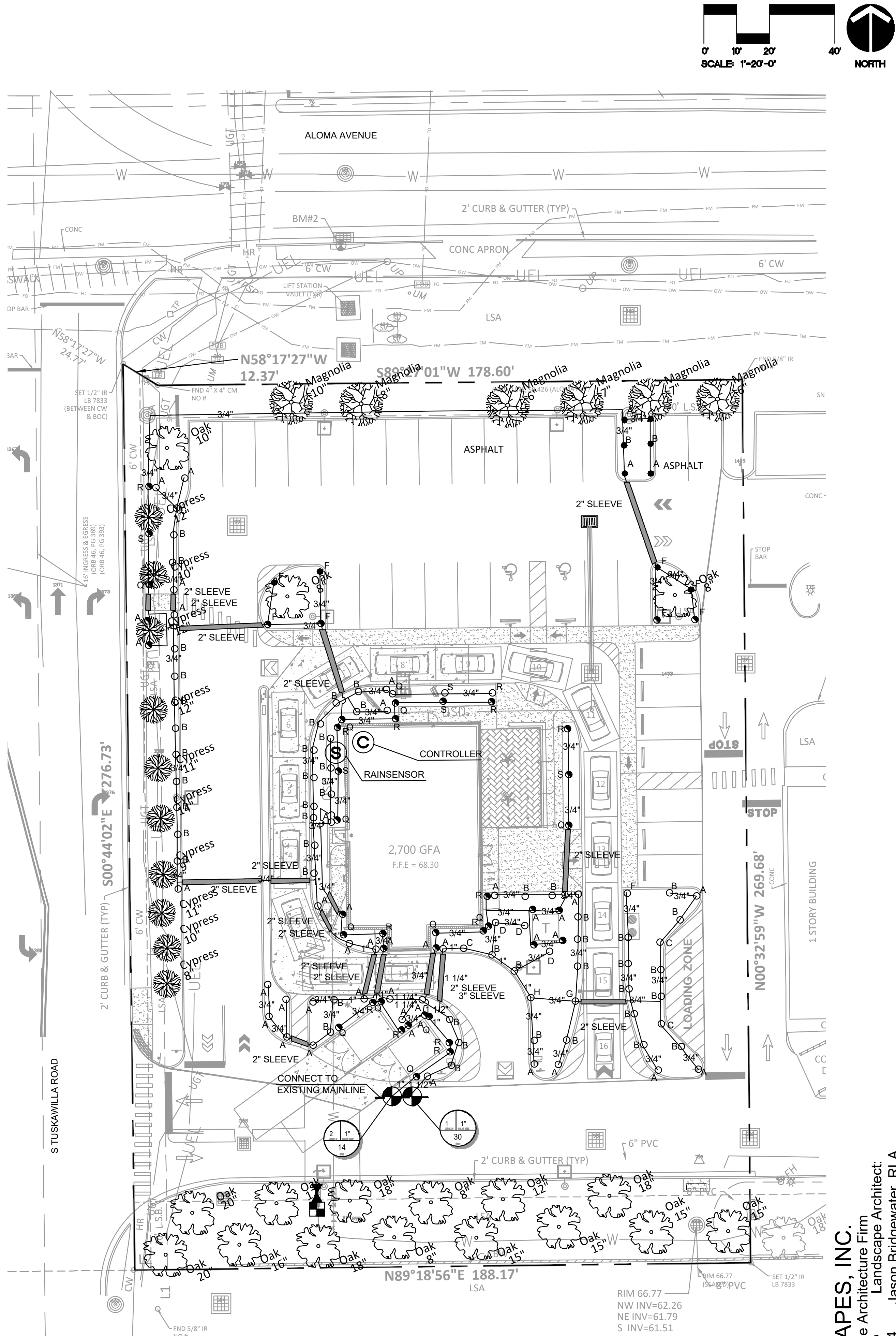
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DATE: 2023-08-13



Jason P. Bridgewater
Registered Landscape Architect
FL. Registration -LA 6667308

L-3
LANDSCAPE
DETAILS
PROJECT NO.: 2023.103



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CALL SUNSHINE
1-800-432-4770 or 811
IT'S THE LAW IN FLORIDA
FLORIDA LAW REQUIRES
EXCAVATORS TO NOTIFY
OWNERS OF UNDERGROUND
FACILITIES NO LESS THAN TWO
(2) DAYS PRIOR TO EXCAVATION

CADSCAPES, INC.
Florida Landscape Architecture Firm
432 Nowell Loop
Deland, FL 32724
Office: 407 310-5567
jasonbridgewater@gmail.com

REVISION	DATE	REVISION	DATE
COUNTY COMMENTS	7/24/23		

DATE: 2023-08-13

Jason Bridgewater
Registered Landscape Architect
FL Registration -LA 6667308

STARBUCKS RESTAURANT
3645 ALOMA AVE
OVIEDO
FLORIDA 32765

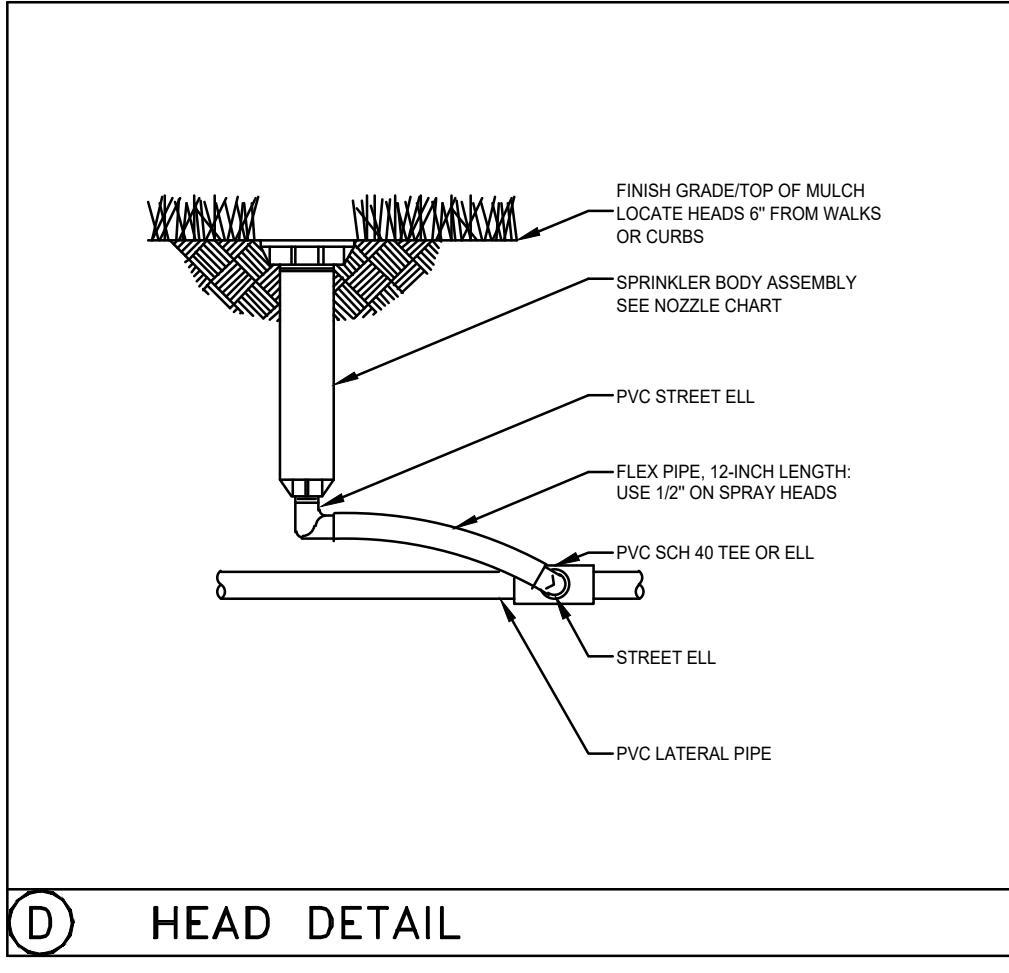
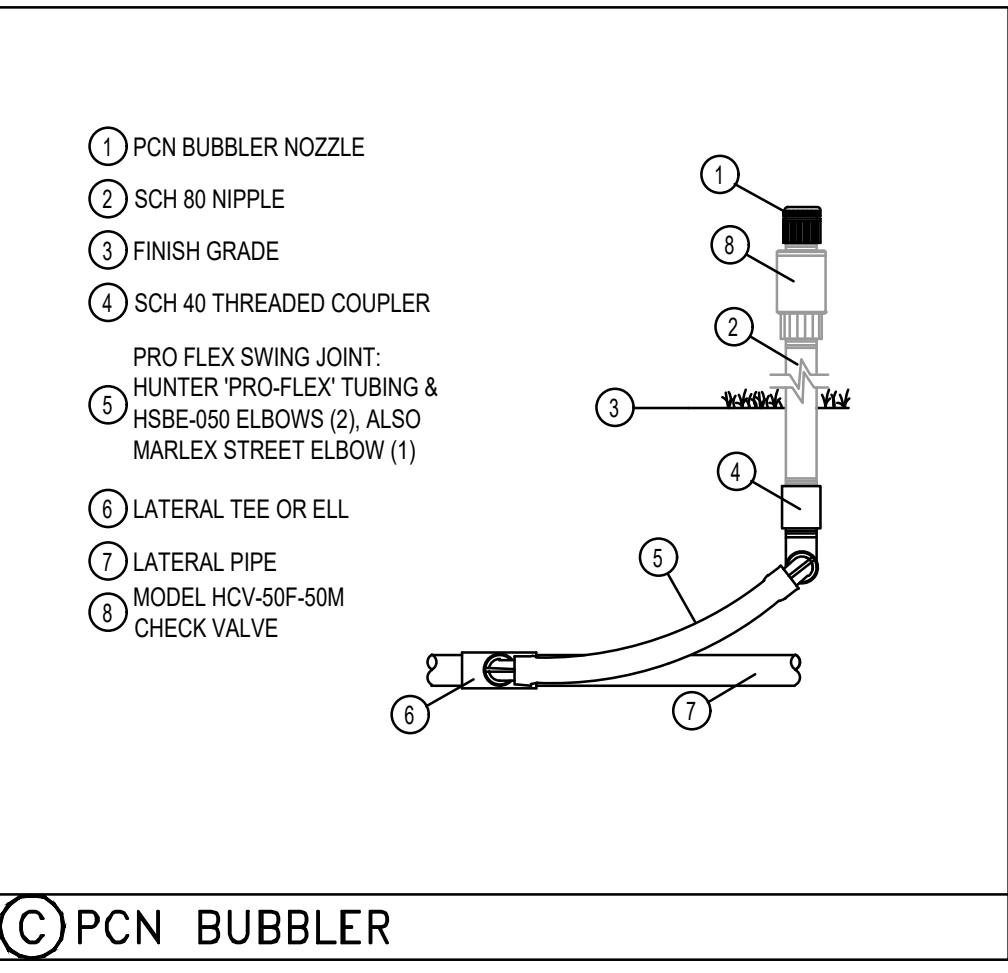
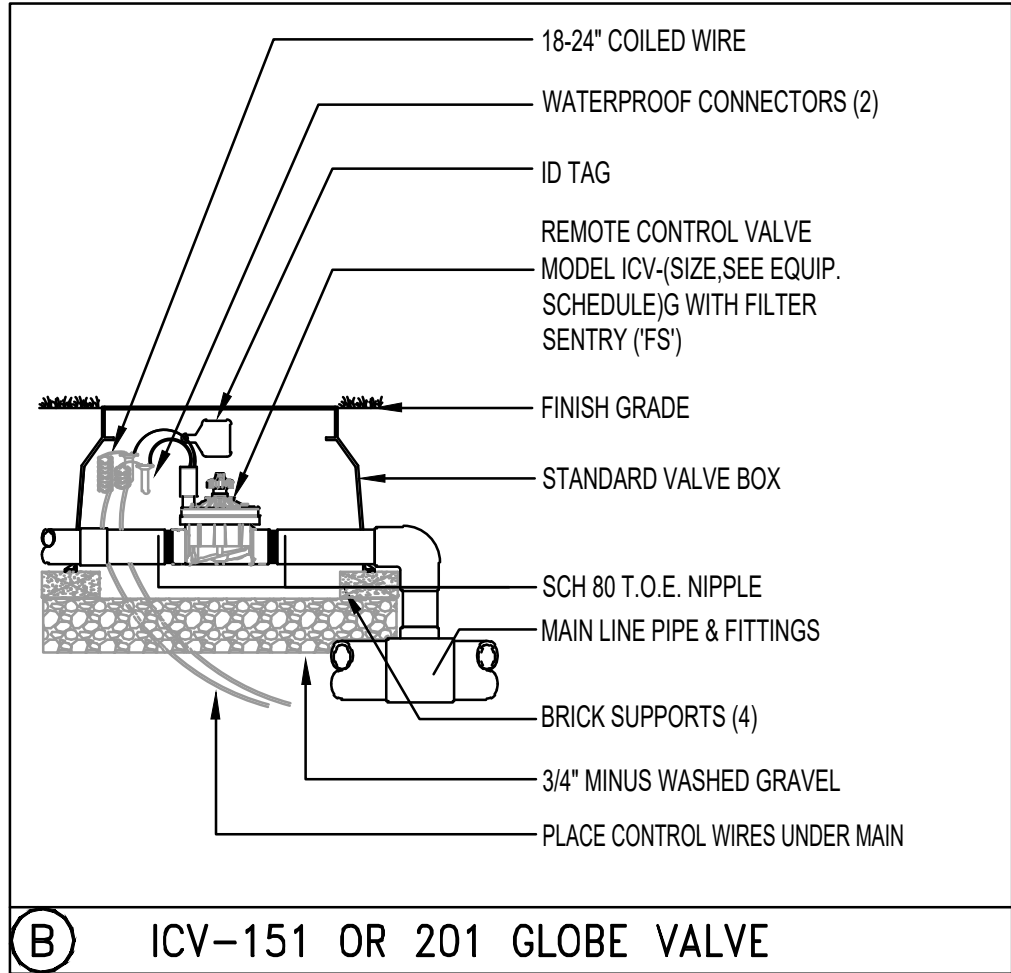
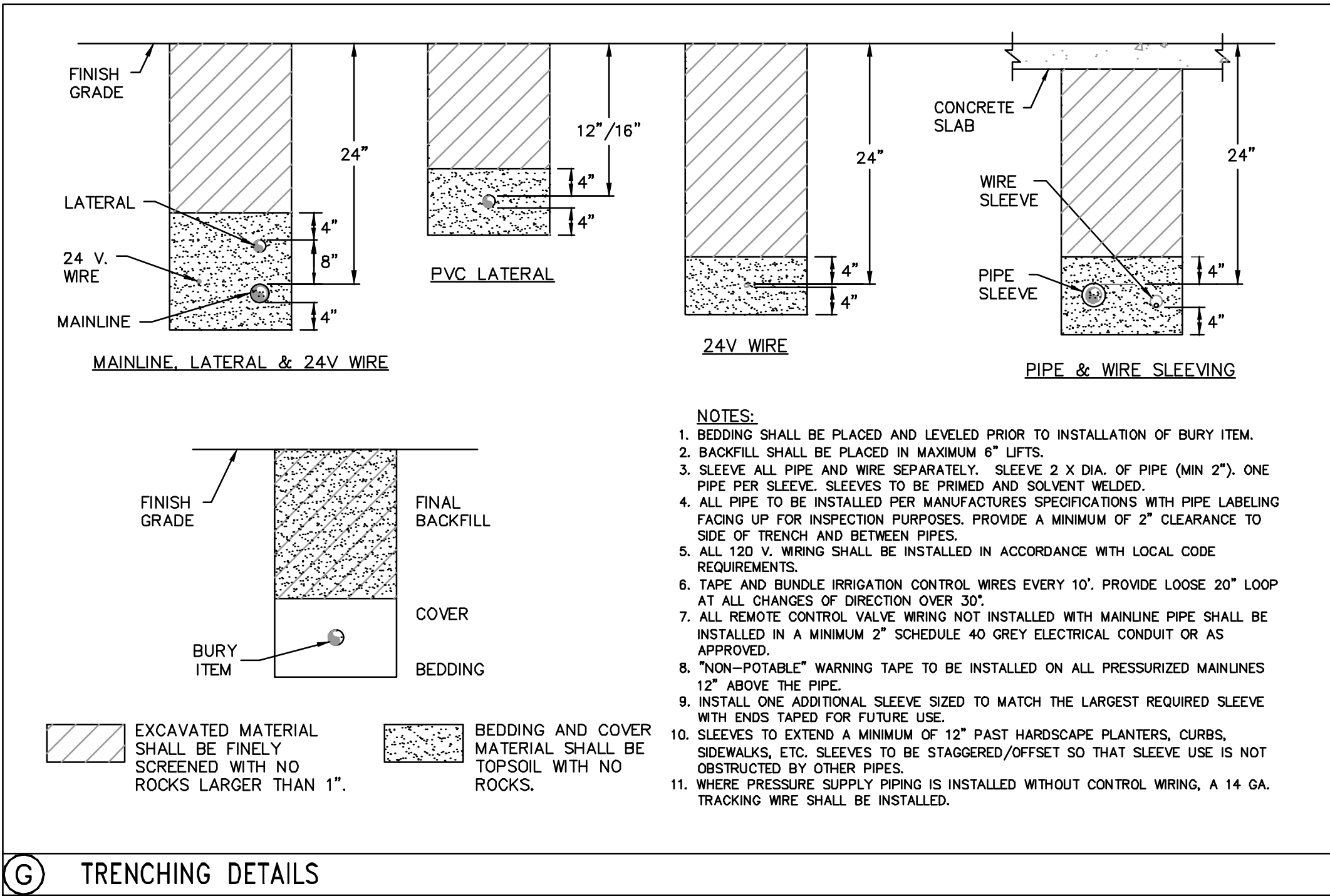
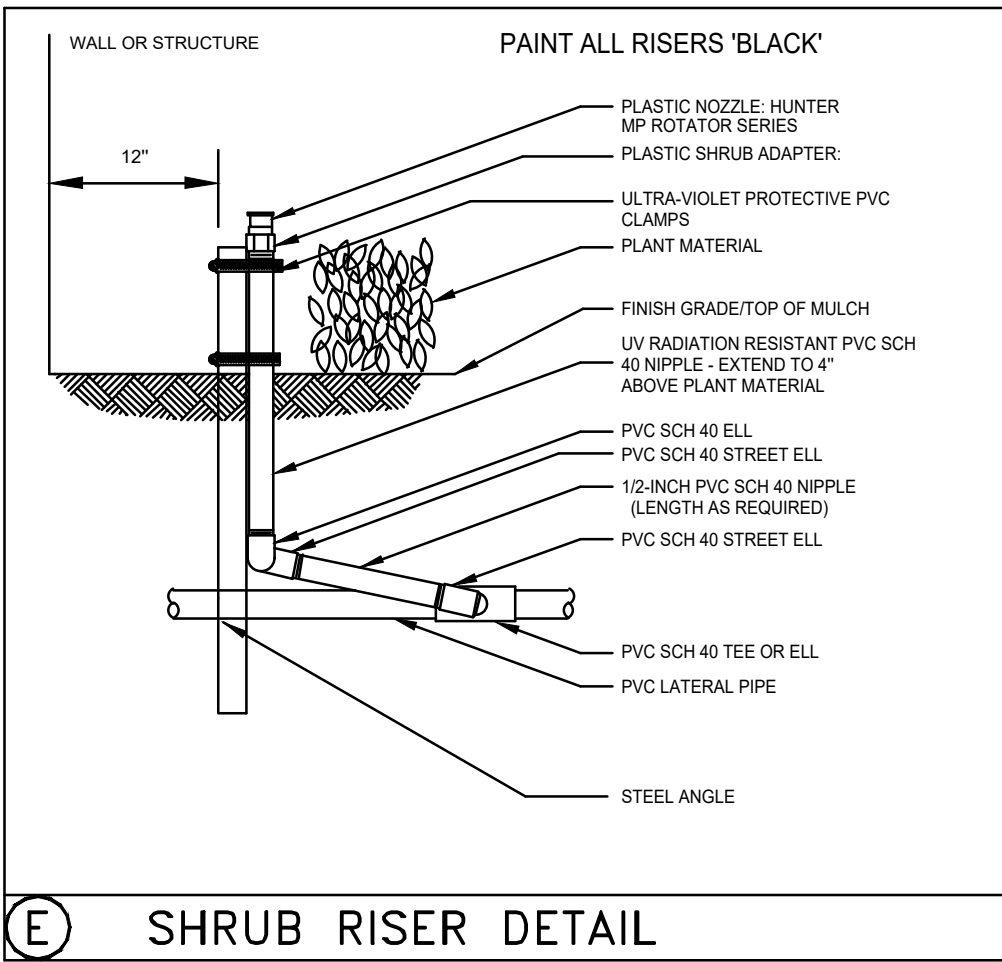
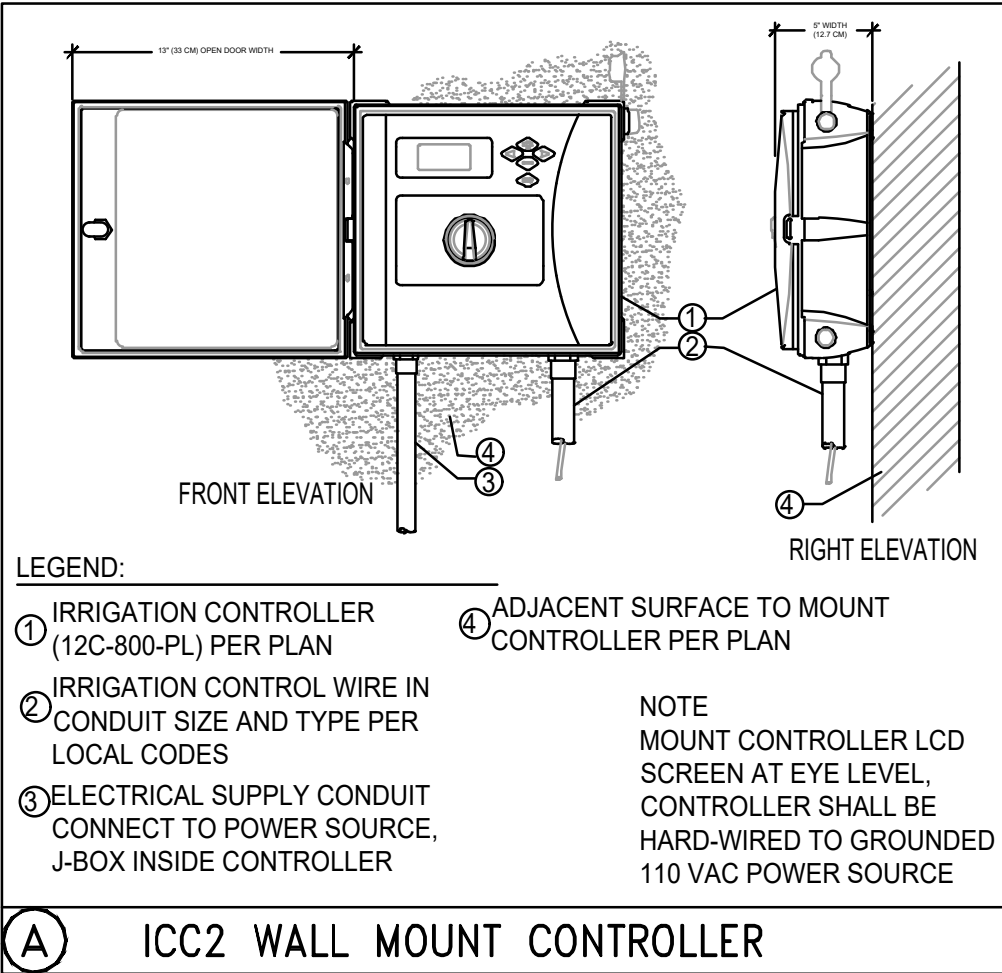
DATE: 2023-05-15
DRAWN: JB
CHECKED: JB

L-4
IRRIGATION PLAN

PROJECT NO.: 2023.103

Z DEVELOPMENT
e r v i c e s
CA 29354
708 E. COLONIAL DR., STE 100
ORLANDO, FL 32803
PH: (407) 271-8910
FAX: (407) 442-0604

IRRIGATION DETAILS



IRRIGATION NOTES

- 1) REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREES AND SHRUBS.
- 2) ALL MAINLINE PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 18" OF COVER. ALL LATERAL PIPING SHALL BE BURIED TO A MINIMUM DEPTH OF 12" OF COVER.
- 3) ALL POP-UP ROTORS AND SPRAY HEADS SHALL BE INSTALLED USING AN 18" P.V.C. FLEX PIPE CONNECTION. DO NOT USE FUNNY PIPE.
- 4) ADJUST ALL NOZZLES TO REDUCE WATER WASTE ON HARD SURFACES AND BUILDING WALLS.
- 5) THROTTLE ALL VALVES ON SHRUB LINES AS REQUIRED TO PREVENT FOGGING.
- 6) ALL RISERS SHALL BE PAINTED BLACK.
- 7) ALL RISERS SHALL BE STAKED WITH A STEEL ANGLE AND SECURED WITH ULTRA-VIOLET LIGHT PROTECTED P.V.C. CLAMPS.
- 8) ALL CONTROL WIRE SPICES SHALL BE MADE IN VALVE BOXES USING SNAP-TITE CONNECTORS AND SEALANT.
- 9) THE CONTRACTOR SHALL PREPARE AN AS-BUILT DRAWING ON A REPRODUCIBLE PAPER (SEPIA OR MYLAR) SHOWING ALL INSTALLED IRRIGATION. A MYLAR OR SEPIA OF THE ORIGINAL PLAN MAY BE OBTAINED FROM THE LANDSCAPE ARCHITECT FOR A FEE. THE DRAWING SHALL LOCATE ALL MAINLINE AND VALVES BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES.
- 10) ALL VALVES, GATE VALVES AND QUICK COUPLERS SHALL BE INSTALLED IN VALVE BOXES.
- 11) ANY PIPING SHOWN OUTSIDE THE PROPERTY LINE OR RUNNING OUTSIDE A LANDSCAPE AREA IS SHOWN THERE FOR CLARITY ONLY. ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.
- 12) ALL RISERS SHALL BE INSTALLED 12" FROM ANY WALL AND A MINIMUM OF 36" FROM ANY SIDEWALK, PATIO OR ROAD.
- 13) THE EXACT HEIGHT OF ANY 12" POP-UP THAT IS SHOWN IN A SHRUB BED SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- 14) THE CONTRACTOR SHALL EXERCISE CARE SO AS NOT TO DAMAGE ANY EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIRS AND COST OF ANY DAMAGE CAUSED BY HIS WORK.
- 15) ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- 16) CONTRACTOR TO USE MIN. OF 12 GAUGE WIRE FOR ALL COMMON WIRES AND 14 GAUGE WIRE FOR ALL CONTROL WIRES. CONTRACTOR ALSO TO PROVIDE 3 SPARE CONTROL WIRES FOR ANY FUTURE USE.
- 17) CONCRETE THRUST BLOCKS ARE TO BE UTILIZED AT ALL MAINLINE DIRECTION CHANGES.
- 18) ALL IRRIGATION SHOWN ON PLANS IS SCHEMATIC AND DOES NOT REFLECT ALL FITTINGS AND APPURTENANCES WHICH SHALL BE INCLUDED TO PROVIDE A FULLY FUNCTIONAL IRRIGATION SYSTEM CAPABLE OF PROVIDING 100 PERCENT COVERAGE WITH A 50 PERCENT OVERLAP.

EQUIPMENT LIST

SYMBOL	DESCRIPTION	QUANTITY
	0.50 GPM BUBBLER (2 PER TREE)	0
	6" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 WIMP2000 NOZZELS	91
	12" POP-UP SPRAY - HUNTER INDUSTRIES MPR40 WIMP2000 NOZZELS	10
	SPRAY ON RISER - HUNTER INDUSTRIES INST-00-CV-MP2000	43
	HUNTER 'ICV' SERIES ELECTRIC VALVE WITH ACCU-SET PRESSURE REGULATOR	2
	HUNTER ICC2 8 STATION CONTROLLER, 120VOLT, INSTALL WITH A SOLAR SYNC (WITH EVAPOTRANSPIRATION SENSOR AND RAIN SENSOR AND BY-PASS BOX.) GROUND WITH AN 8" COPPER CLAD ROD.	1
	HUNTER "SOLAR SYNC" RAIN SENSOR	1
	1" POTABLE IRRIGATION METER TO PROVIDE 30 GPM AT 40 PSI. CONTRACTOR TO VERIFY LOCATION.	1
	1" DOUBLE CHECK VALVE BACKFLOW PREVENTOR	1
	LATERAL LINE SIZE PER PLAN	SEE PLAN
	1-1/2" MAINLINE CLASS 200 P.V.C. SIZE PER PLAN. CONTRACTOR TO VERIFY LOCATION.	SEE PLAN
	SLEEVING - SCH. 40 P.V.C. MIN. DEPTH OF 24" (ALL 3" SLEEVES TO HAVE ACCOMPANYING 2" SLEEVE FOR WIRES)	SEE PLAN

SPRAY NOZZLE CHART

	SYM	NOZZLE	NOZZLE PATTERN	GPM
MP1000 8'-15' radius	A	MAROON	90° ADJUSTABLE ARC	.19
	B	MAROON	180° ADJUSTABLE ARC	.37
	C	LT. BLUE	210° ADJUSTABLE ARC	.43
	D	LT. BLUE	270° ADJUSTABLE ARC	.57
	E	OLIVE	360° ARC	.75
	F	BLACK	90° ADJUSTABLE ARC	.40
MP2000 13'-21' radius	G	BLACK	180° ADJUSTABLE ARC	.74
	H	GREEN	210° ADJUSTABLE ARC	.86
	I	GREEN	270° ADJUSTABLE ARC	1.10
	J	RED	360° ARC	1.47
	K	BLUE	90° ADJUSTABLE ARC	.86
	L	BLUE	180° ADJUSTABLE ARC	1.82
MP3000 22'-30' radius	M	YELLOW	210° ADJUSTABLE ARC	2.12
	N	YELLOW	270° ADJUSTABLE ARC	2.73
	O	GRAY	360° ARC	3.64
	P	TURQUOISE	45°-105° ADJUSTABLE ARC	.45
	Q	IVORY	5'x15' LEFT STRIP	.22
	R	COPPER	5'x15' RIGHT STRIP	.22
STRIPS & CORNERS	S	BROWN	5'x30' SIDE STRIP	.44
	T	PCN10	1.00 GPM FLOOD BUBBLER	1.00
BUBBLERS AND MICRO-SPRAYS	U	PCN50	.50 GPM FLOOD BUBBLER	.50
	V	SR-2Q	90° 2' RADIUS	.11
	W	SR-2H	180° 2' RADIUS	.16
	X	MS-F	360° 5' RADIUS	.50

Zone Chart	GPM	Water Use	Program
1	30	Sod	B
2	14	Shrubs	A

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L-5
IRRIGATION
DETAILS
PROJECT NO.: 2023.103

ALTA/NSPS LAND TITLE SURVEY

GENERAL SURVEY NOTES:

1. BEARING STRUCTURE IS BASED ON THE MONUMENTED SOUTH LINE OF LOT 1, BEING N89°19'56"E PER PLAT BOOK 61, PAGE 92 AND 93, PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA.

2. THIS SURVEY REFLECTS ONLY MATTERS OF RECORD AS PROVIDED BY THE CLIENT OR CLIENTS REPRESENTATIVE.

3. THIS SURVEY WAS MADE ON THE GROUND. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION (McKIM & CREED) AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ENGINEER AND CONTRACTOR SHALL VERIFY MEASUREMENTS OF CONNECTIONS TO EXISTING UTILITIES BEFORE ORDERING MATERIALS AND BEFORE COMMENCEMENT OF CONSTRUCTION. IF THERE IS A DISCREPANCY BETWEEN THE MEASUREMENTS SHOWN HEREON AND THE VERIFYING MEASUREMENTS, THIS SURVEYOR SHALL BE CONTACTED IMMEDIATELY TO FURTHER VERIFY THE DISCREPANCY.

4. THIS SITE LIES IN ZONE "X", BASED ON FLOOD INSURANCE RATE MAP NO. 12117C0260F, COMMUNITY NO. 120289, UN-INCORPORATED SEMINOLE COUNTY, FLORIDA, HAVING AN EFFECTIVE DATE OF 09-28-2007.

5. ACCORDING TO FLORIDA STATUTES, CHAPTER 472.025, A LAND SURVEYOR SHALL NOT AFFIX HIS SEAL OR NAME TO ANY PLAN OR DRAWING WHICH DEPICTS WORK WHICH HE IS NOT LICENSED TO PERFORM OR WHICH IS BEYOND HIS PROFESSION OR SPECIALTY THEREIN. THEREFORE, WE ARE UNABLE TO CERTIFY AS TO MUNICIPAL ZONING COMPLIANCE, INTERPRETATION OF ZONING CODES OR THE DETERMINATION OF VIOLATIONS THEREOF.

6. THIS SURVEY MADE WITH BENEFIT OF COMMITMENT FOR TITLE NO. 10920522, EFFECTIVE: JANUARY 17, 2023, ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN SCHEDULE A OF THE TITLE COMMITMENT.

7. THIS "BOUNDARY AND TOPOGRAPHIC SURVEY" WAS MADE IN ACCORDANCE WITH LAWS AND/OR STANDARDS OF PRACTICE FOR THE STATE OF FLORIDA.

8. THIS SURVEY IS VALID ONLY TO THE PARTIES TO WHOM IT IS CERTIFIED AND IS NON-TRANSFERABLE.

9. THE PROPERTY HAS INDIRECT ACCESS TO STATE ROAD 426 (ALOMA AVENUE), A PAVED PUBLIC RIGHT-OF-WAY.

10. OBSERVABLE SURFACE EVIDENCE OF UTILITIES SERVING THE PROPERTY AND STORM DRAINAGE FACILITIES ARE SHOWN HEREON.

11. ALL PARCELS AND/OR LOTS SHOWN HEREON ARE CONTIGUOUS BETWEEN SAID PARCELS AND/OR LOTS AND DO NOT CREATE ANY GAPS, GORES OR HIATUSES.

12. NO SURFACE EVIDENCE OF SITE USE AS A CEMETERY WAS OBSERVED.

13. ELEVATIONS ARE BASED ON BENCHMARK DESIGNATION 4715101, BEING: 68.148 FEET, (NAVD 1988), PUBLISHED BY SEMINOLE COUNTY, FLORIDA. CONVERSION FACTOR FROM NAVD 88 TO NGVD 29 DATUM IS +1.10 FEET.

14. THE MAPPED FEATURES SHOWN HEREON ARE RELATIVE TO FLORIDA STATE PLANE COORDINATE SYSTEM EAST ZONE, NAD(83)-(2011)-(EPOCH 2010.0000), ESTABLISHED PER FDOT FPRN.

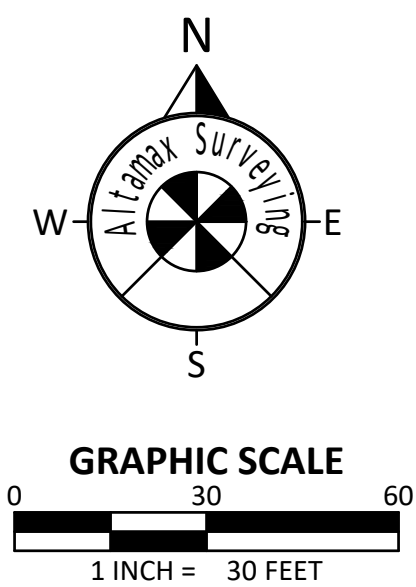
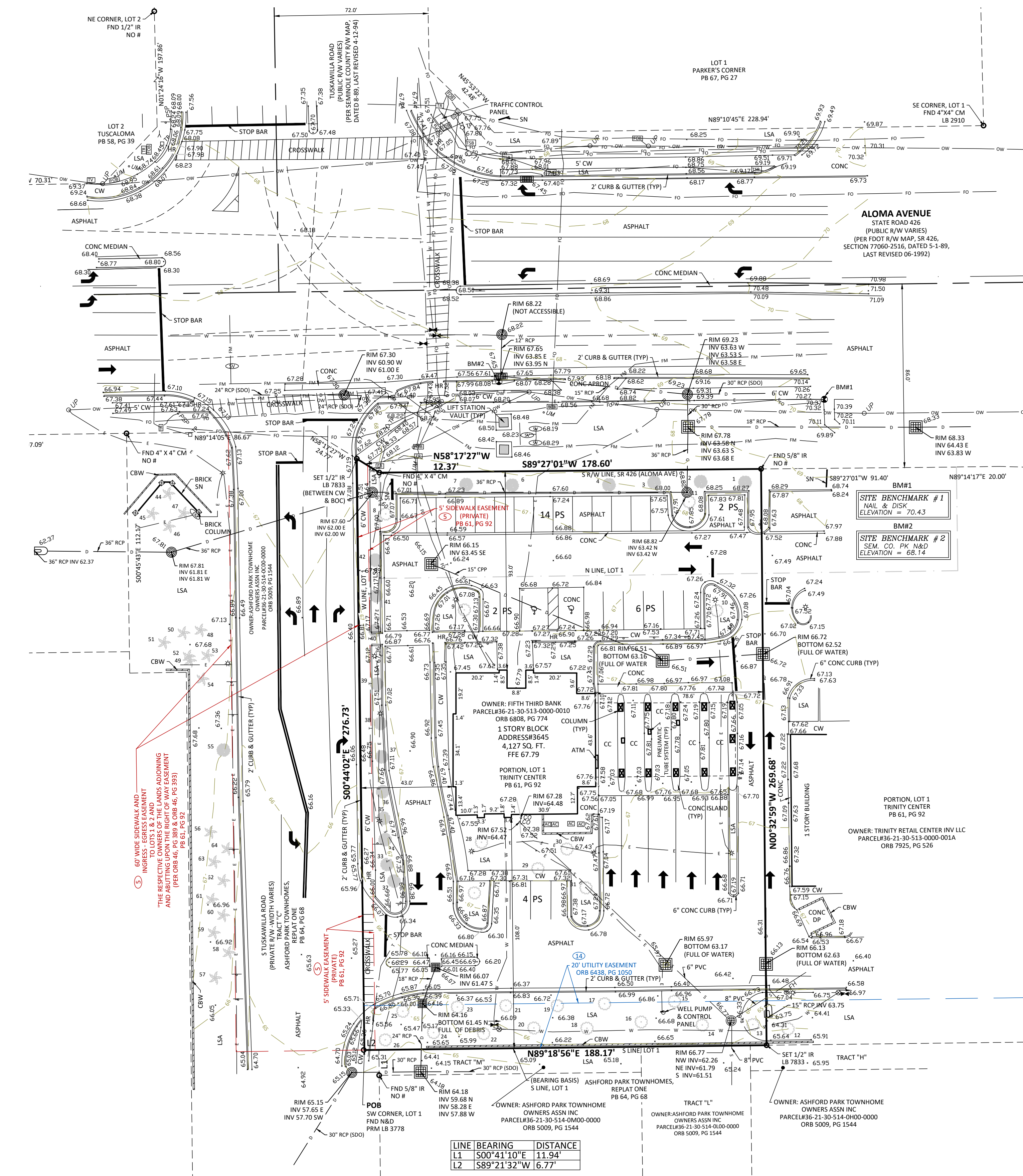
NOTES PERTAINING TO TABLE A ITEMS OF ALTA/NSPS LAND TITLE SURVEY STANDARDS:

ITEM 16: NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

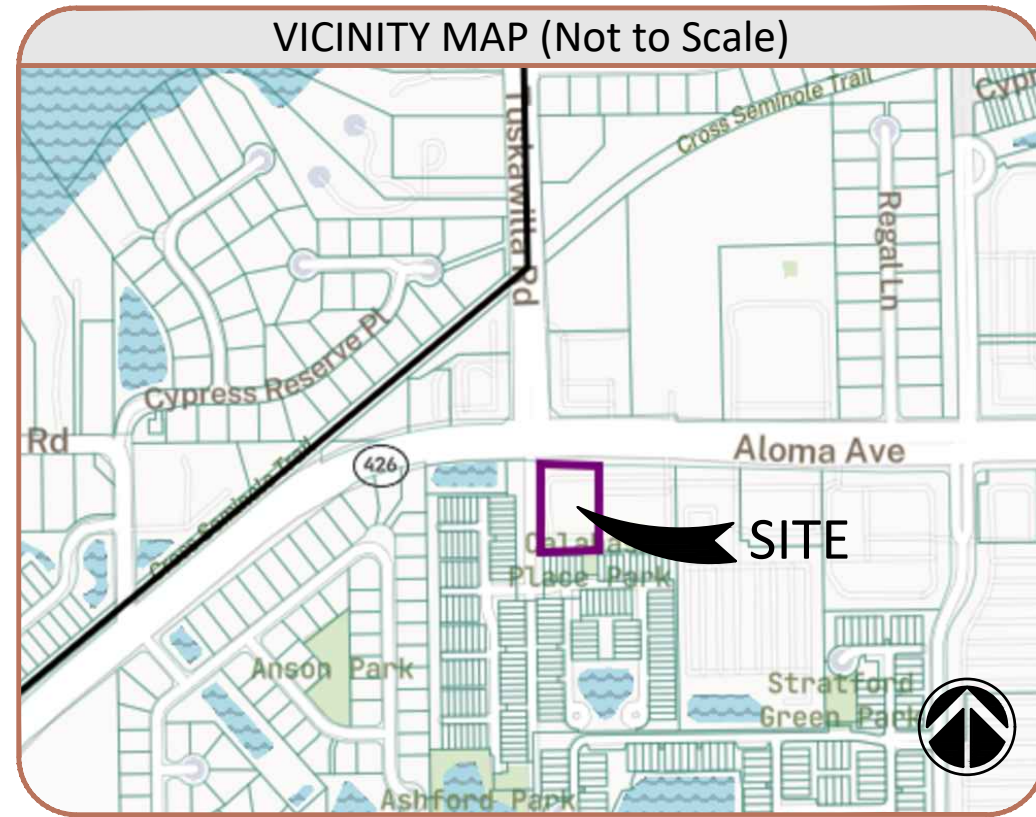
ITEM 17: NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. SURVEYOR IS NOT AWARE OF PROPOSED CHANGES IN STREET RIGHT OF WAY LINES.

ZONING INFORMATION:

NOTE PROVIDED AT TIME OF SURVEY



TREE CHART		
Tree ID#	DBH Size	Tree Type
1	6"	MAGNOLIA
2	7"	MAGNOLIA
3	7"	MAGNOLIA
4	6"	MAGNOLIA
5		REMOVED
6	8"	MAGNOLIA
7	10"	MAGNOLIA
8	10"	OAK
9	8"	OAK
10	8"	OAK
11	10"	OAK
12	18"	OAK
13	15"	OAK
14	15"	OAK
15	18"	OAK
16	15"	OAK
17	12"	OAK
18	15"	OAK
19	8"	OAK
20	8"	OAK
21	18"	OAK
22	18"	OAK
23	12"	OAK
24	16"	OAK
25	20"	OAK
26	20"	OAK
27	8"	OAK
28	8"	OAK
29	6"	OAK
30	8"	OAK
31	8"	OAK
32	8"	CYPRESS
33	8"	CYPRESS
34	10"	CYPRESS
35	11"	CYPRESS
36	9"	CYPRESS
37	14"	CYPRESS
38	11"	CYPRESS
39	12"	CYPRESS
40	12"	CYPRESS
41	10"	CYPRESS
42	12"	CYPRESS
44	9"	PALM
45	10"	PALM
46	10"	PALM
47	8"	PALM
48	8"	PALM
49	10"	PALM
50	10"	PALM
51	10"	PALM
52	8"	PALM
53	10"	PALM
54	10"	PALM
55	18"	MAGNOLIA
56	12"	PALM
57	14"	PALM
58	12"	PALM
59	12"	PALM
60	12"	PALM
61	15"	PALM
62	14"	PALM
63	12"	PALM
64	14"	PALM



DESCRIPTION:

A PORTION OF LOT 1, TRINITY CENTER AS RECORDED IN PLAT BOOK 61, PAGES 92 AND 93, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA. TOGETHER WITH A PORTION OF THOSE LANDS AS DESCRIBED IN OFFICIAL RECORDS BOOK 1937, PAGE 1597 AND OFFICIAL RECORDS BOOK 3274, PAGE 725, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 1, TRINITY CENTER; THENCE N 89°18'56" E, ALONG THE SOUTH LINE OF SAID LOT 1, A DISTANCE OF 188.17 FEET; THENCE N 0°32'59" W, DEPARTING SAID SOUTH LINE, 269.68 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD 426 (ALOMA AVENUE); THENCE S 89°27'01" W, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, 178.60 FEET; THENCE N 58°17'27" W, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, 12.37 FEET TO THE WEST LINE OF SAID LOT 1, TRINITY CENTER; THENCE S 00°44'02" E, ALONG SAID WEST LINE, 276.73 FEET TO THE POINT OF BEGINNING.

SCHEDULE B-2 EXCEPTIONS NOTES:

5. MATTERS AS SHOWN ON THE PLAT OF TRINITY CENTER RECORDED IN PLAT BOOK 61, PAGES 92 AND 93, OF THE PUBLIC RECORDS OF SEMINOLE COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS: (ON SUBJECT PROPERTY AS SHOWN HEREON)

6. EASEMENT IN FAVOR OF SOUTH SEMINOLE AND NORTH ORANGE COUNTY WASTEWATER TRANSMISSION AUTHORITY RECORDED IN OFFICIAL RECORDS BOOK 1299, PAGE 1411; SUBORDINATION OF UTILITY INTERESTS RECORDED IN OFFICIAL RECORDS BOOK 2521, PAGE 324. (OFF SUBJECT PROPERTY)

7. DEVELOPMENT ORDER RECORDED IN OFFICIAL RECORDS BOOK 2229, PAGE 1088; CORRECTIVE DEVELOPMENT ORDER RECORDED IN OFFICIAL RECORDS BOOK 4805, PAGE 1608. (BLANKET IN NATURE OVER SUBJECT PROPERTY)

8. CONDITIONAL UTILITY AGREEMENT FOR WATER SERVICE RECORDED IN OFFICIAL RECORDS BOOK 4674, PAGE 1289; ASSIGNMENT OF CONDITIONAL UTILITY AGREEMENT FOR WATER SERVICES RECORDED IN OFFICIAL RECORDS BOOK 6082, PAGE 532. (BLANKET IN NATURE OVER SUBJECT PROPERTY)

9. CONDITIONAL UTILITY AGREEMENT FOR SEWER SERVICE RECORDED IN OFFICIAL RECORDS BOOK 4674, PAGE 1414; ASSIGNMENT OF CONDITIONAL UTILITY AGREEMENT FOR SEWER SERVICE RECORDED IN OFFICIAL RECORDS BOOK 6082, PAGE 539. (BLANKET IN NATURE OVER SUBJECT PROPERTY)

10. EASEMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 4679, PAGE 441; FIRST AMENDMENT TO EASEMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 6052, PAGE 1178. (BLANKET IN NATURE OVER SUBJECT PROPERTY)

11. RESTRICTIONS, COVENANTS, AND CONDITIONS AS SET FORTH IN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR TRINITY CENTER TOWNHOMES AND COMMERCIAL PROPERTY RECORDED IN OFFICIAL RECORDS BOOK 4679, PAGE 466, AND AS MAY BE SUBSEQUENTLY AMENDED. (BLANKET IN NATURE OVER SUBJECT PROPERTY)

12. DRAINAGE EASEMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 6052, PAGE 1194. (BLANKET IN NATURE OVER SUBJECT PROPERTY)

13. EASEMENT AGREEMENT RECORDED IN OFFICIAL RECORDS BOOK 6052, PAGE 1194. (BLANKET IN NATURE OVER SUBJECT PROPERTY)

14. UTILITY EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 6309, PAGE 1691; FIRST AMENDMENT TO UTILITY EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 6438, PAGE 1050. (ON SUBJECT PROPERTY AS SHOWN HEREON)

15. BILL OF SALE RECORDED IN OFFICIAL RECORDS BOOK 6438, PAGE 1047. (BLANKET IN NATURE OVER SUBJECT PROPERTY)

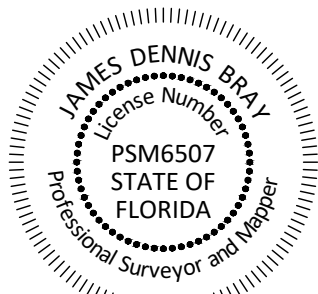
ALTA/NSPS Land Title Survey Certification

To: Hill/Gray Seven, L.L.C.;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(a), 7(a), 7(b), 7(c), 8, 9, 11a, 11b, 13, 14, 16, 17 and 19 of Table A thereof. The field work was completed on 03/13/2023.

Date: 03/13/2023

JAMES D. BRAY, PSM 6507



This Survey is "NOT VALID" without the original signature and seal of this Florida licensed Surveyor and Mapper, unless provided with electronic signature. The seal appearing on this document was authorized by the signing Professional Surveyor and Mapper on the Date of the electronic signature.



SIGNIFICANT OBSERVATIONS:

WITHOUT EXPRESSING A LEGAL OPINION AS TO OWNERSHIP OR NATURE, THE FOLLOWING SIGNIFICANT OBSERVATIONS ARE NOTED. ADDITIONAL ITEMS MAY BE DEPICTED HEREON THAT HAVE NOT BEEN INCLUDED IN THIS LIST: NONE

PARKING COUNT:

REGULAR SPACES: 28
HANDICAP SPACES: 02
TOTAL SPACES: 30

LAND AREA:

50,940 SQUARE FEET
1.1694 ACRES
MORE OR LESS.