

ARCHITECT'S GENERAL CONDITIONS

I GENERAL CONDITIONS

- THESE INSTRUCTIONS ARE TO BE FOLLOWED BY ALL CONTRACTORS AND SUBCONTRACTORS WHEN PERFORMING THIS WORK. FAILURE TO DO SO MAY RESULT IN THE SUSPENSION OF ALL ACTIVITIES UNTIL DISPUTES ARE RESOLVED. ANY EXPENSES AND/OR DAMAGES INCURRED AS A RESULT OF DELAYS IN THE COMPLETION OF THE WORK DUE TO CONTRACTORS DISREGARD OF THESE INSTRUCTIONS SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN FULL INSURANCE AS REQUIRED BY THE GENERAL CONDITIONS OF THE OWNER. INSURANCE (EXCEPT WORKERS COMPENSATION) SHALL INCLUDE ARCHITECT AS ADDITIONAL INSURED. EVIDENCE OF INSURANCE SHALL BE PROVIDED TO THE OWNER AND ARCHITECT PRIOR TO COMMENCING WORK.
- ARCHITECT IS NOT RESPONSIBLE FOR ERRORS, OMISSIONS OR DELAYS BY THE CONTRACTOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR, PROVIDE, AND PAY FOR ALL MATERIALS, LABOR, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT, WAREHOUSING, TRANSPORTATION AND DELIVERY COSTS, HOISTING, REMOVAL AND DISPOSAL OF TRASH AND DEBRIS, AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE EXECUTION AND COMPLETION OF THIS WORK AND THAT OF HIS/HER SUBCONTRACTORS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACTS AND OMISSIONS OF THE CONTRACTORS EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
- OWNER MAY PERFORM ADDITIONAL WORK IN THIS AREA THAT MAY OR MAY NOT BE A PART OF THIS CONTRACT WITH HIS OWN FORCES, UNDER SEPARATE CONTRACTS AND/OR WITH OTHER CONTRACTORS WHICH MAY BE WORKING ON THE PREMISES SIMULTANEOUS WITH THE DURATION OF THIS WORK. NO ACTION SHALL BE TAKEN ON THE PART OF THIS CONTRACTOR OR ANY SUBCONTRACTOR TO IMPEDE THE ACCESS OR OPERATION OF ANY OTHER CONTRACTOR ON THE PREMISES, REGARDLESS OF CONTRACTING PARTY OR UNION AFFILIATION. ANY CHANGES OR DELAYS ARISING FROM CONFLICTS DUE TO THIS CIRCUMSTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPATIBILITY, APPROVAL AND APPROPRIATE USE OF ALL ASSEMBLIES AND COMPONENTS REQUIRED THAT ARE NOT SPECIFICALLY IDENTIFIED OR SPECIFIED AS PART OF THIS WORK BUT MAY BE REQUIRED BY JURISDICTIONAL AGENCIES HAVING AUTHORITY OR THAT MAY BE REQUIRED TO COMPLETE THIS WORK.
- CONTRACTOR IS RESPONSIBLE FOR WORKSITE SAFETY AND SHALL TAKE NECESSARY PRECAUTIONS TO ENSURE THE SAFETY AND PROTECTION OF THE WORKERS AND BUILDING OCCUPANTS AT ALL TIMES. REQUIREMENTS INCLUDE, BUT SHALL NOT BE LIMITED TO O.S.H.A. PART 1926, LATEST EDITION IN FORCE.
- THE SPRINKLER SUBCONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE SYSTEM, AND SUBMISSION OF ANY DRAWINGS, EQUIPMENT INFORMATION AND FLOW CALCULATIONS OR TEST DATA REQUIRED BY GOVERNING AUTHORITIES.
- CONTRACTOR IS RESPONSIBLE FOR CONTRACTING WITH AN ENGINEER LICENSED IN THE STATE WHERE THE WORK IS BEING PERFORMED TO PROVIDE LIGHT GAUGE STEEL STUD FRAMING DESIGN (SPACINGS, GAUGES, SIZES, CONNECTIONS, ETC.)
- CONTRACTORS CONTRACT AMOUNT SHALL INCLUDE A CONTINGENCY SUM OF 4% TO BE USED TO COVER COSTS ARISING FROM CONCEALED CONDITIONS WHICH COULD NOT HAVE BEEN REASONABLY FORESEEN OR ANTICIPATED, AND CHANGES IN SCOPE ARISING FROM ASSUMPTIONS AND CLARIFICATIONS PROVIDED BY THE CONTRACTOR TO THE OWNER AND ARCHITECT.
- THE AUTHORITY HAVING JURISDICTION MAY REQUIRE A SURVEY BE PERFORMED AND SUBMITTED TO DEMONSTRATE THE STRENGTH OF RADIO SIGNALS FOR EMERGENCY SERVICES PERSONNEL. THIS IS NOT INCLUDED IN THE SCOPE OF WORK. BASED ON THE RESULTS OF THE SURVEY, THE AUTHORITY HAVING JURISDICTION MAY REQUIRE THAT A TWO-WAY RADIO COMMUNICATION ENHANCEMENT SYSTEM BE PROVIDED. THE DESIGN OF THIS SYSTEM IS NOT INCLUDED IN THE SCOPE OF WORK.

II CHANGE ORDERS

- CONTRACTORS DETERMINATION AND COMPLIANCE WITH GOVERNING REGULATIONS AND ORDERS AS ISSUED BY GOVERNING AUTHORITIES DOES NOT CONSTITUTE SUBSTITUTIONS AND DOES NOT CONSTITUTE A BASIS FOR CHANGE ORDERS.
- ALL CHANGES, REVISIONS AND MODIFICATIONS TO THE WORK SHALL BE DOCUMENTED AND ISSUED BY THE ARCHITECT.
- NO CONTRACTOR OR SUBCONTRACTOR SHALL PERFORM ADDITIONAL WORK UNLESS DIRECTED BY OWNER, OR ARCHITECT. ADDITIONAL CHARGES WILL NOT BE APPROVED FOR WORK WITHOUT PROPER AUTHORIZATION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS INCURRED FOR NONCOMPLIANCE WITH THESE CONTRACT DOCUMENTS. CONTRACTOR WILL NOT BE ALLOWED CHANGE ORDERS FOR PROBLEMS ARISING FROM NEGLIGENCE OF PROVISIONS INCLUDED IN THESE CONDITIONS.

III EXISTING CONDITIONS

- ANY AREA OUTSIDE THE LIMITS OF CONSTRUCTION DISTURBED BY OPERATIONS OF THE CONTRACTOR SHALL BE RESTORED AT THE CONTRACTORS EXPENSE.
- CONTRACTOR SHALL ACCEPT PREMISES AS FOUND. OWNER AND ARCHITECT ACCEPTS NO RESPONSIBILITY FOR THE CONDITION OF THE EXISTING SITE OR STRUCTURES AT THE TIME OF BIDDING OR THEREAFTER.
- CONTRACTOR SHALL TAKE EXCEPTIONAL CARE TO PROTECT AND MAINTAIN EXISTING BUILDING AND PROPERTY AND SHALL CLEAN OR REPAIR ANY DAMAGE TO SAME CAUSED BY HIS/HER SUBCONTRACTORS, SUPPLIERS AND CRAFTSMAN AT NO COST TO THE OWNER.
- CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PURCHASING MATERIALS, INSTALLATION OR PERFORMING ANY WORK. INCLUDE COST FOR ALL WORK DESCRIBED IN CONTRACT DOCUMENTS AND REQUIRED OR IMPLIED BY EXISTING CONDITIONS. BIDDERS SHALL BE RESPONSIBLE FOR LACK OF VERIFICATION. NOTIFY ARCHITECT OF ANY CONFLICTS BETWEEN THE DRAWINGS AND EXISTING CONDITIONS RELATED TO THE EXECUTION OF THIS WORK.
- ALL DEMOLITION ACTIVITIES SHALL COMPLY WITH NFPA CODE 241 'BUILDING CONSTRUCTION', ANSI-A10 SERIES STANDARD FOR 'SAFETY REQUIREMENTS' FOR CONSTRUCTION AND DEMOLITION', NECA ELECTRICAL DESIGN LIBRARY 'TEMPORARY ELECTRICAL FACILITIES', AND 'MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION' OF THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA.
- CONTRACTOR SHALL VERIFY THE INTEGRITY OF ALL EXISTING FIRE RATED OPENINGS WITHIN THE SCOPE OF THIS WORK AND SHALL BE RESPONSIBLE FOR THE FIRE-SAFING AS REQUIRED BY JURISDICTIONAL AUTHORITIES TO PROVIDE A POSITIVE SMOKE-TIGHT SEAL TO MAINTAIN INTEGRITY OF WALL CONSTRUCTION AND RATING.
- CONTRACTOR SHALL TAKE NECESSARY MEASURES TO ENSURE THAT NEIGHBORING TENANTS AND RESIDENTS ARE NOT DISTURBED IN ANY WAY DURING THE CONSTRUCTION PROCESS. ANY WORK CREATING LOUD NOISES, HAZARDOUS FUMES OR NOXIOUS OR OFFENSIVE ODORS MUST BE COORDINATED WITH OWNER IN ADVANCE SO ACCOMODATIONS CAN BE MADE.
- ANY CONTACT WITH TENANTS OF SURROUNDING PROPERTIES SHALL BE CONDUCTED IN THE MOST COURTEOUS MANNER POSSIBLE.
- IF CONSTRUCTION IS TAKING PLACE WITHIN AN OCCUPIED SPACE OR STRUCTURE, CONTRACTOR SHALL TAKE MEASURES TO ENSURE THAT DAY-TO-DAY OPERATIONS ARE NOT DISRUPTED OR AFFECTED IN ANY WAY.

- PATCH WALLS, FLOORS AND CEILINGS AS REQUIRED ACCOMMODATING NEW CONSTRUCTION AND FINISHES.
- CONTRACTOR SHALL COORDINATE W/OWNER REGARDING THE REMOVAL, DISPOSAL OR SALVAGE OF EXISTING FIXTURES, EQUIPMENT & FURNISHINGS EFFECTED BY THIS WORK.
- ANY PORTION OF THIS WORK SHALL NOT OBSTRUCT OR CAUSE TO BE INOPERATIVE THE FIRE PROTECTION SYSTEMS OF EXISTING SITE AND/OR ADJACENT PROPERTIES. COORDINATE ALL WORK INVOLVING EXISTING FIRE ALARM/VOICE EVACUATION SYSTEM(S) WITH OWNER.

IV CONTRACT DOCUMENTS

- BUILDING DEPARTMENT APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDUM'S AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES. THESE ARE TO BE KEPT UNDER THE CARE OF THE SUPERINTENDENT.
- ALL CONSTRUCTION ITEMS NOT SPECIFIED OR INDICATED ON DRAWINGS SHALL BE COORDINATED W/ ARCHITECT AND/OR ADDRESSED BY THE OWNER, THE CONTRACTOR OR HIS SUBCONTRACTORS.
- CONTRACTOR SHALL BRING ANY CONFLICTS OR DISCREPANCIES FOUND IN THE DRAWINGS TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO PURCHASING, INSTALLATION AND/OR CONSTRUCTION.
- MATERIALS, PRODUCTS AND ASSEMBLIES SPECIFIED IN THIS WORK BY THE ARCHITECT, ARE BASED UPON LITERATURE, DRAWINGS OR OTHER DESCRIPTIVE MATERIALS SUPPLIED BY THE MANUFACTURER. IF ANY PRODUCT, MATERIAL OR ASSEMBLY FAILS TO MEET THE CLAIMS OF THE MANUFACTURER WHEN INSTALLED AND USED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS, THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR LESS THAN SATISFACTORY RESULTS.
- CONTRACTOR SHALL BE RESPONSIBLE TO REPORT TO AND DISCUSS WITH THE ARCHITECT PRIOR TO PURCHASING ANY MATERIALS OR INSTALLATIONS SPECIFIED OR INDICATED ON THE DRAWINGS WHICH THE CONTRACTOR BELIEVES WILL NOT PROVIDE SATISFACTORY RESULTS. CONTRACTOR WILL PROVIDE A WORKABLE SOLUTION TO THE ARCHITECT FOR REVIEW PRIOR TO INSTALLING. IF CONTRACTOR FAILS TO NOTIFY THE ARCHITECT OR IF RECOMMENDATIONS ARE ACCEPTED, CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLATION AND SATISFACTORY RESULTS.
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS TO DETERMINE LOCATIONS. LARGE SCALE DRAWINGS GOVERN OVER SMALLER SCALE DRAWINGS. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY WHICH OCCURS PRIOR TO CONTINUING WITH THE WORK.

V SHOP DRAWINGS, SUBMITTALS & SUBSTITUTIONS

- CONTRACTOR SHALL PROCURE MATERIALS SO AS NOT TO DELAY SUBSTANTIAL COMPLETION. NOTIFY OWNER WHEN SUBMITTING FINAL BID OF ANY MATERIAL DELIVERY WHICH COULD DELAY COMPLETION OF CONTRACT BEYOND THE CONTRACT DATE.
- G.C. SHALL SUBMIT SHOP DRAWINGS AND PRODUCT INFORMATION PRIOR TO PURCHASING, INSTALLATION AND/OR CONSTRUCTION.
- ALL SUBMITTALS TO THE ARCHITECT SHALL BE SUBMITTED 16 DAYS PRIOR TO DATE REQUIRED.
- CONTRACTORS SHALL REVIEW ALL SUBMITTALS PRIOR TO SUBMITTING TO ARCHITECT FOR ARCHITECTS REVIEW. SUBMITTALS SHALL BEAR THE STAMP OF THE CONTRACTOR INDICATING HIS/HER REVIEW. NO SUBMITTAL SHALL BE PROCESSED BY ARCHITECT WITHOUT THIS STAMP.
- MANUFACTURER'S OF SPECIFIED ITEMS ARE NOTED FOR QUALITY AND DESIGN. SUBSTITUTE PRODUCTS ARE SUBJECT TO APPROVAL BY ARCHITECT AND OWNER. WHERE SUBSTITUTIONS OF EQUIVALENT PRODUCTS OR ASSEMBLIES ARE PERMITTED, CONTRACTOR IS ENCOURAGED TO SUBMIT ALTERNATE PRODUCTS FOR CONSIDERATION IN AN EFFORT TO REDUCE THE CONSTRUCTION COST OR TIME. REASONABLE REQUESTS WILL BE REVIEWED FOR COMPLIANCE WITH THE INTENT OF THE CONSTRUCTION DOCUMENTS. IF DOCUMENTS STATE THAT SUBSTITUTIONS ARE NOT PERMITTED, CONTRACTOR SHALL PROVIDE MANUFACTURER/PRODUCT SPECIFIED.

VI FIRE-RESISTANCE-RATED CONSTRUCTION

- REFERENCE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR DETAILS OF UTILITY WALL PENETRATIONS. ALL FIRE-RATED WALLS MUST BE CLEARLY AND PERMANENTLY LABELED ABOVE FINISH CEILING LEVEL AS REQUIRED BY CODE.
- ALL FIRE-RATED MATERIALS, ASSEMBLIES AND PENETRATIONS MUST COMPLY WITH REQUIREMENTS OF THEIR ASSOCIATED U.L. (OR OTHER APPROVED TESTING AGENCY) DESIGN.
- CONTRACTOR SHALL ATTACH AND STAGGER WALLBOARD ON ALL FIRE-RATED WALLS AS REQUIRED BY U.L. DESIGN DESCRIPTION.

VII EXECUTION

- CONSTRUCTION BARRICADES ARE TO BE INSTALLED TO PREVENT ACCESS BY UNAUTHORIZED PERSONAL TO CONSTRUCTION AREA. BARRICADES SHALL BE CONSTRUCTED IN A MANNER TO PREVENT DEMOLITION DEBRIS AND DUST FROM CONTAMINATING ADJACENT AREAS.
- CONTRACTOR SHALL EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN AND READY TO RECEIVE FINISHES PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIALS.
- PERFORM ALL WORK IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS AND IN A MANNER CONSISTENT WITH THE HIGHEST STANDARD OF WORKMANSHIP.
- ALL FURNISHINGS AND EQUIPMENT SHALL BE PROVIDED AND INSTALLED BY THE OWNER UNLESS NOTED OTHERWISE. CONTRACTOR SHALL COORDINATE WITH OWNER'S CONSULTANTS AND REPRESENTATIVES TO PROVIDE ACCESS SO WORK CAN BE ACCOMPLISHED IN A TIMELY MANNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE WORK IS IN PROGRESS, AND UNTIL THE JOB IS COMPLETE AND HAS BEEN ACCEPTED BY THE OWNER.
- POSSESSION, USE OR BEING UNDER THE INFLUENCE OF ALCOHOL, NARCOTICS OR ILLEGAL SUBSTANCES OF ANY TYPE ON THE PREMISES IS STRICTLY PROHIBITED.
- CONTRACTOR SHALL INSTALL AND MAINTAIN ALL NECESSARY COVERINGS, PROTECTIVE ENCLOSURES AND DUST BARRIERS TO PROTECT ALL WORK AND FINISHES. REPAIR AND REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTIONS AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE TEMPORARY WATERTIGHT WEATHERPROOF CLOSURES AT ALL ROOF OPENINGS UNTIL AFTER INSTALLATION OF ROOFTOP MOUNTED MECHANICAL UNITS, DRAINS, VENTS, ETC. ROOF IS THEN TO BE SEALED IN ACCORDANCE WITH ROOF WARRANTY.
- PROVIDE CONTROL JOINTS TO PREVENT CRACKING IN ALL MATERIALS AND ASSEMBLIES. SUBMIT CONTROL JOINT LAYOUTS TO OWNER AND ARCHITECT FOR REVIEW PRIOR TO PURCHASE, INSTALLATION AND /OR CONSTRUCTION.
- ALL LOAD BEARING WALLS AND NON LOAD BEARING CMU WALLS ARE TO BE CAULKED AT INTERSECTIONS. TYPICAL.
- WHERE DISSIMILAR METALS CONTACT, PAINT FACE OF ONE WITH TWO COATS OF BITUMINOUS PAINT AT THE AREA OF CONTACT.

- ALL ATTACHMENT HARDWARE SHALL BE APPROPRIATELY CAMOUFLAGED AND CONCEALED. FINISH COLOR OF ALL ATTACHMENT HARDWARE SHALL MATCH ADJACENT SURFACES U.N.O.
- PROVIDE PRESSURE TREATED WOOD FOR ALL FRAMING, BLOCKING, FURRING, NAILING STRIPS, BUILT INTO EXTERIOR MASONRY WALLS. WOOD IN CONTACT WITH CONCRETE AND IN CONJUNCTION WITH ROOFING AND MOISTURE-PERMEABLE FLOORS. PROVIDE FIRE-RETARDANT TREATED WOOD FOR CONCEALED BLOCKING AND FOR EXPOSED LUMBER AND PLYWOOD IN HABITABLE SPACE. NON-STRUCTURAL WOOD ON EXTERIOR WALLS TO BE MOISTURE-RESISTANT.

- ALL WOOD, LUMBER AND PLYWOOD MATERIALS SHALL BE FIRE-RESISTANT AND/OR FIRE-RATED AS REQUIRED BY CODE.
- COMBUSTIBLE MATERIALS SHALL NOT BE PERMITTED IN THE RETURN AIR PLENUM. ALL INSULATION EXPOSED TO CEILING PLENUM SHALL BE FIRE AND DUST PROOF.
- CONTRACTOR SHALL PROVIDE SOLID 3" WOOD BACKING WITHIN WALLS FOR ANCHORAGE OF ALL WALL MOUNTED SHELVES, RAILS, TOILET ACCESSORIES, WOODWORK, ETC. AND AT ALL LOCATIONS DIRECTED BY OWNER. 2x6 CONT. WOOD BLOCK'G SHALL BE PROVIDED AT TOP AND BOTTOM OF ALL MILLWORK. COORDINATE LOCATION OF ALL BLOCKING / BACKING W ID DWGS. ALL WOOD BACKING SHALL MEET THE REQUIREMENTS OF FBC 603 FOR COMBUSTIBLE MATERIAL.
- CONTRACTOR SHALL PROVIDE, FRAME AND FINISH ALL OPENINGS AS REQUIRED FOR ELECTRICAL AND MECHANICAL PENETRATIONS. ELECTRICAL PANELS, JUNCTION BOXES, RECESSED CABINETS, ETC. OCCURRING IN FIRE-RATED WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH U.L. DESIGN REQUIREMENTS.
- COORDINATE WITH ELECTRICAL CONTRACTOR REGARDING THE MOUNTING HEIGHT OF ALL SWITCHES AND OUTLETS AT MILLWORK, COUNTERS, SHELING, SINKS ETC. COMPLY WITH APPLICABLE ACCESSIBILITY REQUIREMENTS. REFER QUESTIONABLE MOUNTING HEIGHTS TO ARCHITECT FOR REVIEW.
- ALL PENETRATIONS THROUGH ROOF SHALL BE COORDINATED WITH THE HOLDER OF THE ROOF WARRANTY AND SHALL NOT VOID ANY EXISTING WARRANTIES IN ANY WAY. PROVIDE POSITIVE DRAINAGE AWAY FROM OPENINGS. CONTRACTOR IS SOLELY RESPONSIBLE FOR MAINTAINING INTEGRITY OF ROOFING AND ROOF WARRANTY. COORDINATE WITH OWNER.
- SMOKING IS PROHIBITED INSIDE THE BUILDING AT ANY TIME.
- COORDINATE THE STAGING AREA WITH THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO STARTING WORK. G.C. SHALL MAINTAIN A CLEAN AND WELL DEFINED STAGING AREA. PROVIDE DEMISING WALLS / VISUAL SCREENS WHERE REQUIRED BY OWNER OR AHJ.
- STORAGE OF MATERIALS: CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER CARE AND PROTECTION OF ALL HIS/HER MATERIALS, EQUIPMENT, TOOLS, ETC. NO SUBCONTRACTOR SHALL STORE HIS/HER MATERIALS, EQUIPMENT, TOOLS, ETC., SO THAT THEY IMPEDE THE WORK OF ANY OTHER SUBCONTRACTOR OR THE USE OF THE BUILDING BY THE OWNER.
- CLEANUP: CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP OF DEBRIS ACCUMULATED BY HIS/HER WORK AND THAT OF HIS/HER SUBCONTRACTORS AND SUPPLIERS. AT THE COMPLETION OF THE DAYS WORK, CONTRACTOR SHALL REMOVE ALL TOOLS AND DEBRIS AND LEAVE CONSTRUCTION AREA - INCLUDING OUTDOORS - CLEAN AND FREE OF OBSTRUCTION. OCCUPIED AREAS SHALL BE MAINTAINED IN A CLEAN AND ORDERLY MANNER AT ALL TIMES.
- TRASH AND RECYCLE DUMPSTERS SHALL BE LOCATED AS APPROVED BY OWNER. USE OF EXISTING TRASH DUMPSTERS AND COMPACTORS SHALL NOT BE UTILIZED UNDER ANY CIRCUMSTANCES.
- PARKING: CONTRACTOR SHALL COORDINATE THE PARKING AREA WITH THE OWNER AND OWNER'S REPRESENTATIVE PRIOR TO START OF THE WORK. VEHICLES ARE NOT PERMITTED TO REMAIN PARKED IN HANDICAPPED DESIGNATED SPACES. LOADING AREAS ARE FOR LOADING AND UNLOADING ONLY.
- G.C. SHALL PROVIDE AND INSTALL PORTABLE FIRE EXTINGUISHERS AS INDICATED ON PLAN AND AS REQUIRED BY AHJ. PROVIDE TYPE AND SIZE REQUIRED AT THE LOCATIONS INDICATED. IF VISIBLE TO THE PUBLIC, PROVIDE A RECESSED CABINET, COORDINATE AND VERIFY W/ SPECIFICATIONS. MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER SHALL BE 75 FEET.

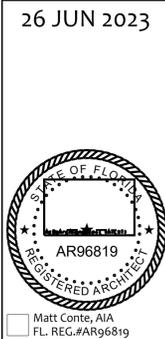
VIII CLOSE-OUT

- G.C. IS RESPONSIBLE FOR PROVIDING AND INSTALLING ADDRESS / UNIT NUMBER SIGNAGE AT FRONT AND REAR ENTRIES OR AS INDICATED ON DRAWINGS. SIGNAGE TO MEET LOCAL CODES.
- 24 HOURS PRIOR TO PUNCH-LIST OF ANY PHASE, THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL SURFACES OF DUST, DEBRIS, AND LOOSE CONSTRUCTION MATERIAL.
- UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL CLEAN THE WORK AREA TO OWNERS SATISFACTION. FINAL CLEANUP SHALL INCLUDE THE FOLLOWING: VACUUM OR MOP ALL FLOORS, SWEEP, DAMP MOP, AND WAX RESILIENT FLOORING. DUST, DIRT, PAINT DRIPPINGS, OIL, GREASE, MASTIC, ADHESIVES, AND OTHER FOREIGN MATERIALS AND BLEMISHES SHALL BE REMOVED FROM SIGHT-EXPOSED FINISHES, INCLUDING PIPES AND EQUIPMENT, WINDOWS, GLASS UNITS, GLASS DOORS AND MIRRORS SHALL BE WASHED. PAINT OVERRUNS AND PUTTY SMEARS SHALL BE REMOVED AND HARDWARE SHALL BE RUBBED CLEAN WITH FLANNEL CLOTH.
- WORK DAMAGED DURING CONSTRUCTION OR NOT CONFORMING TO SPECIFIED STANDARDS, TOLERANCES OR MANUFACTURERS INSTRUCTIONS FOR INSTALLATION SHALL BE REPLACED BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER, OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR (OR CONTRACTUALLY AGREED UPON TERM REQUIRED BY OWNER) AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.
- AN OPERATIONAL TEST OF THE EMERGENCY LIGHTING SYSTEM MAY BE REQUIRED. COORDINATE WITH BUILDING OFFICIALS.

FLORIDA PRODUCT APPROVALS & MIAMI-DADE NOTICES OF ACCEPTANCE				
PRODUCT DESCRIPTION	MANUFACTURER / MODEL	FILE NO.	DATE APPROVED	DATE EXPIRES
TPO ROOF	FIRESTONE / ULTRAPLY	NOA 15-0209.04	29 AUG 2019	29 AUG 2024
ALUMINUM STOREFRONT SYSTEM	KAWNEER /TRIFAB 451T STOREFRONT SYSTEM	FL 32590	13 APR 2021	31 DEC 2023
DRIVE-THRU WINDOW	READY ACCESS™M SERIES 600 MOER DRIVE-THRU SERVICE WINDOW	FL 5102-R6	13 OCT 2020	31 DEC 2023
HOLLOW METAL DOOR	MESKER DOOR, LLC / N SERIES OUTSWING STEEL OPAQUE DOOR	NOA 20-0708.03	23 DEC 2020	16 JUL 2025
WOOD PANELS SYSTEM	NICHHA (AWP) ARCHITECTURAL WALL PANELS 3030	NOA 22-0427.05	19 MAY 2022	01 JUN 2027

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PROJECT NAME:

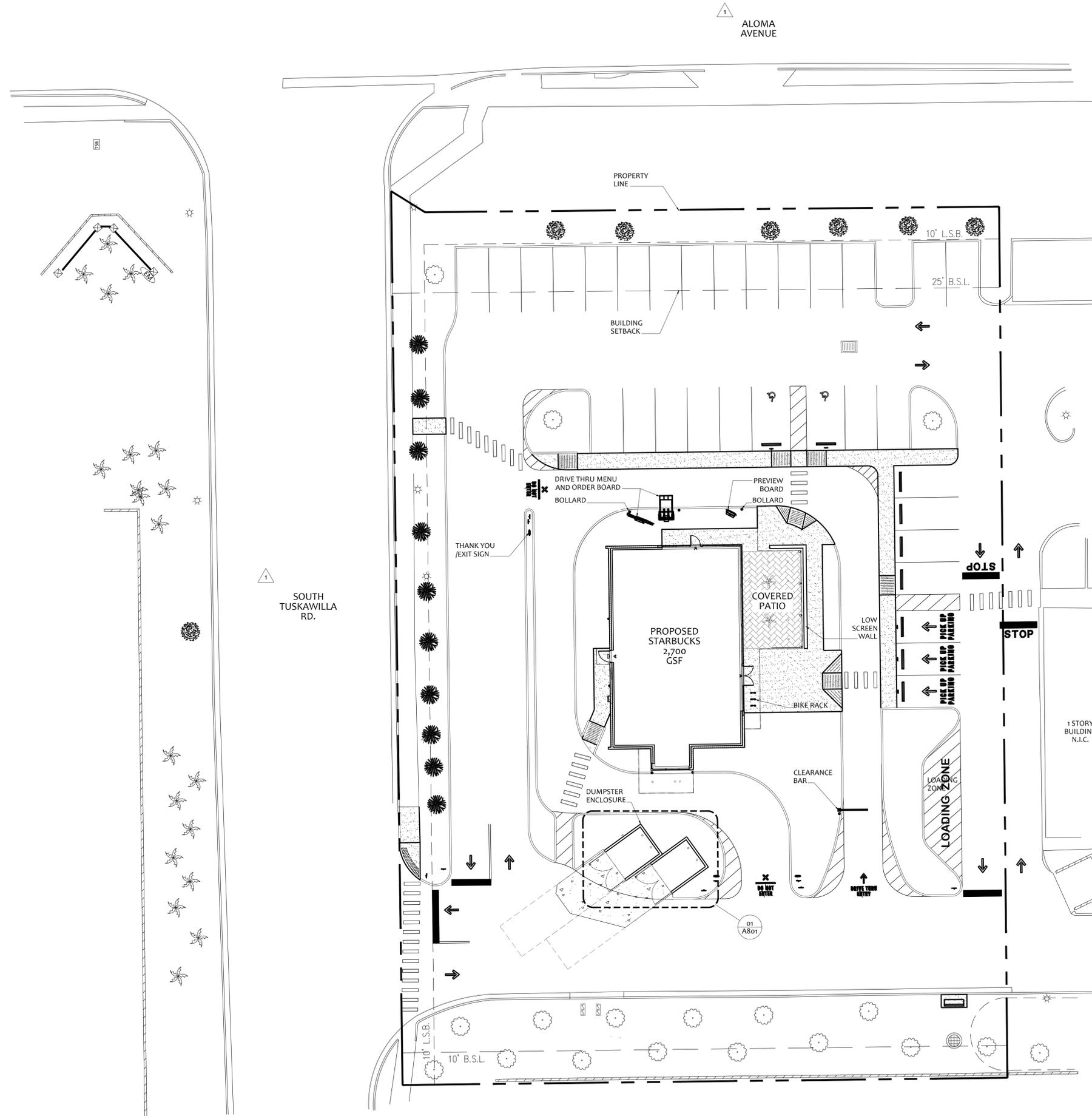
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REVISIONS		
#	DATE	DESC.
--	06.26.2023	PERMIT SUBMITTAL

A001
 GENERAL CONDITIONS



- ### SITE PLAN NOTES
1. REFERENCE SHEET A-001 FOR GENERAL CONDITIONS AND ADDITIONAL REQUIREMENTS AFFECTING THIS WORK.
 2. SITE INFORMATION SHOWN HEREIN IS TAKEN FROM INFORMATION PROVIDED BY OTHERS NOT UNDER CONTRACT/CONTROL OF THE ARCHITECT. THE ARCHITECT HAS VERIFIED THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION BASED ON VISUAL OBSERVATION ONLY. THEREFORE THE ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR ERRORS, OMISSIONS, CONFLICTS, DEFICIENCIES OR INACCURACIES ARISING FROM DISCOVERY OF CONCEALED, UNKNOWN OR DIFFERING CONDITIONS AS A RESULT OF THIS CIRCUMSTANCE. CONTRACTOR SHOULD FULLY AQUAINT HIMSELF WITH THE SITE AND FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO PERFORMING ANY WORK.
 3. REFERENCE CIVIL DRAWINGS FOR LOCATION OF BUILDING ON SITE.
 4. AFTER FINAL GRADING AND PRIOR TO CONSTRUCTION, PRE-TREAT SOIL UNDER NEW CONSTRUCTION FOR WOOD DESTROYING ORGANISMS PER FBC 1816.
 5. SITE ACCESSORIES SHOWN FOR REFERENCE ONLY, REFERENCE CIVIL DRAWINGS FOR FINAL LOCATIONS.
 6. AREA OF WORK SHOWN HATCHED.

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30 AUG 2023

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 ARCHITECTURE

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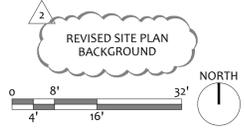
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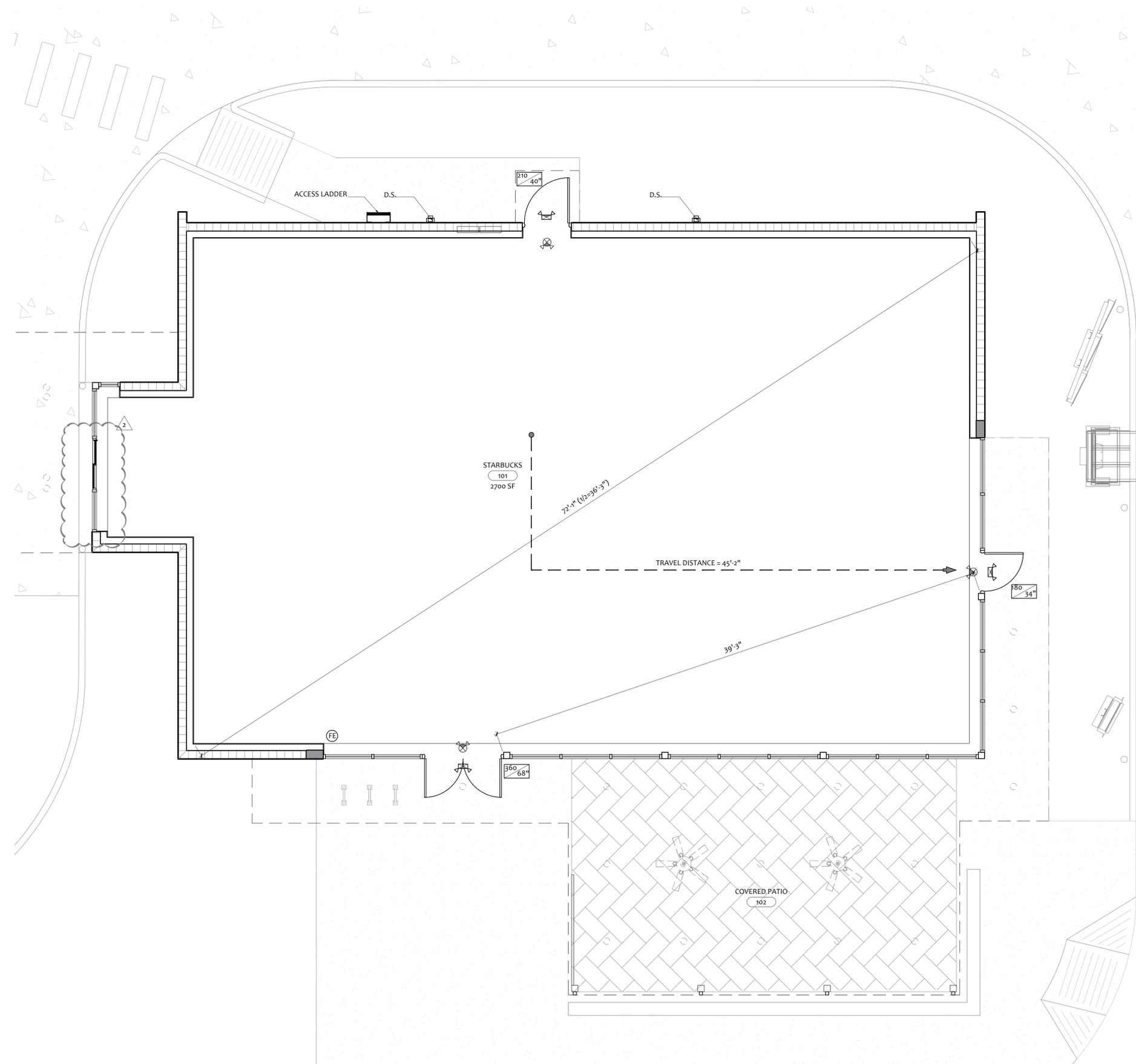
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#	DATE	DESC.
-	06.26.2023	PERMIT SUBMITTAL
1	07.10.2023	COUNTY COMMENTS
2	08.30.2023	COUNTY COMMENTS

01 SITE PLAN
 1/16" = 1'-0"





GENERAL LIFE SAFETY NOTES

1. REFERENCE SHEET A-000 FOR RATINGS OF STRUCTURAL ELEMENTS
2. FIRE EXTINGUISHERS SHALL BE LOCATED IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 10 & SECTION 13-6 OF NFPA 1 OF THE FPFC LOCATED SO THAT ALL AREAS ARE WITHIN 75'-0" OF AN EXTINGUISHER. FOR MECHANICAL AND ELECTRICAL ROOMS, USE A "2A:10B:C" LOCATED SO THAT ALL AREAS ARE WITHIN 50'-0" OF AN EXTINGUISHER. FOR KITCHENS USE A "K" EXTINGUISHER SO THAT ALL AREAS ARE WITHIN 30'-0" OF AN EXTINGUISHER.
3. COORDINATE FIRE EXTINGUISHER FINAL LOCATIONS WITH TI DRAWINGS.
4. EXIT DOOR TACTILE SIGNAGE SHALL BE PROVIDED AT EACH EXIT DOOR IN ACCORDANCE WITH SECTION 7.10.1.3, NFPA 101, 2018 EDITION

LIFE SAFETY LEGEND

	EXIT WIDTH INDICATOR (SHOWING CLEAR WIDTH OF OPENING AND NUMBER OF OCCUPANTS THAT CLEAR WIDTH CAN SERVE PER CODE)		TRAVEL DISTANCE	TRAVEL DISTANCE INDICATOR (SHOWING EXIT ACCESS TRAVEL DISTANCE FROM MOST REMOTE POINTS IN EACH AREA)
	FIRE EXTINGUISHER (10LBS 2A/10B/C) IN SEMI-RECESSED CABINET, TBD		EXIT/EMERGENCY LIGHTING; SEE ELECTRICAL DRAWINGS	

NOTES:
ALL EMERGENCY/NIGHT LIGHTS & EXITS SIGNS ARE ON EMERGENCY LIGHTING CIRCUITS, PER ELECTRICAL DWGS.

LIFE SAFETY SUMMARY CHART PER FBC TABLE 1004.1.1

FBC 2020 FUNCTION OF SPACE	PROPOSED AREA (SQ. FT.)	SQ. FT. PER OCCUPANT	OCCUPANT LOAD	EGRESS WIDTH REQUIRED (HORIZONTAL)	EGRESS WIDTH PROVIDED (HORIZONTAL)
KITCHEN	1071.27	200 GROSS	6	6 X 0.2" = 1.2"	40"
ASSEMBLY (WITHOUT CIRC.)	1144.5	15 NET	77	77 X 0.2" = 15.4"	102"
TOTAL	--	--	83	16.6"	142"

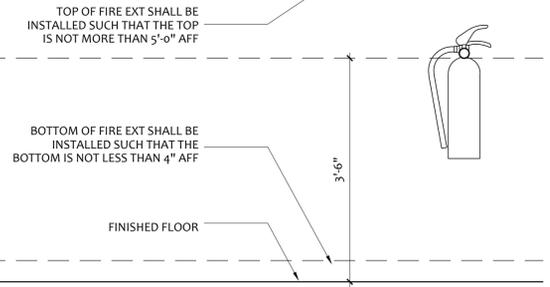
FBC TABLE 1017.2 REQUIRES THAT THE MAXIMUM EXIT ACCESS TRAVEL DISTANCE NOT EXCEED 200' (UN-SPRINKLERED). NO TRAVEL DISTANCE EXCEEDS THIS DISTANCE.

LIFE SAFETY SUMMARY CHART PER NFPA 101 7.3.1.2

NFPA 101 FUNCTION OF SPACE	PROPOSED AREA (SQ. FT.)	SQ. FT. PER OCCUPANT	OCCUPANT LOAD	EGRESS WIDTH REQUIRED (HORIZONTAL)	EGRESS WIDTH PROVIDED (HORIZONTAL)
KITCHEN	1071.27	100 GROSS	11	11 X 0.2" = 2.2"	40"
ASSEMBLY (WITHOUT CIRC.)	1144.5	15 NET	77	77 X 0.2" = 15.4"	102"
TOTAL	--	--	88	17.6"	142"

NFPA 101 36.2.6 REQUIRES THAT THE MAXIMUM EXIT ACCESS TRAVEL DISTANCE NOT EXCEED 150' (UN-SPRINKLERED). NO TRAVEL DISTANCE EXCEEDS THIS DISTANCE.

INSTALLATION OF FIRE EXTINGUISHERS SHALL COMPLY WITH FLORIDA FIRE PREVENTION CODE 1 SECTION 13.6.1.1. PROVIDE WALL MOUNTED, PORTABLE FIRE EXTINGUISHERS AS INDICATED ON THE PLAN. PROVIDE TYPE 2-A:10-B:C CLASS A LIGHT HAZARD.



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30 AUG 2023



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REVISIONS

#	DATE	DESC.
--	06.26.2023	PERMIT SUBMITTAL
1	07.10.2023	COUNTY COMMENTS
2	08.30.2023	COUNTY COMMENTS

CSI	Scope/Category	Details
073000	Roof Assembly	<p>General: Landlord shall provide fully adhered or mechanically fastened 60 Mil (nominal thickness) EPDM or TPO roofing system. System shall conform with applicable federal, state, provincial, and local building codes, and be engineered to satisfy site specific structural, fire, and thermal requirements. Insulation shall be minimum R-38 or comply with the minimum prescriptive values outlined in the IECC (International Energy Conservation Code). System shall include underlayment, rigid board insulation, glass mat cover board, sheet flashing, edge sealants, saddles, corners, and vent flashing.</p> <p>Structure: Roof Structure shall be designed in conformance with local codes and engineered to resist uplift, live, and dead loads requirements. In addition, structure shall be sized to support Tenant's RTUs, utility fan, and remote condenser (if applicable, in locations to be coordinated with Tenant).</p> <p>Finish: SRI (Solar Reflectance Index) = 79 minimum</p> <p>Flexible Walkways: Install walkway products in locations to permit travel from rooftop access to all utilities. Heat weld to substrate or adhere with compatible adhesives.</p> <p>Penetrations: Landlord shall furnish and install rooftop penetrations, curbs, and associated flashings. Size and location of penetrations shall be coordinated with and approved by Tenant prior to installation. Penetrations shall include and not be limited to the following: 1. Plumbing Vents - Extend 12" into building for Tenant's tie-in 2. Water Heater B-Vent 3. Utility Set Fan Curb 4. RTU Curbs 5. Electrical and Gas penetration for RTU's (home run elec. conduit back to tenants distribution panel) 6. Electrical Signage penetrations (home run elec. conduit back to tenants distribution panel) 7. Line set penetration for ice maker (if applicable) 8. Steepers for condensers (if applicable)</p> <p>Rooftop Access (Exterior): Provide aluminum channel exterior rooftop access ladder at rear of building in Tenant approved location. Ladder shall be fixed exterior grade with lockable access. Ladder shall be in compliance with OSHA regulations and conform with local and national</p>

CSI	Scope/Category	Details
		<p>codes.</p> <p>Drainage: Landlord shall furnish and install jurisdictionally approved rooftop drainage to tie in with site and/or municipal stormwater management system. Scupper and downspouts shall be minimum .032" thickness formed and coated aluminum, color to match adjacent finish. Coordinate scupper/downspouts with exterior building elements and Tenant provided signage.</p>
084000	Exterior Openings	<p>General: Landlord shall furnish and install all exterior doors, frames, windows and/or storefront system in compliance with all local and national codes. Thermal resistance of all openings shall comply with the prescriptive requirement of the IECC (International Energy Conservation Code).</p> <p>Vestibule: In Climate Zone 5 and above, Landlord shall furnish and install heated entry vestibule in conformance with the barrier free provisions of the code and applicable energy code requirements.</p> <p>Steel Doors: Landlord shall furnish and install up to [2] commercial grade 42" x 84" rear service door(s). Door(s) shall be cold rolled and welded 16 gauge steel with polystyrene core. Frames shall be Double Rabbit fully welded 14 gauge steel. Finish hot dip galvalume coated with two [2] coats shop prime color similar to finish.</p> <p>Aluminum Storefront: Storefront shall be 2" x 4-1/2" extruded aluminum section in conformance with ASTM B221; center set; flush design; thermally broken. Doors shall be heavy duty aluminum/glass type; out swinging with 10" bottom rail. Design and size members and anchorages to withstand wind loads as required by the jurisdictional code, and to resist door pivot and closer reaction forces. Finish shall be anodized; coordinate color with Tenant. Provide hurricane resistant frames and associated anchorage for special wind regions as defined in ASCE 7-05.</p> <p>Glazing: Storefront glazing to be clear, non-tinted, non-reflective, double glazed and low-e with U-value complying with the appropriate climatic zone in the IECC (International Energy Conservation Code) or local jurisdictional requirements. Provide impact resistant glazing in hurricane or special wind regions as defined in ASCE 7-05.</p> <p>Hardware: Landlord shall furnish and install all exterior door hardware in compliance with federal, state, provincial, and local building, life safety, and accessibility requirements.</p> <p>Aluminum Storefront: Weather stripping: Hard-backed poly pile in door and/or frame</p>

CSI	Scope/Category	Details
		<p>Threshold: Extruded aluminum with ribbed surface Sill Sweeps: Brush strip, concealed Pivoting/Hinging: Offset pivot; top and intermediate Closers: Dorma BTS 80 NHO; concealed floor closer; single acting; offset pivot Latches/Strike: Adams-Rite MS1830 with provisions for keyed cylinders on interior face only; mount to bottom rail Keying: All lockset and deadbolts shall be keyed as directed by owner Push/Pulls: Arcadia Radius Push-Pull Set; straight pull option; clear finish Cylinder Guard Transom Decal: ("THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS")</p> <p>Exterior Service Door:</p> <p>Threshold: National Guard - 325 Half Saddle Threshold Securing device: Falcon Lock - G607 7-Pin Core Combination "A" Keyway Securing device: Sur-Lock - I/O 2000L-031C Auto Locking Door Alarm, IC, No CTR Includes - Mortise Cylinder Closer: Dorma - 8916 Door Closer 8916 AF89P Kickplate: Rockwood - 10" Kickplate Peep Hole: DS-6 Door Spy Door Bell: Nutone - MCV309NWHGL Door Bell Door Stop: Rockwood 473 Door Stop with Hook Miscellaneous: National Guard - 16A Rain Drip Miscellaneous: National Guard - 137NA Weather Strip</p> <p>Regional: Provide fly fan and associated power per jurisdictional requirements Finishes: General: US26D, Satin Chrome Plated, except: Push Plates, Door Pulls, Kickplates: US32D, Satin Stainless Steel</p> <p>Door Closers: 689/Sprayed Aluminum</p>
085000	Drive Thru Window	<p>General: Landlord shall furnish and install fully operational Ready Access™ Series 600 MOER drive-thru service window. Include transom, sidelights, heater and/or air curtain as required per local code. Window and air curtain finish to match adjacent storefront. Select</p>

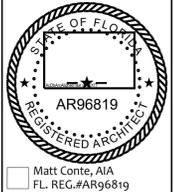
CSI	Scope/Category	Details
		<p>window based on Tenant provided criteria and geographic location of store. Coordinate window configuration (right to left or left to right) with Tenant. Electrical: Install Electrical for Drive thru window and fly fan per manufacturer's specifications. Heated Air Curtain: Install one [1] dedicated 40 amp 208/240 single phase circuit for heated air curtain system per manufacturer's specifications. Window Shelf: Install service window shelf at 36" AFF inside and 42" outside as measured above drive-thru surface. Finish shall be exterior grade, durable, no reflective surface per Tenant's approval. Example: Paperstone, Corian or equal</p>
092000	Wall Assembly	<p>General: Landlord shall provide exterior masonry wall construction and interior Gypsum Wallboard (GWB) demising walls. System shall be designed to resist dead and live loads, based on jurisdictional requirements.</p> <p>Insulation: Provide continuous wall insulation from floor to deck in sufficient thickness to meet the minimum resistance of R-21 or R13+R6.5ci (continuous insulation). In cold weather zones, provide additional insulation as required to meet the prescriptive envelope requirements of the IECC.</p> <p>Blocking: Landlord shall provide wall anchorage for all exterior Tenant furnished items. Design anchorage to resist vertical and lateral loads, with a safety factor of 2.</p> <p>Gypsum Wallboard (GWB): Landlord shall provide GWB on interior face of exterior masonry walls. Provide 6" interior furring and GWB on all exposed masonry walls. Furnish boards of maximum permissible length, with tapered edge for boards to be exposed, taped, and finished; min. 0-5/8" thick. Install per GA216 and requirements for each fire assembly. Coordinate all rough-in wall conduits, plumbing, and blocking with Tenant prior to installation of GWB. Provide interior furring and GWB on all exposed masonry walls. Interior walls shall be Level 4 finish primed white.</p> <p>Penetrations: Wall penetrations for Tenant provided fixtures, including but not limited to; building signage, sconce lighting, exterior speakers, exterior outlets, and frost-proof hose bibs shall be provided by the landlord. Penetration locations shall be coordinated with Tenant prior to installation and shall be properly waterproofed and flashed. Junction</p>

CSI	Scope/Category	Details
		<p>boxes with conduits and pull string shall be stubbed into Tenant's space for future connectivity.</p>
095000	Ceiling Assembly	<p>General: Landlord shall deliver Tenant's space with ceiling open to structure. Ceiling assembly shall meet the hourly fire ratings approved by the local jurisdiction having authority. Ceiling assembly, including fireproofing, insulation, wood, concrete, or metal structure, shall be prepped and primed to receive Tenant's future finish. Landlord shall coordinate height to bottom of structure with Tenant, and shall include adequate spacing for ceiling finishes, lighting, HVAC, and fire sprinkler system (if applicable).</p>
107000	Site Accessories	<p>Bike Rack: Landlord shall install Tenant approved bike rack(s). Install in a mutually agreed upon location which limits pedestrian disruption and adheres to the barrier free provisions of the code.</p> <p>Screening: Landlord shall provide site screening as necessary to reduce noise and light transfer to adjacent sites.</p> <p>Utility Screening: Landlord shall provide screen fence per Tenant's Design Criteria at rear of building to screen utility meters and rear access door from drive-thru lane.</p> <p>Finish: All screening shall be complementary to building aesthetic and placed in accordance with local jurisdictional requirements and Tenant's Design/Technical Criteria Package and coordinated site plan.</p>
107300	Exterior Canopies	<p>Metal: Landlord shall obtain permits, furnish, and install weather protective canopy above all entry and Egress doors at a minimum (9'-0") clear above finish floor. Canopy shall be metal type galvalume minimum 22-gauge steel in conformance with ASTM A792 A250. Canopies shall not drain onto pedestrian areas. Color: Color and canopy design per Tenant's approval.</p>
107300A	Drive Thru Exterior Canopies	<p>Drive Thru Canopy: Landlord shall obtain permits, furnish and install weather protective canopy above Drive-Thru window at a minimum (9'-6") clear above drive through lane. Canopy shall be metal type galvalume minimum 22-gauge steel in conformance with ASTM A792 A250. Minimum 5'-0" projection from the building per Tenant's Design Criteria. Color: Color and canopy design per Tenant's approval.</p>

CSI	Scope/Category	Details
210000	Fire Protection	<p>General: If required by applicable codes; Landlord shall engineer, obtain permits, furnish and install a certified fire sprinkler system in dedicated riser room. Locate fire main in BOH in Tenant approved location. Include flow valve, tamper devices, back flow prevention and applicable clearances as required by the authority having jurisdiction. System shall be fully operational and connect to Landlord provided fire alarm system.</p> <p>Installation: Landlord shall coordinate installation of sprinkler system with Tenant provided plans. Uprights, side wall, pendant, and concealed heads shall be fully coordinated with Tenant's interior layout plans and conform with all applicable codes. Sprinkler installation shall be coordinated with Tenant's GC to ensure system is inspected, certified, and fully operational prior to Tenant's occupancy.</p>
224200	Plumbing Fixtures & Equipment	<p>Plumbing Vents: Furnish, engineer, and install all plumbing vents required for tenant's future construction. Vents shall be properly sized based on tenant's future fixture unit count. Landlord shall properly flash roof penetration and extend pipe to terminate in the ceiling above tenant's space.</p> <p>Hose Bibs: Provide (2) lockable recessed frost-free bibs, located adjacent to tenants BOH entry and patio area. Final location shall be coordinated with tenant's plans prior to installation. Hose bibs shall be connected to a 0-3/4" insulated copper pipe, run through wall, and terminated above tenant's space. Leave piping exposed and visible for tenant's future connection. If system is pressurized provide 1/4 turn shut off valve.</p> <p>Metering: If hose bibs are dedicated to Tenant, Landlord shall run water usage through Tenant's water meter.</p>
233000	HVAC Ductwork	<p>General: Landlord shall furnish and install RTU's drop plenum when units are set. Extend supply and return air 3'-0" below ceiling for future Tenant tie-in. Tenant will furnish and install all HVAC duct work throughout space.</p>
233400	Exhaust Fan & Ducting	<p>Fan: Furnish and install rooftop exhaust fan, associated curb, roofing, flashing, and electrical connection to ensure fully operational system. Size fan based on the following criteria: Exhaust 80 cfm per restroom (min. 2) and 70 cfm per oven (min. 2)</p>

CSI	Scope/Category	Details
237000	HVAC	<p>Units: Furnish and install high efficiency HVAC rooftop units (RTUs), including, curbs, structural support and associated electrical, plumbing and, gas connections as required to ensure completely functional system. Tenant's approved manufacturers are Carrier and Trane. Landlord shall utilize Starbucks National HVAC Purchasing Program for unit procurement, per Tenant provided criteria package.</p> <p>Capacity: Furnish no less than 1 ton of cooling capacity per 125 SF. Furnish heating capacity per engineered calculations specific to the local climate zone of the site. Tenant prefers minimum two [2] zones of conditioned air distributed between Tenant's BOH and café space. System shall be engineered per ASHRAE 90.1-2013 and in compliance with local energy code (whichever is more stringent). Provide ducted fresh air intake integrated into air handling system in accordance with ASHRAE 62.1-2013.</p> <p>Accessories: HVAC units shall include barometric relief and economizers when required by code. HVAC units 7.5 tons and larger with economizer. HVAC units with 2000 CFM delivery or greater shall be provided with a duct mounted smoke detector in the return air duct. Units serving café space shall provide Demand Control Ventilation. Plumb all condensation drain lines per local code requirements.</p> <p>Thermostats: Landlord shall provide a minimum length of 150'-0" of low voltage thermostat cable for Tenant's future use. Cable shall be looped and left in the ceiling space, wired to units.</p> <p>Start-Up: HVAC Unit(s) shall be tested, operable and furnished with minimum MERV 8 filters. Coordinate initial mechanical start-up per manufacturer's recommendation and provide Tenant with documentation of start-up as needed to support Tenant's Commissioning requirements. Required commissioning documentation includes: Starbucks Commissioning Photo List, and Starbucks Pre-Functional Checklist (HVAC sections only). Landlord shall provide repair & maintenance documentation including but not limited to unit specifications, operations manual, testing and balancing documentation, serial number and warranty.</p> <p>Temporary Heating/Cooling: Provide temporary heating/cooling to the premises if space is not tempered at start of construction or delivery.</p>
260923	Electrical	<p>Feeders: Landlord Shall furnish and install; concealed below grade, electrical feeders from utility service point to Tenant's main panel on Premises. Standard electric service shall be 600 amp, 208Y/120V, 3 phase, 4 wire.</p>

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NOTES
LANDLORD WORK LETTERS/EXHIBITS ARE PROVIDED FOR INFORMATION AND TO BE CONSIDERED A PART OF THE CONTRACT DOCUMENTS FOR CONSTRUCTION. THE CONTRACTOR SHALL BECOME FULLY AWARE OF THE REQUIREMENTS OF THESE WORK LETTERS. IF THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THE WORK LETTERS, THE WORK LETTERS TAKE PRECEDENCE. ADVISE THE OWNER OF ANY DISCREPANCY PRIOR TO PROCEEDING WITH WORK. CONFIRM THE SCOPE AND REQUIREMENTS OF THE WORK LETTER WITH THE OWNER AND ADDITIONALLY CONFIRM THE LETTERS INCLUDED HEREIN ARE CURRENT AND ACCURATE

A005
WORK LETTER

CSI	Scope/Category	Details
		<p>Where these electrical service characteristics cannot be met due to site conditions, adjustments shall be made to the electric gear to accommodate the differences in voltage, and/or phase.</p> <p>Electrical Panels: Landlord shall furnish and install two electrical panels (Square D or equal) with a minimum of 84 circuit spaces, including breakers per Tenant's construction drawings. Provide sub-feed lugs in one panel for sub-feeding the other panel. Feeder entry shall be concealed in wall through stub-ups. Locate panels in the back of house area adjacent to rear delivery door with 36" (minimum) clearance in front of panels. The tenant main panel shall be 400A/600A main lug only panel. The tenant's sub-panel shall be 225A (minimum) main circuit breaker panel fed by sub-feed lugs in the main panel. Sub-panel shall be capable of accepting multi-pole GFCI circuit breakers up to 50A (as required to comply with NEC 210.8). The sub-panel shall be a series rated system between the main circuit breaker and the branch breakers within the panel to allow for 10kAIC rated breakers to be utilized. Label the panel as series rated per NEC requirements. Motor load on the sub-panel shall be less than 100A.</p> <p>Metering: Landlord shall provide metered service and disconnect for Tenant's use only. Starbucks service shall be metered; as required by local utility company and capable of recording instantaneous kilowatts, kilowatt-hours, and peak demand. The preferred location for the meter is on the exterior of the building adjacent to the delivery door, hidden from public view.</p> <p>Transformer: Landlord shall provide a step-down transformer when site conditions dictate an alternate service. The transformer shall be dry-type with minimum Class 155 insulation and shall meet the Department of Energy (DOE) requirements for efficiency. Step-down transformer shall be located at rear of building, mounted on a concrete pad in an area not to conflict with Tenant's drive thru (if applicable) and shielded from customer view.</p> <p>Temporary Power: If permanent electrical service is not available on the delivery date as defined in the lease, temporary service shall be provided by the Landlord. Provide service required for construction operations, with branch wiring and distribution boxes located to allow service and lighting by means of construction-type power cords. Landlord shall provide additional temporary lighting for construction operations.</p>

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Landlord Date/Initials: _____

CSI	Scope/Category	Details
		<p>door. Actuator and bollard placement shall conform with the barrier free provisions of local and national codes. Conduit, pull string, and wiring shall be run through store front jamb or wall assembly, and terminate in header above entry door.</p>
265600	Site Lighting	<p>Infrastructure: Landlord shall provide exterior lighting, conduit, wiring, footings, poles, and fixtures necessary to ensure site illumination meets minimum lighting levels as outlined below. The lighting design shall satisfy all local jurisdictional requirements including site specific regulations such as dark sky ordinances.</p> <p>Performance: Exterior lighting shall meet the following foot-candle requirements: Minimum Illumination Requirements: 1. Signage: Locate to maximize visibility, provide illumination 750 cd/m² at signage plane 2. Site entry: Provide 15-20 fc 3. Drive Thru Entry: Provide 15 fc at entry and 20 fc at window (if applicable) 4. Building Entry: Provide 20-25 fc average 5. Patio: Provide 15 fc average 6. Parking & Sidewalks: Provide 1.5 - 2.0 fc minimum 7. Service Door: Provide 5 fc average</p> <p>Energy Usage: Exterior lighting shall meet the following maximum energy usage requirements per (ASHRAE 90.1-2007) Fixtures: Fixtures shall be type LED, 3000K - 4000K 90+ CRI, fully sealed, aluminum fixtures with shielded luminaire. Pole lighting shall be in scale with Tenant's cafe, and never taller than the building. Lighting shall be held away from the building facade, fenestration, and entry to mitigate unwanted glare. Pole lighting shall be minimal in appearance, simple, modern, and non-obtrusive. Fixtures shall be anodized aluminum, single and twin pole luminaires with asymmetrical wide-spread distribution and adjustable reflectors. Provide 10'-0" to 12'-0" height (pedestrian scale) pole lighting at sidewalks and parking areas adjacent to building. Provide 18'-0" to 22'-0" height (tall) parking lot lighting at adequate spacing to ensure security lighting for parking field.</p> <p>Controls: Any exterior building lighting dedicated to Tenant occupancy shall require controls within Tenant's space.</p>

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CSI	Scope/Category	Details
273300	Site Internet & Voice Systems	<p>Landlord Initiated Connectivity: Telecommunication services will be ordered by Starbucks for the space leased however to provide Starbucks with point of feed exhibits and Landlord to coordinate initial installation of communication infrastructure with local telco or broadband provider, including the termination of ONT (Optical Network Termination) fiber and/or broadband node at the minimum point of entry. Landlord to provide electrical connectivity for potential LEC (Local Exchange Carrier) fiber node or broadband router as well as a backboard per local specification for service termination and demarcation point placement. Starbucks will require at least fiber or broadband services with minimum speeds of 50x10 Mbps. In exceptional situations, Starbucks might need access to mount roof antennas.</p> <p>Distribution: Provide [2] - 2" conduit pathways with pull strings, [1] for voice cabling, and [1] for internet cabling from LEC (Local Exchange Carrier) and cable MPOE (Minimum Point Of Entry) to Tenant's space. LEC (Local Exchange Carrier) and cable MPOE (Minimum Point Of Entry) may not be co-located. Terminate conduit in Tenant's space at the ceiling above the manager's workstation in the back of house, or as otherwise designated by Tenant.</p> <p>Service Entry: Landlord shall provide minimum 4" conduit for service entrance, or size per requirements of local service provider. Provide labeled, end-to-end pull strings in all conduits for future use.</p> <p>Remote Spaces: If Tenant's cafe space is located in multiple spaces, (e.g. kiosk with remote office and/or cafe with remote storage), Landlord will provide (2) separate 2" conduit paths to allow voice and internet connectivity between detached spaces.</p>
284600	Fire Alarm	<p>Base System: If required by applicable code; Landlord shall obtain permits, furnish, and install building monitoring and fire protection system. System shall include audible alarms, visual strobes, duct smoke and heat detectors and actuators as required per applicable codes.</p> <p>Monitoring: Central station monitoring, if located in Tenant's space, shall be furnished and installed by Landlord, placed in Tenant's approved location, and in accordance with applicable codes.</p> <p>Installation: Landlord shall be responsible for installation of all conduits, boxes, and operable components of alarm system. Phased installation of alarm system (if applicable) shall be coordinated with Tenant's construction schedule. Landlord shall manage commissioning and inspection of alarm system prior to Tenant occupancy.</p> <p>Modifications: Modification to base building design, as required to</p>

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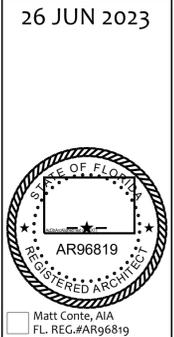
CSI	Scope/Category	Details
		coordinate with Tenant's build-out, shall be performed by Landlord and finalized prior to owner's occupancy.
481000	Solar	N/A

Landlord: Hill/Gray Seven LLC Tenant: _____
Print Name: _____ Print Name: _____
Title: _____ Title: _____
Date: _____ Date: _____

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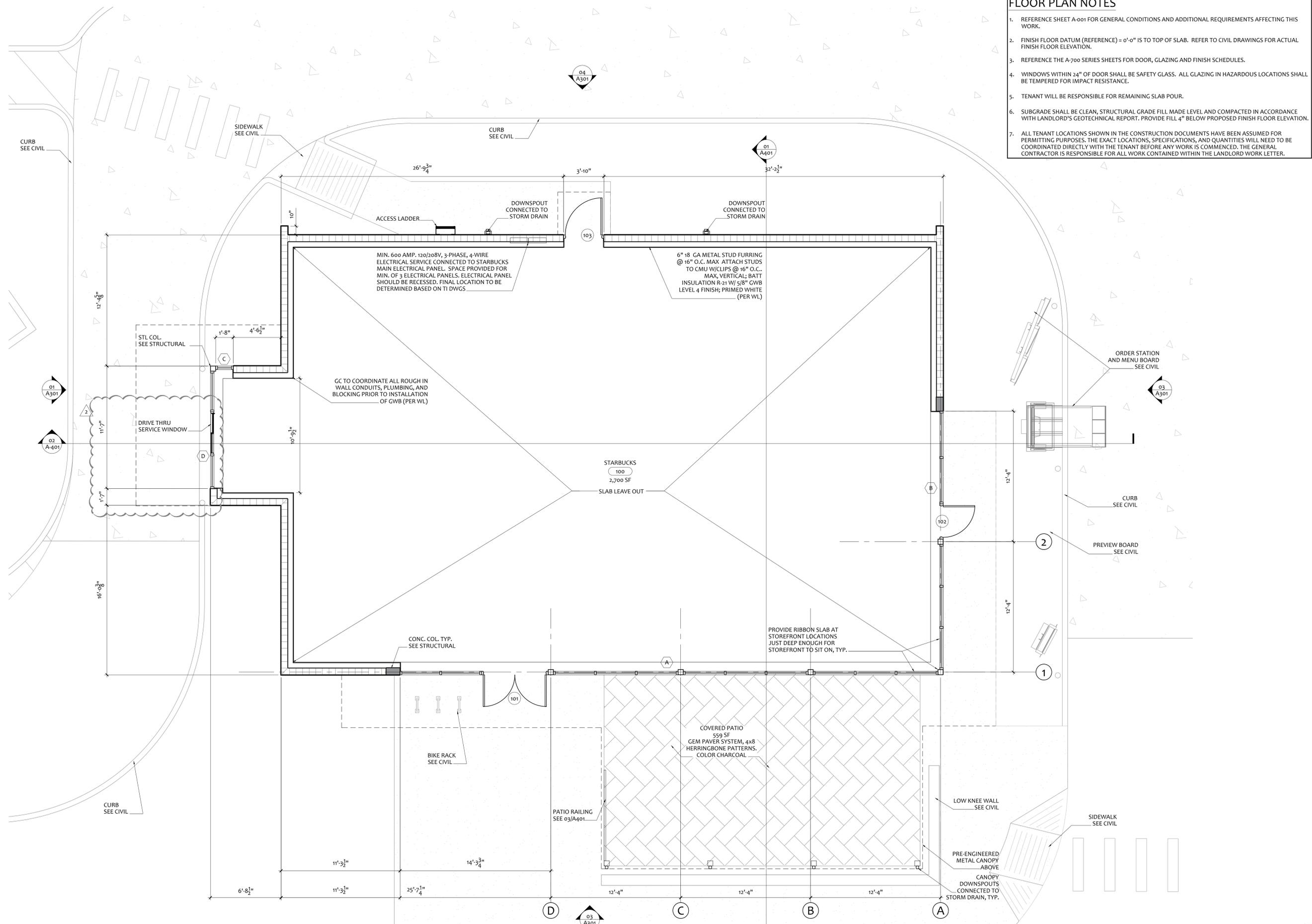
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LANDLORD WORK LETTERS/EXHIBITS ARE PROVIDED FOR INFORMATION AND TO BE CONSIDERED A PART OF THE CONTRACT DOCUMENTS FOR CONSTRUCTION. THE CONTRACTOR SHALL BECOME FULLY AWARE OF THE REQUIREMENTS OF THE WORK LETTERS. IF THERE IS A DISCREPANCY BETWEEN THE DRAWINGS AND THE WORK LETTERS, THE WORK LETTERS TAKE PRECEDENCE. ADVISE THE OWNER OF ANY DISCREPANCY PRIOR TO PROCEEDING WITH WORK. CONFIRM THE SCOPE AND REQUIREMENTS OF THE WORK LETTER WITH THE OWNER AND ADDITIONALLY CONFIRM THE LETTERS INCLUDED HEREIN ARE CURRENT AND ACCURATE

A006

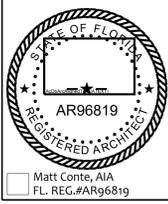
WORK LETTER



- ### FLOOR PLAN NOTES
- REFERENCE SHEET A-001 FOR GENERAL CONDITIONS AND ADDITIONAL REQUIREMENTS AFFECTING THIS WORK.
 - FINISH FLOOR DATUM (REFERENCE) = 0'-0" IS TO TOP OF SLAB. REFER TO CIVIL DRAWINGS FOR ACTUAL FINISH FLOOR ELEVATION.
 - REFERENCE THE A-700 SERIES SHEETS FOR DOOR, GLAZING AND FINISH SCHEDULES.
 - WINDOWS WITHIN 24" OF DOOR SHALL BE SAFETY GLASS. ALL GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED FOR IMPACT RESISTANCE.
 - TENANT WILL BE RESPONSIBLE FOR REMAINING SLAB POUR.
 - SUBGRADE SHALL BE CLEAN, STRUCTURAL GRADE FILL MADE LEVEL AND COMPACTED IN ACCORDANCE WITH LANDLORD'S GEOTECHNICAL REPORT. PROVIDE FILL 4" BELOW PROPOSED FINISH FLOOR ELEVATION.
 - ALL TENANT LOCATIONS SHOWN IN THE CONSTRUCTION DOCUMENTS HAVE BEEN ASSUMED FOR PERMITTING PURPOSES. THE EXACT LOCATIONS, SPECIFICATIONS, AND QUANTITIES WILL NEED TO BE COORDINATED DIRECTLY WITH THE TENANT BEFORE ANY WORK IS COMMENCED. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WORK CONTAINED WITHIN THE LANDLORD WORK LETTER.

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30 AUG 2023



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Starbucks
 100
 2,700 SF
 SLAB LEAVE OUT

PROJECT NAME:
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ELEVEN18 PROJECT LEAD:
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 mlopez@eleven18architecture.com

PROJECT TEAM:
 Javier Rosas

REVISIONS		
#	DATE	DESC.
-	06.26.2023	PERMIT SUBMITTAL
2	08.30.2023	COUNTY COMMENTS

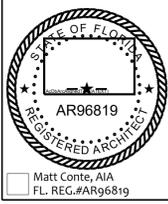
01 FLOOR PLAN
 1/4" = 1'-0"



A201
 FIRST FLOOR PLAN

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07 JUL 2023



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PROJECT TEAM:
Javier Ross

REVISIONS		
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-	06.26.2023	PERMIT SUBMITTAL
1	07.10.2023	COUNTY COMMENTS

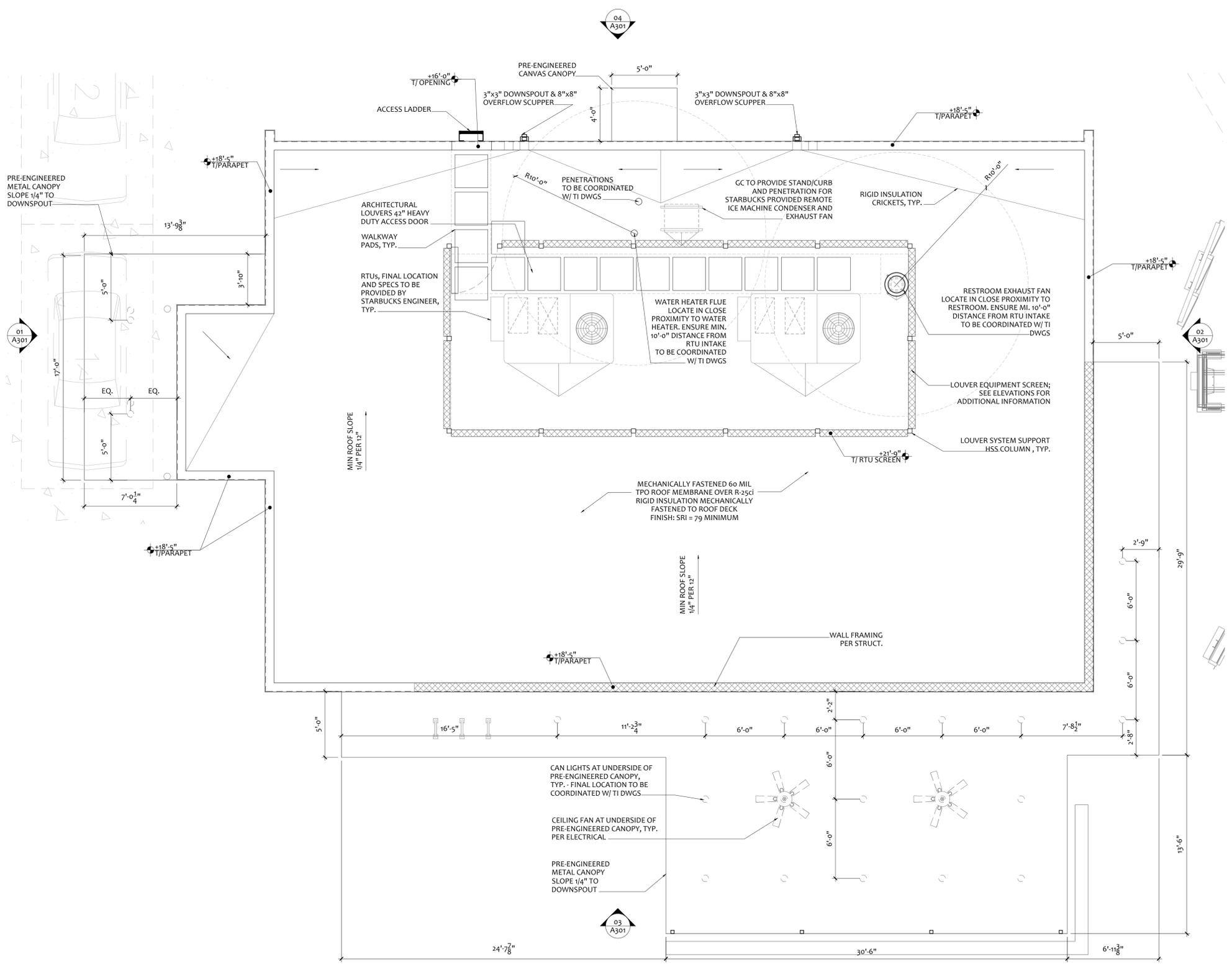
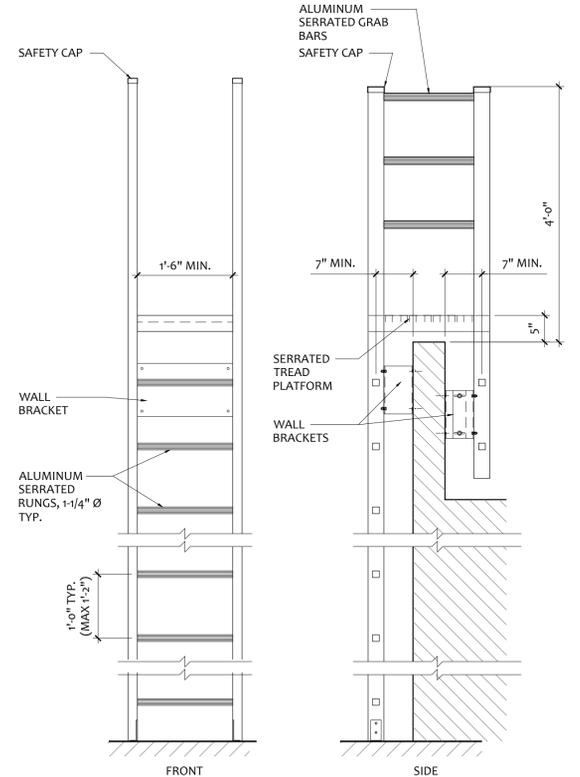
A221
ROOF PLAN

ROOF PLAN NOTES

- REFERENCE SHEET A-001 FOR GENERAL CONDITIONS AND ADDITIONAL REQUIREMENTS AFFECTING THIS WORK.
- FINISH FLOOR DATUM (REFERENCE) = 0'-0" IS TO TOP OF SLAB. REFER TO CIVIL DRAWINGS FOR ACTUAL FINISH FLOOR ELEVATION.
- ROOFING SYSTEM(S) SHALL BE DESIGNED, FABRICATED AND INSTALLED TO WITHSTAND WIND SPEED DESIGN IDENTIFIED ON STRUCTURAL DRAWINGS.
- FURNISH ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED TO INSTALL A COMPLETE ROOFING SYSTEM, COMPLETE WITH ALL ACCESSORIES AND INCIDENTALS REQUIRED BY THE ROOFING MANUFACTURER.
- INSTALLER SHALL PROVIDE CERTIFICATION FROM ROOFING SYSTEM MANUFACTURER THAT INSTALLER IS APPROVED FOR INSTALLATION OF SPECIFIED ROOFING SYSTEM.
- CONTRACTOR SHALL PROVIDE MANUFACTURERS STANDARD WARRANTY AGREEING TO PROMPT REPAIR OF LEAKS RESULTING FROM DEFECTIVE MATERIALS OR WORKMANSHIP FOR A PERIOD OF 15 YEARS.
- LANDLORD SHALL FURNISH AND INSTALL ROOFTOP PENETRATIONS, CURBS, AND ASSOCIATED FLASHINGS. SIZE AND LOCATION OF PENETRATION SHALL BE COORDINATED WITH AND APPROVED BY TENANT PRIOR TO INSTALLATION. PENETRATIONS SHALL INCLUDE AND NOT BE LIMITED TO THE FOLLOWING:
 - A. PLUMBING VENTS - EXTEND 12" INTO BUILDING FOR TENANT'S TIE-IN.
 - B. WATER HEATER B-VENT.
 - C. UTILITY SET FAN CURB.
 - D. RTU CURBS.
 - E. ELECTRICAL AND GAS PENETRATION FOR RTU'S
 - F. ELECTRICAL SIGNAGE PENETRATIONS
 - G. LINE SET PENETRATION FOR ICE MAKER
 - H. SLEEPERS FOR CONDENSERS (IF APPLICABLE)
- ENSURE ALL ELECTRICAL, GAS, CONDENSATE AND REFRIGERATION PENETRATIONS ARE PROPERLY SEALED TO MAINTAIN WATER PROOF INTEGRITY OF ROOFING.
- SCUPPERS AND DOWNSPOUTS SHALL BE MINIMUM .032" THICKNESS FORMED AND COATED ALUMINUM, COLOR TO MATCH ADJACENT FINISH. CONNECT TO SITE STORM DRAIN SYSTEM.
- ROOF EQUIPMENT FINAL LOCATIONS TO BE COORDINATED WITH TENANT DRAWINGS.
- INSTALL WALKWAY PADS PRODUCTS IN LOCATIONS TO PERMIT TRAVEL FROM ROOFTOP ACCESS TO ALL UTILITIES. HEAT WELD TO SUBSTRATE OR ADHERE WITH COMPATIBLE ADHESIVES.

PERMANENT LADDERS SHALL COMPLY WITH THE FOLLOWING MINIMUM DESIGN CRITERIA:

- RUNGS SHALL HAVE A DIAMETER NOT LESS THAN 3/4" AND BE CAPABLE OF WITHSTANDING A 300 POUND LOAD.
- CLIMBING CLEARANCE: THE DISTANCE FROM THE CENTERLINE OF THE RUNGS TO THE NEAREST PERMANENT OBJECT ON THE CLIMBING SIDE OF THE LADDER SHALL NOT BE LESS THAN 30" MEASURED PERPENDICULAR TO THE RUNGS. THIS DISTANCE SHALL BE MAINTAINED FROM THE POINT OF LADDER ACCESS TO THE BOTTOM OF THE ROOF HATCH. A MINIMUM CLEAR WIDTH OF 15" SHALL BE PROVIDED ON BOTH SIDES OF THE LADDER MEASURED FROM THE MIDPOINT OF AND PARALLEL TO THE RUNGS EXCEPT WHERE CAGES OR WELLS ARE INSTALLED.
- LANDING REQUIRED: PROVIDE A CLEAR AND UNOBSTRUCTED BOTTOM LANDING AREA HAVING A MINIMUM DIMENSIONS OF 30" X 30" CENTERED IN FRONT OF THE LADDER.
- LADDERS SHALL BE PROTECTED AGAINST CORROSION BY APPROVED MEANS.
- ACCESS TO LADDERS SHALL BE PROVIDED AT ALL TIMES.



01 ROOF PLAN
1/4" = 1'-0"

02 LADDER DETAILS
3/4" = 1'-0"

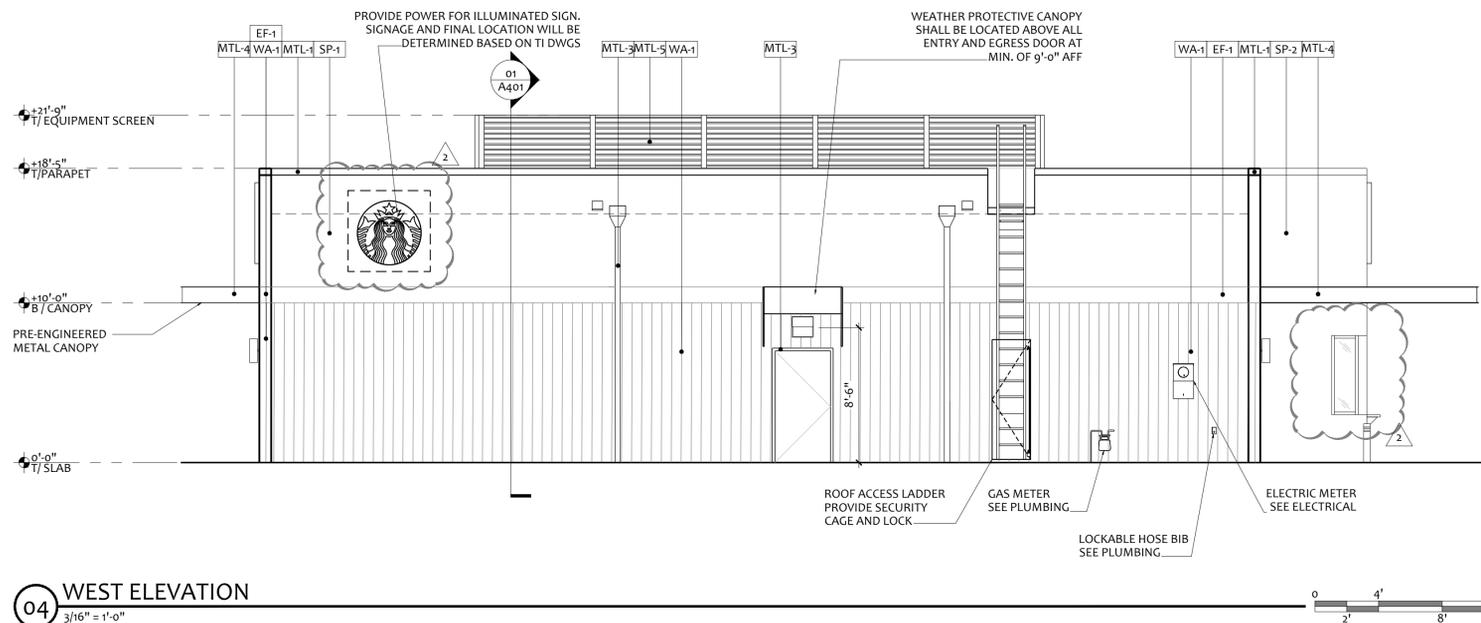


ELEVATION NOTES

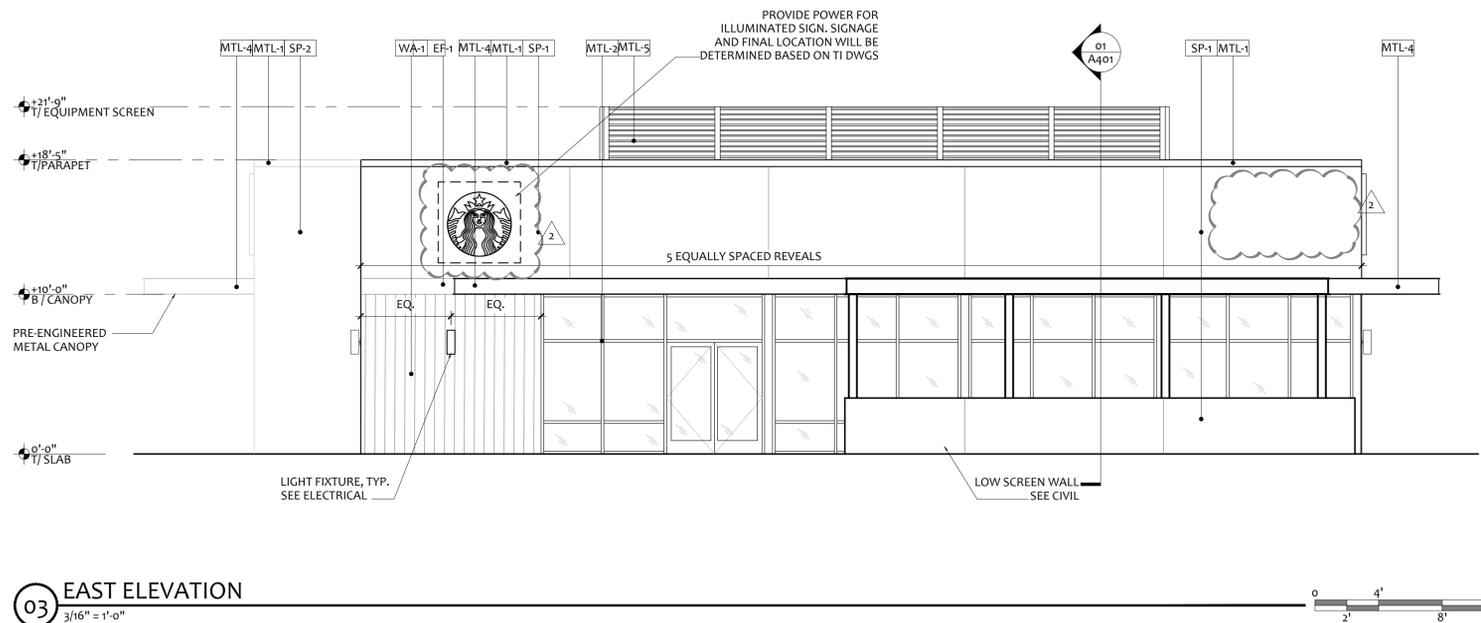
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2. FINISH FLOOR DATUM (REFERENCE) = 0'-0" IS TO TOP OF SLAB. REFER TO CIVIL DRAWINGS FOR ACTUAL FINISH FLOOR ELEVATION.
3. ALL PRE-MANUFACTURED TRIM, MOULDINGS, CLADDING & COMPONENTS SHALL BE FASTENED & ADHERED TO BUILDING PER MANUFACTURER SPECIFICATIONS TO WITHSTAND DESIGN WIND PRESSURE IDENTIFIED ON STRUCTURAL DRAWINGS.
4. COORDINATE WITH ARCHITECT THE LOCATION OF ALL ADDITIONAL CONTROL JOINTS REQUIRED BUT NOT INDICATED ON PLANS.
5. ALL EXTERIOR SURFACES TO BE PAINTED IN FIELD OR BE PROVIDED WITH FACTORY OR SHOP APPLIED FINISH AS REQUIRED. ALL COLORS SHALL BE SELECTED BY ARCHITECT, APPROVED BY OWNER.
6. COLOR AND CANOPY DESIGN PER TENANT'S APPROVAL. CANOPIES SHALL NOT DRAIN ONTO PEDESTRIAN AREAS.
7. DRIVE THROUGH CANOPY SHALL HAVE A MINIMUM 5'-0" PROJECTION FROM BUILDING PER TENANT'S DESIGN CRITERIA.

ELEVATION FINISH LEGEND

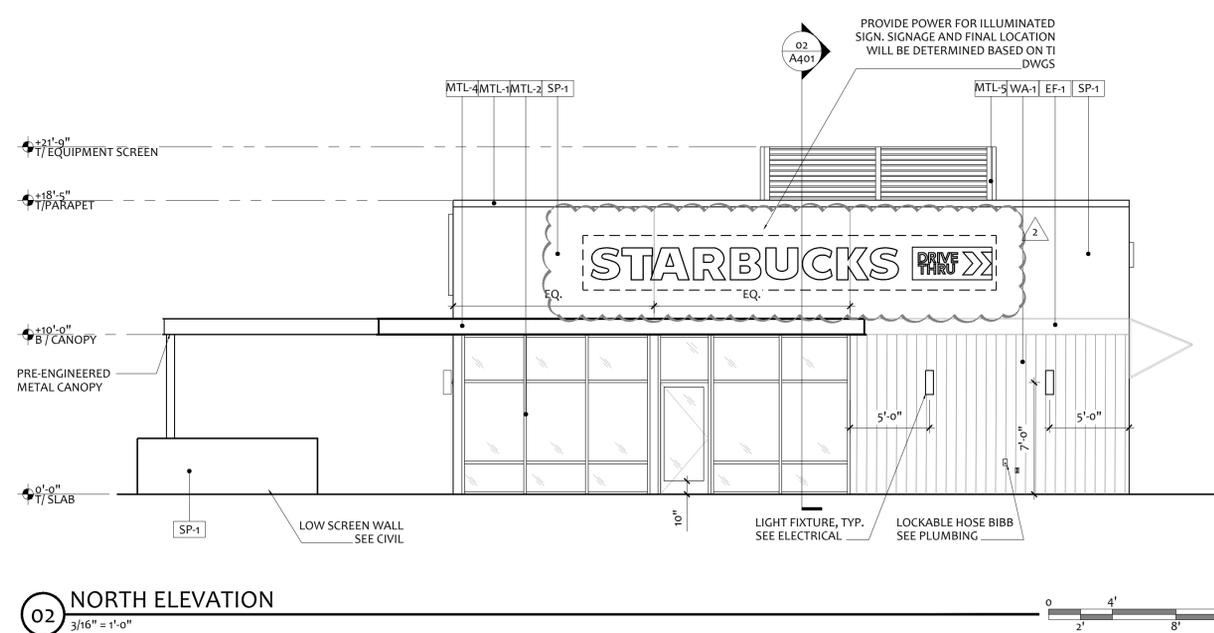
CODE	MATERIAL	MANUFACTURER	DESCRIPTION	
			COLOR	NOTES
SP-1	STUCCO	---	SW 7504 "KEYSTONE GRAY"	
SP-2	STUCCO	---	SW 7026 "GRIFFIN"	
EF-1	EIFS	---	MATCH FLAT BLACK CANOPY/STOREFRONT	
WA-1	WOOD PANEL SYSTEM	NICHIHA AWP 3030	VINTAGE WOOD / BARK	INSTALLED VERTICALLY
MTL-1	METAL COPING	---	PREFINISHED TO MATCH BLACK	
MTL-2	ALUMINUM STOREFRONT SYSTEM	---	BLACK ANODIZED	
MTL-3	HOLLOW METAL FRAME & DOWNSPOUT	---	PAINT SEMI GLOSS BLACK	
MTL-4	PRE-ENGINEERED METAL CANOPY	---	POWDERCOAT TO MATCH FLAT BLACK	METAL TYPE GALVALUME MIN 22GA STEEL
MTL-5	ROOFTOP EQUIPMENT SCREEN	ARCHITECTURAL LOUVERS / V6JF	POWDERCOAT TO MATCH FLAT BLACK	RECTANGULAR UNIT W/ STIFFENERS - INSET MOUNT



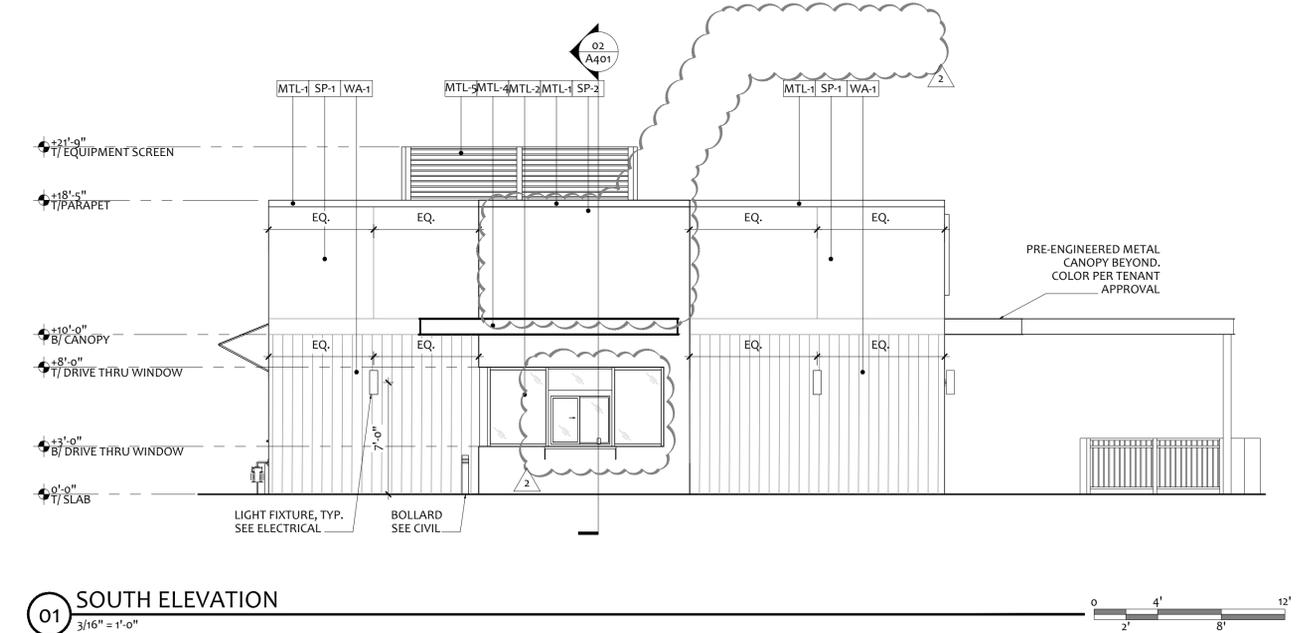
04 WEST ELEVATION
3/16" = 1'-0"



03 EAST ELEVATION
3/16" = 1'-0"



02 NORTH ELEVATION
3/16" = 1'-0"

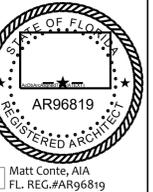


01 SOUTH ELEVATION
3/16" = 1'-0"

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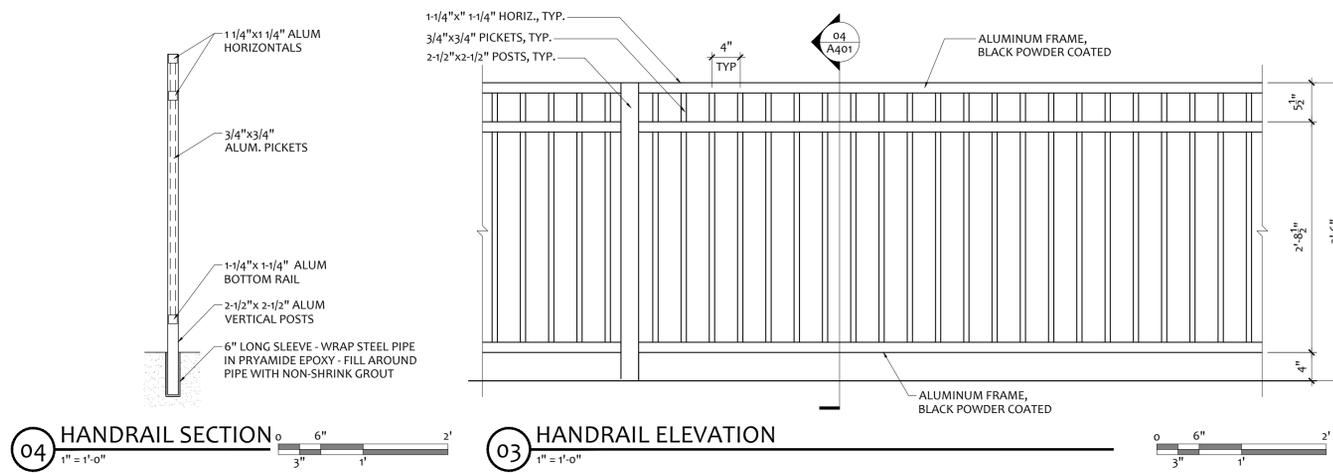
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REVISIONS

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-	06.26.2023	PERMIT SUBMITTAL
2	08.30.2023	COUNTY COMMENTS

A301
EXTERIOR ELEVATIONS



04 HANDRAIL SECTION
1" = 1'-0"

03 HANDRAIL ELEVATION
1" = 1'-0"

BUILDING SECTION NOTES

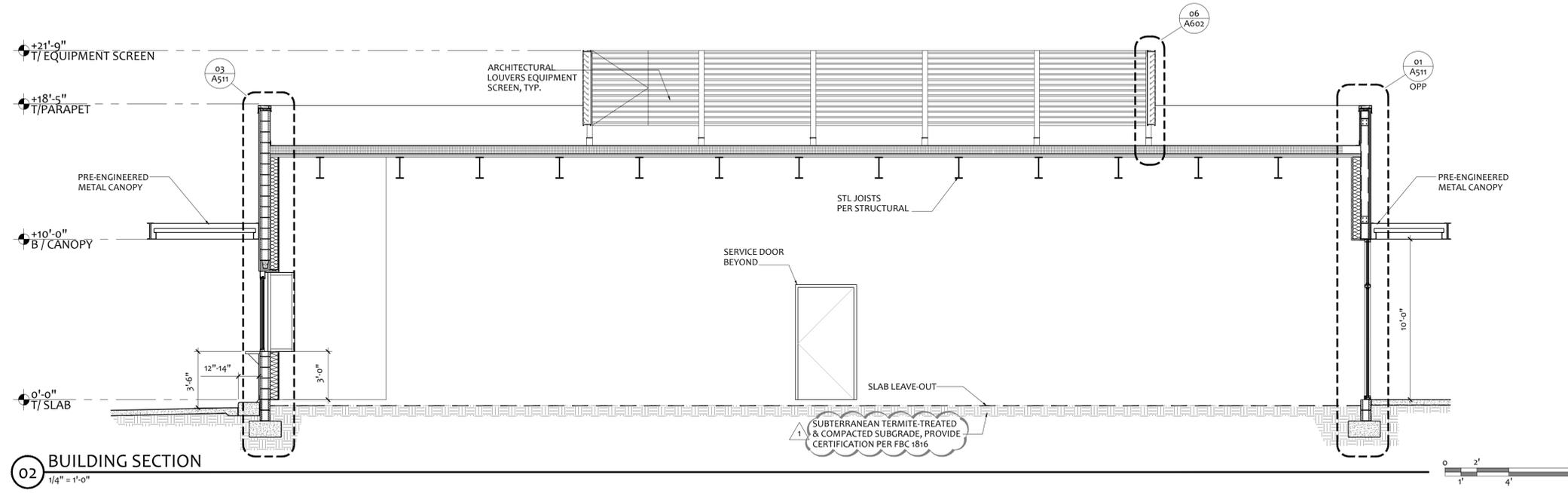
1. REFERENCE SHEET A-001 FOR GENERAL CONDITIONS AND ADDITIONAL REQUIREMENTS AFFECTING THIS WORK.
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07 JUL 2023

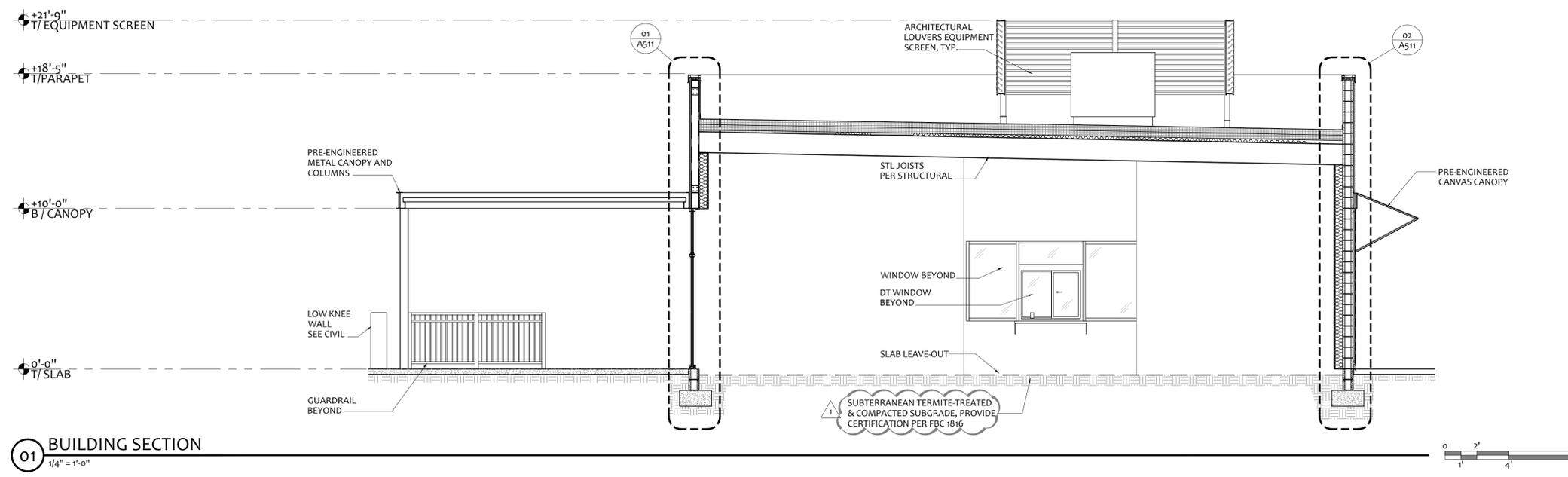
Matt Conte, AIA
FL. REG. #AR96819

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02 BUILDING SECTION
1/4" = 1'-0"

PROJECT NAME:
STARBUCKS TUSKAWILLA
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01 BUILDING SECTION
1/4" = 1'-0"

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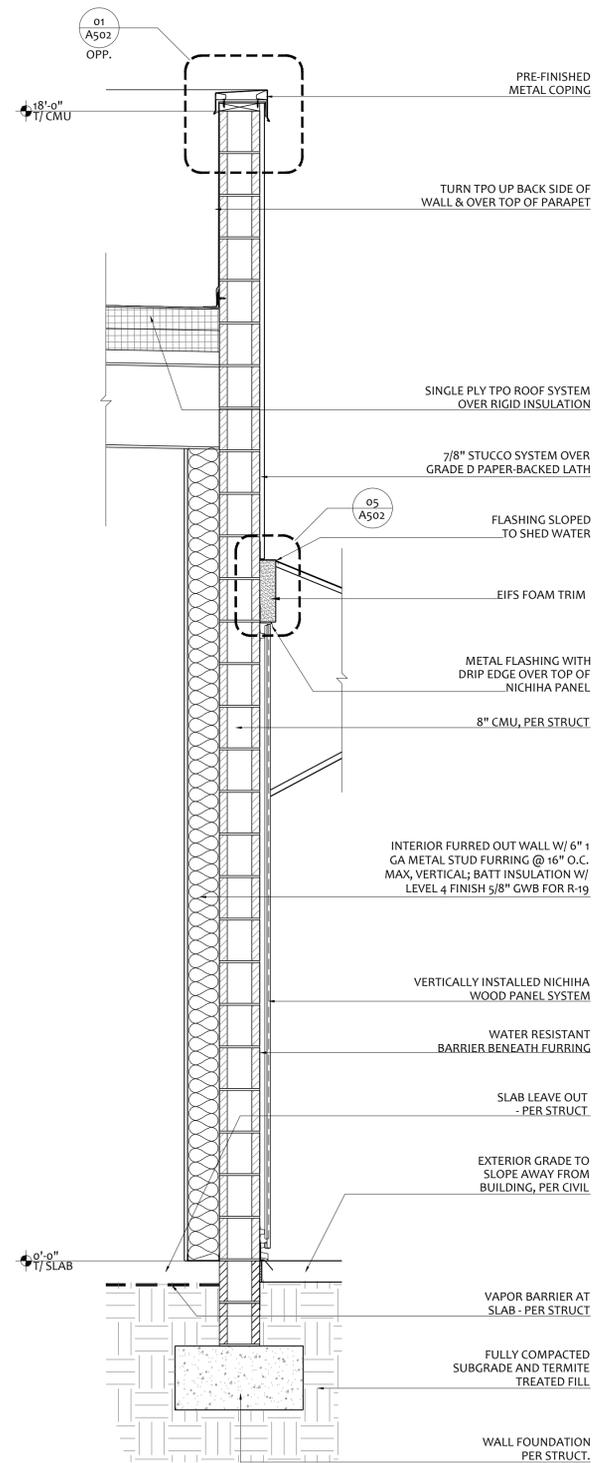
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#	DATE	DESC.
-	06.26.2023	PERMIT SUBMITTAL
1	07.10.2023	COUNTY COMMENTS

A401
OVERALL BUILDING SECTIONS

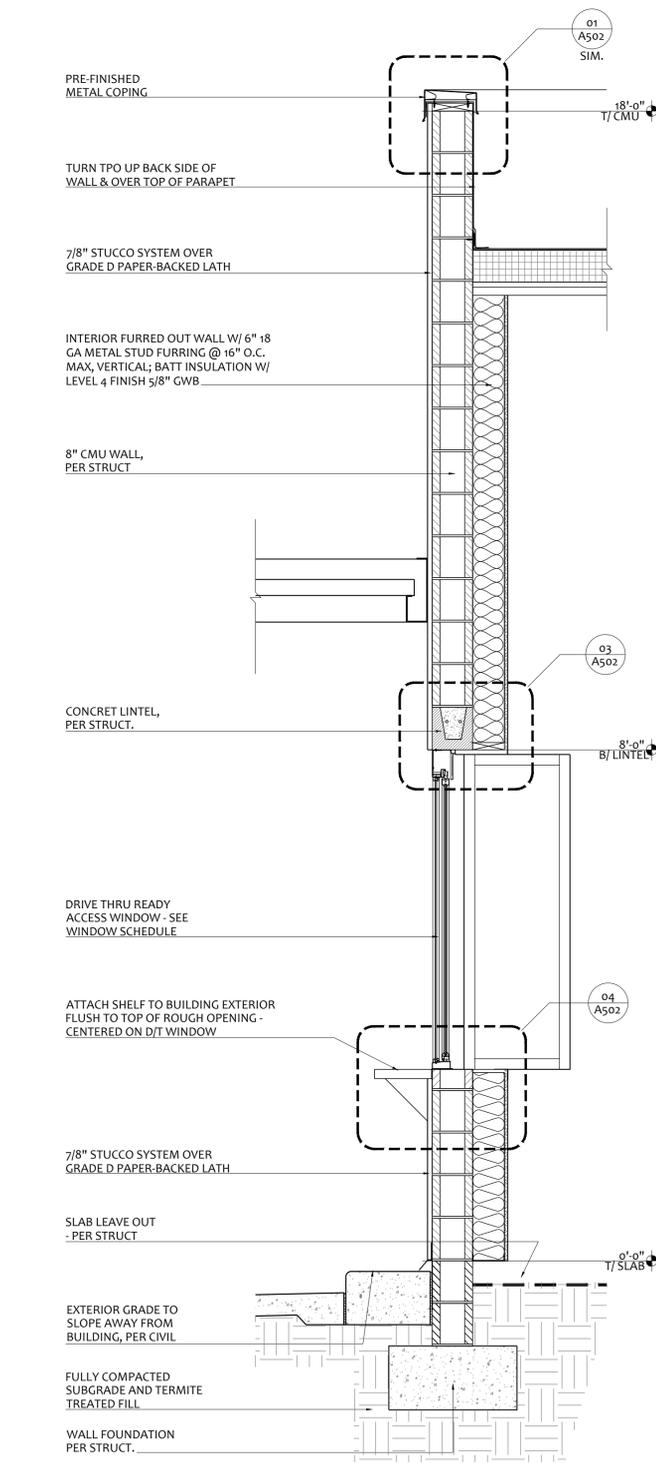
WALL SECTION NOTES

- LANDLORD SHALL PROVIDE GWB ON INTERIOR FACE OF EXTERIOR MASONRY WALLS. PROVIDE 6" INTERIOR FURRING AND GWB ON ALL EXPOSED MASONRY WALLS. FURNISH BOARDS OF MAXIMUM PERMISSIBLE LENGTH, WITH TAPERED EDGE FOR BOARDS TO BE EXPOSED, TAPED, AND FINISHED; MIN. 5/8" THICK. INSTALL PER GA-216. COORDINATE ALL ROUGH-IN WALL CONDUITS, PLUMBING, AND BLOCKING WITH TENANT PRIOR INSTALLATION OF GWB. INTERIOR WALLS SHALL BE LEVEL 4 FINISH PRIMED WHITE.
- WALL PENETRATIONS FOR TENANT PROVIDED FIXTURES, INCLUDING BUT NOT LIMITED TO, BUILDING SIGNAGE, SCONCE LIGHTING, EXTERIOR SPEAKERS, EXTERIOR OUTLETS, AND FROST-PROOF HOSE BIBS SHALL BE PROVIDED BY THE LANDLORD. PENETRATION LOCATIONS SHALL BE COORDINATED WITH TENANT PRIOR TO INSTALLATION AND SHALL BE PROPERLY WATERPROOFED AND FLASHED. JUNCTION BOXES WITH CONDUITS AND PULL STRING SHALL BE STUBBED INTO TENANT'S SPACE FOR FUTURE CONNECTIVITY.

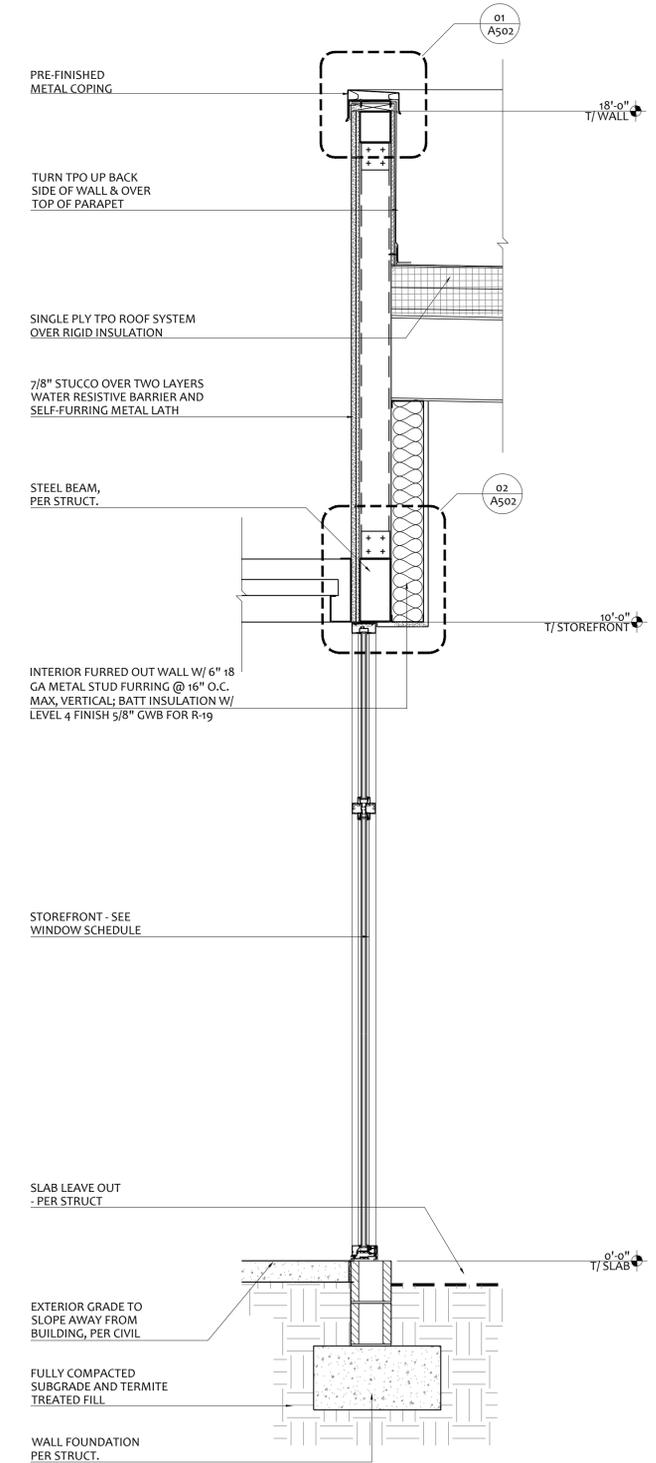
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03 WALL SECTION
 3/4" = 1'-0"
 0 1' 3'
 6" 2'



02 WALL SECTION
 3/4" = 1'-0"
 0 1' 3'
 6" 2'



01 WALL SECTION
 3/4" = 1'-0"
 0 1' 3'
 6" 2'

26JUN 2023



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A511
 WALLS SECTIONS

26 JUN 2023



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#	DATE	DESC.
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A601
 STO DETAILS

sto

StoPowerwall® ExtraSeal® Small Pipe Penetration

Detail No.: 65c.70
 Date: August 2022
 Page 1 of 2

Step 3
 After applying Sto ExtraSeal® Scratch Coat and Sto Powerwall® Brown Coat around the pipe, install self-adhesive quarter round Backer Rod around the pipe against the Brown Coat and pipe, followed by Sealant.

Step 4
 When sealant is fully cured, install Sto Textured Finish up to edge of sealant (not over sealant).

Notes:

1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
2. Refer to General Notes for specific information and design guidance on wall assembly components.
3. Stucco brown coat material in compliance with ASTM C926 and manufactured or listed by Sto Corp.
4. Consult Spray Foam manufacturer for maximum size of gap for product being used.
5. Refer to applicable Sto guide specifications, product bulletins, Tech Hotlines, and other Sto guide details for additional information.
6. Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

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sto

StoPowerwall® ExtraSeal® Small Pipe Penetration

Detail No.: 65c.70
 Date: August 2022
 Page 2 of 2

Step 1
 Use Urethane Spray Foam or Sto Tubulocast to fill gaps. Allow foam to cure properly before trimming flush with face of masonry substrate.

Step 2
 Slot Sto Mesh in center to fit around pipe and embed Sto Mesh in Sto ExtraSeal.

Notes:

1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
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StoPowerwall® ExtraSeal® Small Pipe Penetration

Detail No.: 65c.70
 Date: August 2022
 Page 1 of 2

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StoPowerwall® ExtraSeal® Small Pipe Penetration

Detail No.: 65c.70
 Date: August 2022
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Step 2
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Notes:

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5. Refer to applicable Sto guide specifications, product bulletins, Tech Hotlines, and other Sto guide details for additional information.
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sto

StoPowerwall® ExtraSeal® Rough Opening Protection

Detail No.: 65c.23
 Date: August 2022
 Page 1 of 2

Step 1
 Apply Sto ExtraSeal® Skim Coat over complete surface to produce a void and pinhole free surface. Let surface dry completely before applying Sto RapidGuard®.

Step 2
 Apply fillet beads of Sto RapidGuard® at interior corners at jamb/head into the rough opening, and taping onto Sto ExtraSeal on the face of the wall at a dimension that DOES NOT EXCEED THE WIDTH OF THE PERFORATED FLANGE OF ACCESSORIES that will surround the opening. Treat entire rough opening surface and overlap onto face all the way around to produce a void and pinhole free surface.

Notes:

1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
2. Refer to General Notes for specific information and design guidance on wall assembly components.
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StoPowerwall® ExtraSeal® Rough Opening Protection

Detail No.: 65c.23
 Date: August 2022
 Page 2 of 2

Step 1
 Apply Sto ExtraSeal® Skim Coat over complete surface to produce a void and pinhole free surface. Let surface dry completely before applying Sto RapidGuard®.

Step 2
 Apply fillet beads of Sto RapidGuard® at interior corners at jamb/head into the rough opening, and taping onto Sto ExtraSeal on the face of the wall at a dimension that DOES NOT EXCEED THE WIDTH OF THE PERFORATED FLANGE OF ACCESSORIES that will surround the opening. Treat entire rough opening surface and overlap onto face all the way around to produce a void and pinhole free surface.

Notes:

1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
2. Refer to General Notes for specific information and design guidance on wall assembly components.
3. Stucco brown coat material in compliance with ASTM C926 and manufactured or listed by Sto Corp.
4. Refer to applicable Sto guide specifications, product bulletins, Tech Hotlines, and other Sto guide details for additional information.
5. Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

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sto

StoPowerwall® ExtraSeal® Unrestrained Joint at Dissimilar Material - Column Interface

Detail No.: 65c.41A
 Date: August 2022
 Page 1 of 2

Notes:

1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
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sto

StoPowerwall® ExtraSeal® Unrestrained Joint at Dissimilar Material - Column Interface

Detail No.: 65c.41A
 Date: August 2022
 Page 2 of 2

Notes:

1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
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StoPowerwall® ExtraSeal® Box Window - Jamb and Sill

Detail No.: 65c.27
 Date: August 2022

Notes:

1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
2. Refer to General Notes for specific information and design guidance on wall assembly components.
3. Stucco brown coat material in compliance with ASTM C926 and manufactured or listed by Sto Corp.
4. The complete installation of window or mechanical equipment must include an air seal between the object and the StoGuard protection inboard of the outer perimeter weather seal.
5. Refer to applicable Sto guide specifications, product bulletins, Tech Hotlines, and other Sto guide details for additional information.
6. Components not identified as Sto are furnished by other manufacturers and are not necessarily installed by trades who install the Sto products. Refer to project specific contract documents.

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StoPowerwall® ExtraSeal® Parapet - Front

Detail No.: 65c.81
 Date: August 2022
 Page 1 of 2

Notes:

1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
2. Refer to General Notes for specific information and design guidance on wall assembly components.
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StoPowerwall® ExtraSeal® Parapet - Front

Detail No.: 65c.81
 Date: August 2022
 Page 2 of 2

Notes:

1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
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StoPowerwall® ExtraSeal® Box Window - Head

Detail No.: 65c.28
 Date: August 2022

Notes:

1. Refer to StoGuard Product Use Chart (Table 1.1) for StoGuard detail components; joint treatment, rough opening protection, backing for masonry anchors, or transitions to dissimilar materials, joints and seams in construction.
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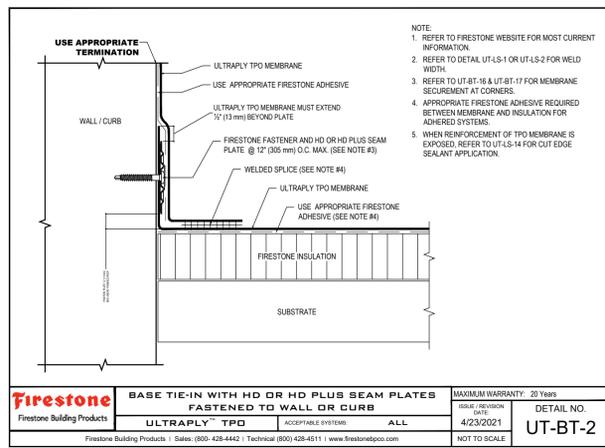
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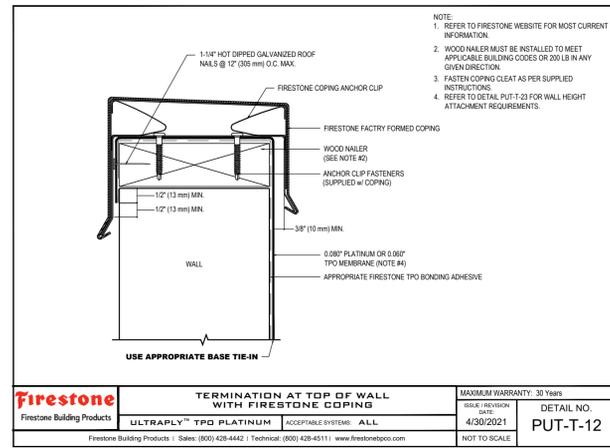
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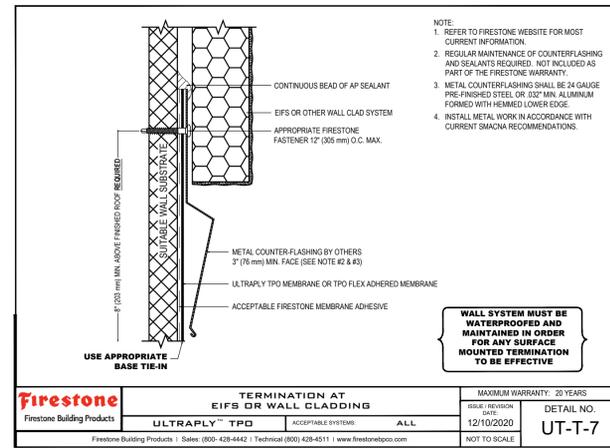
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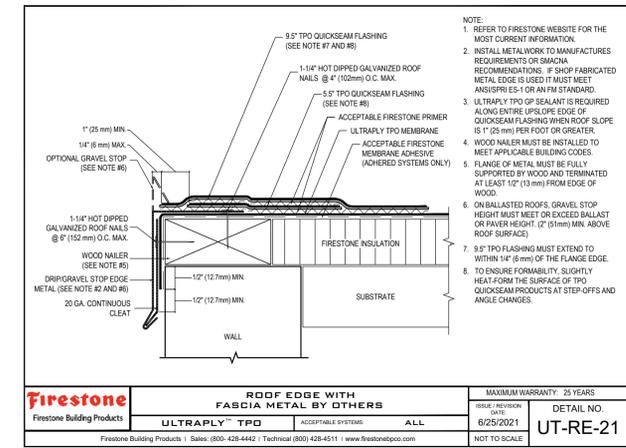
10 TPO BASE DETAIL
1-1/2" = 1'-0"



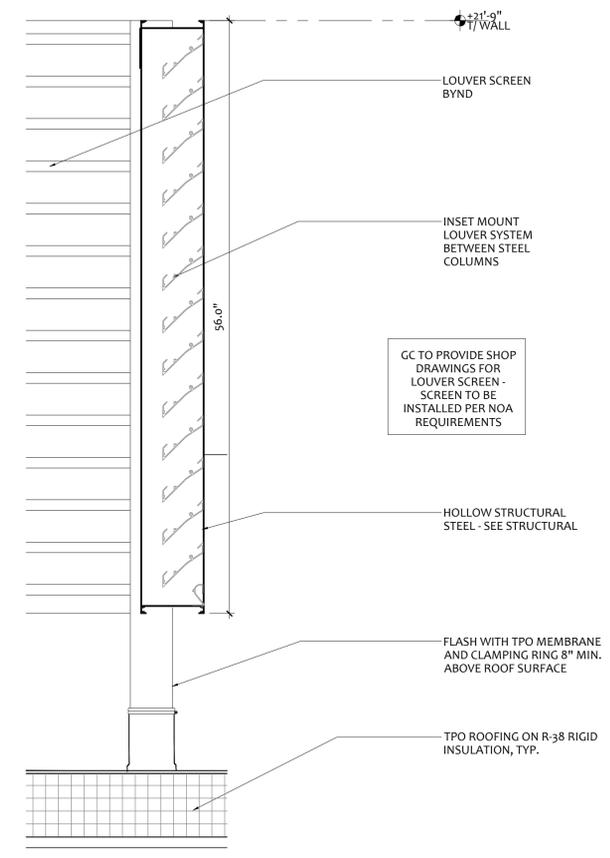
9 TPO COPING DETAIL
1-1/2" = 1'-0"



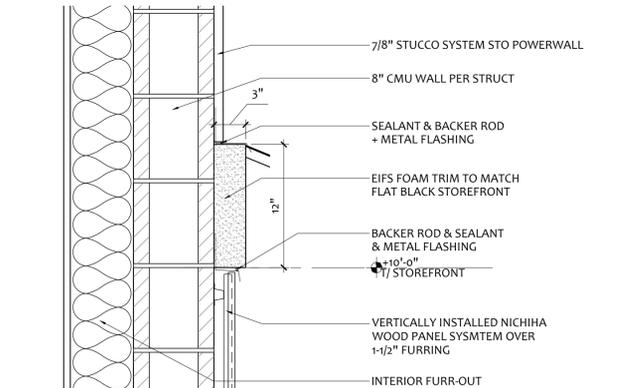
8 TPO TERMINATION DETAIL
1-1/2" = 1'-0"



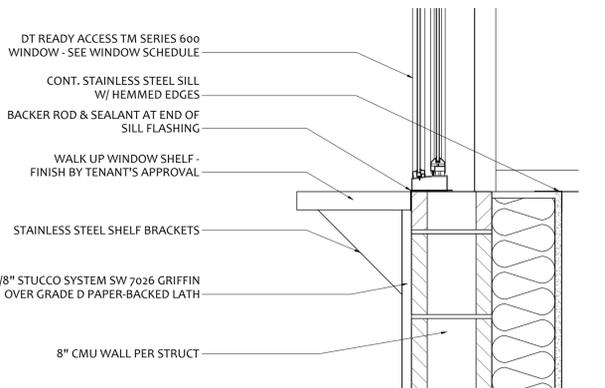
7 ROOF EDGE DETAIL
1-1/2" = 1'-0"



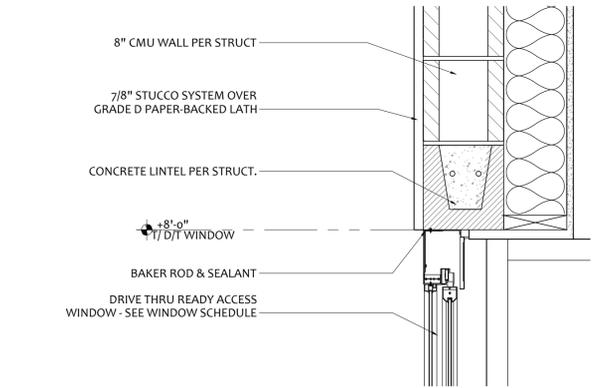
6 ROOF EQUIPMENT ENCLOSURE
1-1/2" = 1'-0"



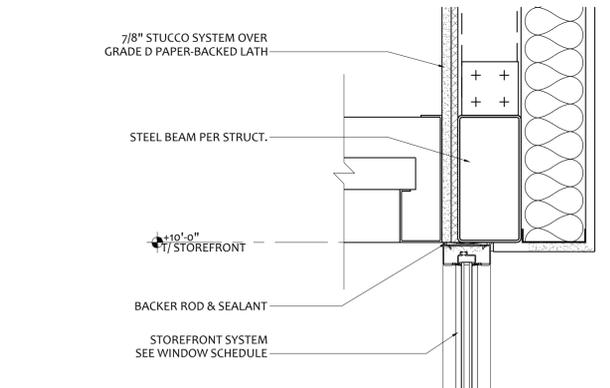
5 EIFS TRIM DETAIL
1-1/2" = 1'-0"



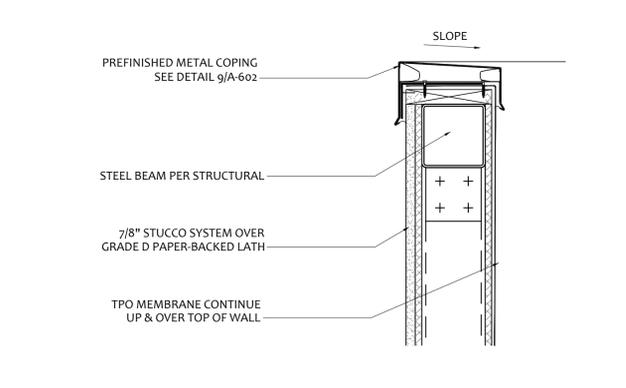
4 D/THRU WINDOW-SHELF DETAIL
1-1/2" = 1'-0"



3 HEAD D/THRU WINDOW DETAIL
1-1/2" = 1'-0"



2 HEAD STOREFRONT DETAIL
1-1/2" = 1'-0"



1 PARAPET CAP DETAIL
1-1/2" = 1'-0"

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PROJECT TEAM:
Javier Rossas

REVISIONS		
#	DATE	DESC.
-	06.26.2023	PERMIT SUBMITTAL

A602
WALL & ROOF DETAILS

GENERAL NOTES

- EXIT DOORS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT. DEVICES SHALL BE CAPABLE OF OPERATING WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST TO OPERATE. HARDWARE REQUIRED FOR ACCESSIBLE DOOR PASSAGE SHALL BE MOUNTED NO HIGHER THAN 48 INCHES ABOVE FINISH FLOOR.
- DOOR CLOSERS TO BE SET AT MAXIMUM OF 5 LBF.
- THRESHOLDS: CHANGES IN LEVEL GREATER THAN 1/4" IN HEIGHT AND NOT MORE THAN 1/2" MAX. IN HEIGHT SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.
- DOOR HARDWARE SHALL BE MOUNTED BETWEEN 36" AND 42" ABOVE FLOOR AND BE LEVER TYPE.
- ALL HARDWARE WILL BE US260 SATIN CHROME PLATED, EXCEPT: PUSH PLATES, DOOR PULLS, KICKPLATES WHICH SHOULD BE US32D STAINLESS STEEL, UNLESS OTHERWISE NOTED.

GLAZING NOTES

- ALL GLASS & GLAZING SHALL COMPLY WITH CHAPTER 54 OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS (16-CFR PART 1201).
- ALL GLAZING, GLAZING SYSTEMS, COMPONENTS & CLADDING SHALL MEET THE DESIGN WIND PRESSURES SPECIFIED IN COMPLIANCE WITH IBC 16.06-16.1 WINDOW & DOOR MANUFACTURERS TEST REPORTS & INSTALLATION DETAILS SHALL BE INCLUDED AS PART OF PERMIT SUBMITTAL. SUBMIT SHOP DRAWINGS OF ALL DOORS, GLAZING & HARDWARE FOR REVIEW.
- ALL GLAZING WITHIN 24" OF DOOR SHALL BE SAFETY GLASS. ALL GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED FOR IMPACT RESISTANCE.

HARDWARE GROUPS

HARDWARE GROUP A (STOREFRONT/ENTRY)

- WEATHER STRIPPING: HARD-BACKED POLY PILE IN DOOR AND/ON FRAME.
- THRESHOLD: EXTRUDED ALUMINUM WITH RIBBED SURFACE.
- SILL SWEEPS: BRUSH STRIP, CONCEALED.
- PIVOTING/HINGING: OFFSET PIVOT: TOP AND INTERMEDIATE
- CLOSERS: DORMA BTS 80 NHO; CONCEALED FLOOR CLOSER, SINGLE ACTING, OFFSET PIVOT.
- LATCHES/STRIKE: ADAMS-RITE MS1830 WITH PROVISIONS FOR KEYED CYLINDERS ON INTERIOR FACE ONLY; MOUNT TO BOTTOM RAIL.
- KEYING: ALL LOCKSET AND DEADBOLTS SHALL BE KEYED AS DIRECTED BY OWNER
- PUSH/PULLS: ARCADIA RADIUS PUSH-PULL SET: STRAIGHT PULL OPTION: CLEAR FINISH
- CYLINDER GUARD
- TRANSOM DECAL ("THIS DOOR TO REMAIN UNLOCKED DURING BUSSINES HOURS")

- NOTES:
- GC TO PROVIDE ALL HARDWARE NOT PROVIDED BY STOREFRONT VENDOR
 - ALL LOCKSET AND DEADBOLTS SHALL BE KEYED AS DIRECTED BY OWNER
 - FINISHES: GENERAL: US260, SATIN CHROME PLATED, EXCEPT: PUSH PLATES, DOOR PULLS, KICKPLATES: US32D, SATIN STAINLESS STEEL
DOOR CLOSERS: 689SPRAYED ALUMINUM

HARDWARE GROUP B (SERVICE DOOR)

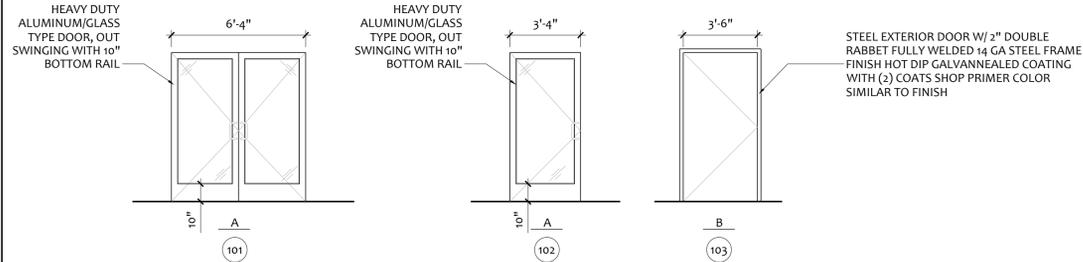
- THRESHOLD: NATIONAL GUARD - 325 HALF SADDLE THRESHOLD
- SECURING DEVICE: FALCON LOCK - C607 7-PIN CORE COMBINATION "A" KEYWAY
- SECURING DEVICE: SUR-LOCK - I/O 2000L-0931C AUTO LOCKING DOOR ALARM, IC; NO CTR INCLUDES - MORTISE CYLINDER
- CLOSER: DORMA 8916 DOOR CLOSER 8916 AF89P
- KICKPLATE: ROCKWOOD 10" KICKPLATE
- PEEP HOLE: DS-6 DOOR SPY
- DOOR BELL: NUTONE - MCV309NVHGL DOOR BELL
- DOOR STOP: ROCKWOOD 473 DOOR STOP WITH HOOK
- MISCELLANEOUS: NATIONAL GUARD - 16A RAIN DRIP
- MISCELLANEOUS: NATIONAL GUARD - 137NA WEATHER STRIP

- NOTES:
- LOCAL BARRIER FREE CODE MAY REQUIRE LARGER KICK PLATES VERIFY BEFORE ORDERING
 - REAR EXTERIOR DOORS SHALL HAVE EXTERIOR KEYED ACCESS.
 - FINISHES: GENERAL: US260, SATIN CHROME PLATED, EXCEPT: PUSH PLATES, DOOR PULLS, KICKPLATES: US32D, SATIN STAINLESS STEEL
DOOR CLOSERS: 689SPRAYED ALUMINUM

DOOR SCHEDULE

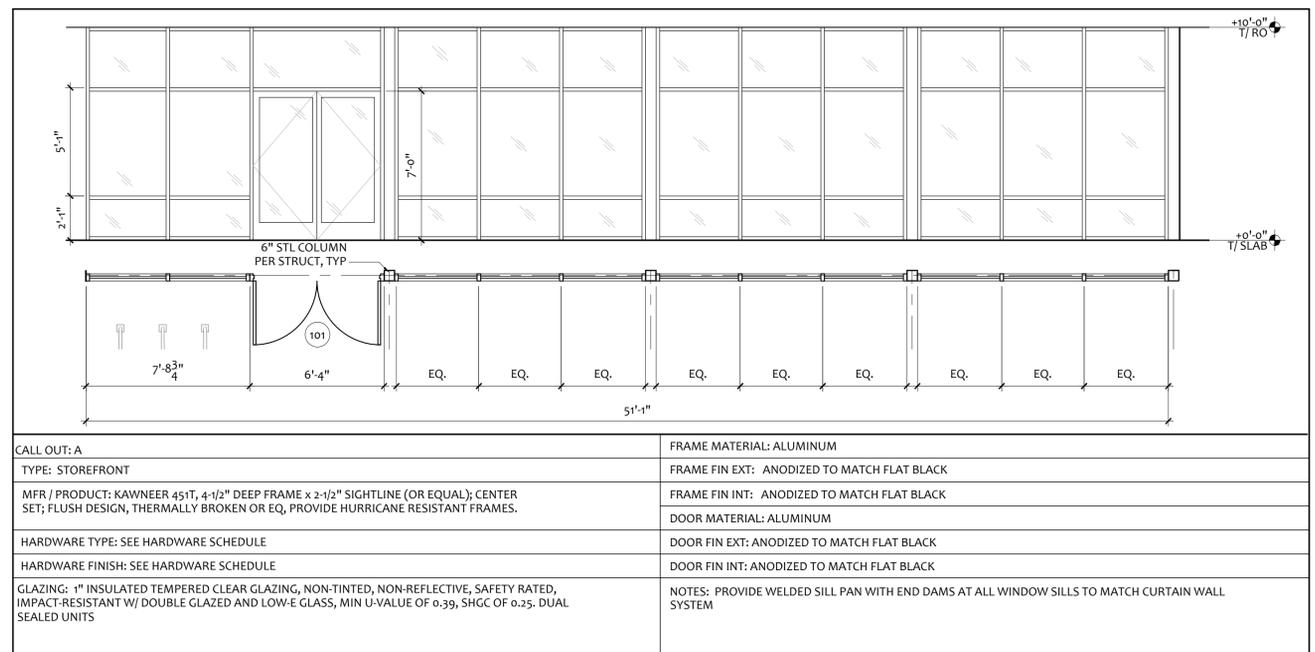
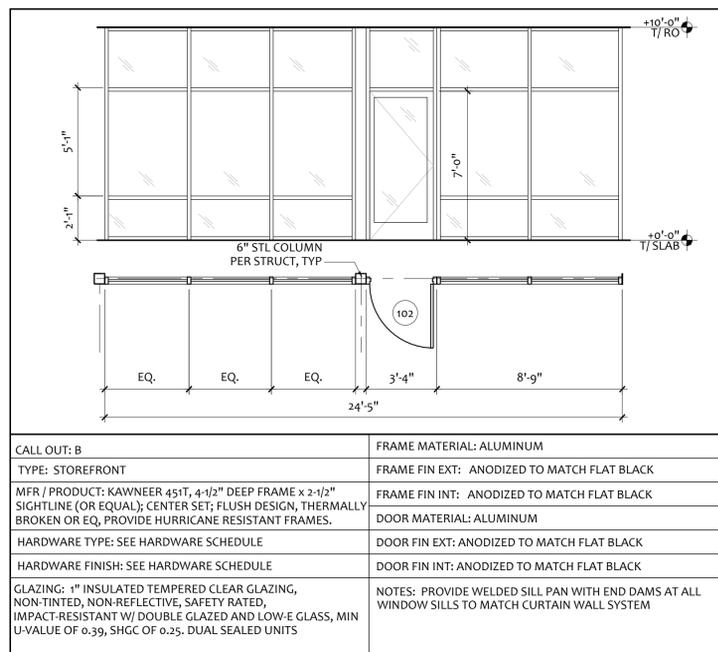
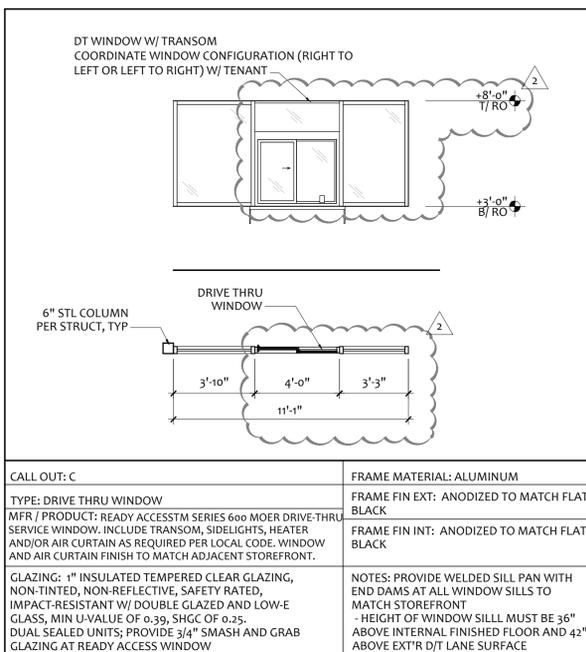
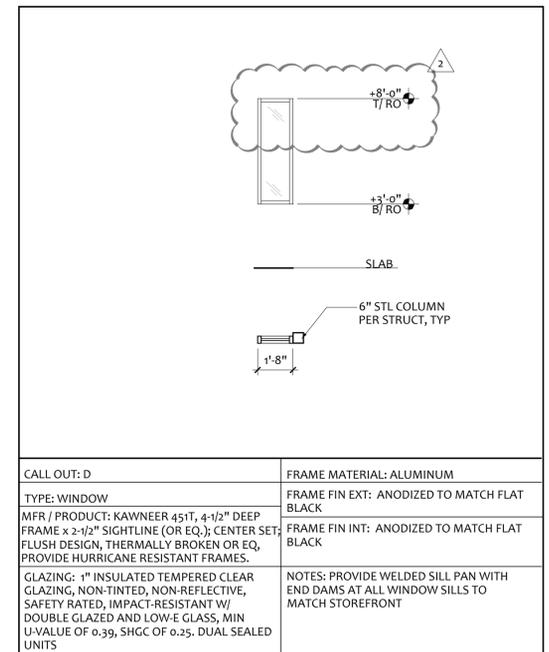
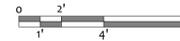
DOOR #	DOOR WIDTH	DOOR HEIGHT	DOOR THICKNESS	DOOR TYPE	FRAME TYPE	MATERIALS AND FINISHES				HARDWARE	FIRE RATING	COMMENTS
						DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH			
101	6'-4"	7'-0"	--	A	ALUM	GLASS	--	ALUM	--	A	--	
102	3'-4"	7'-0"	--	A	ALUM	GLASS	--	ALUM	--	A	--	
103	3'-6"	7'-0"	1-3/4"	B	STL	STL	PAINT	STL	PAINT	B	--	COLD ROLLED/WELDED 16 GA STEEL

NOTE: STEEL DOOR/FRAME TO HAVE HOT DIP GALV-ANNEALED COATING. FINISH WITH TWO COATS SHOP PRIME COLOR SIMILAR TO FINISH. SEE EXTERIOR ELEVATION FOR FINAL PAINT COLORS.



01 DOOR TYPES

1/4" = 1'-0"



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30 AUG 2023



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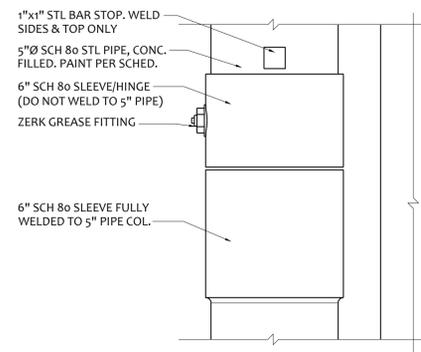
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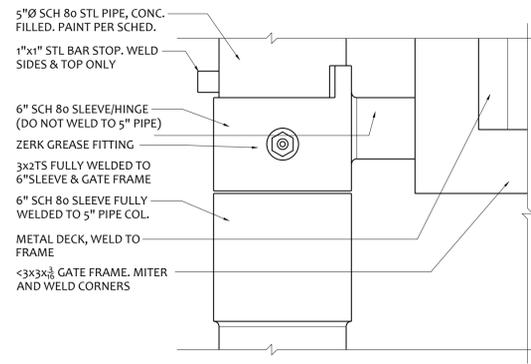
REVISIONS

#	DATE	DESC.
--	06.26.2023	PERMIT SUBMITTAL
2	08.30.2023	COUNTY COMMENTS

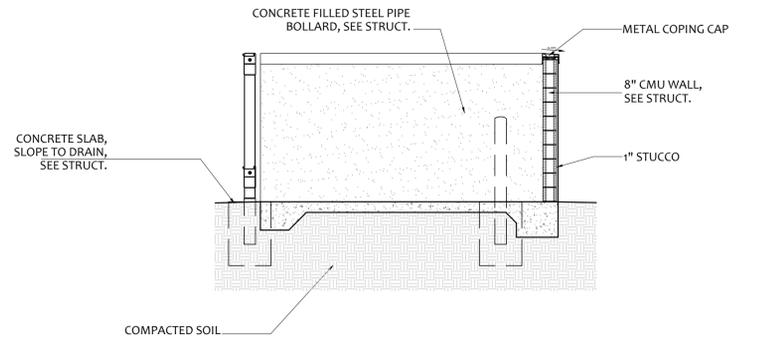
A701
DOOR & GLAZING SCHEDULES



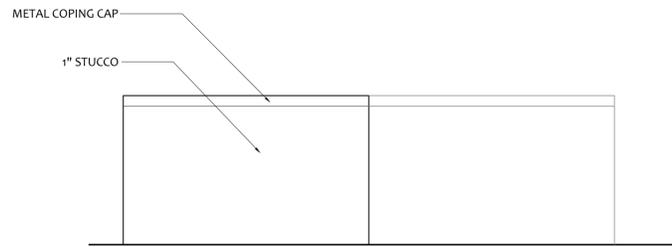
06 HINGE DETAIL (SIDE VIEW)
3" = 1'-0"



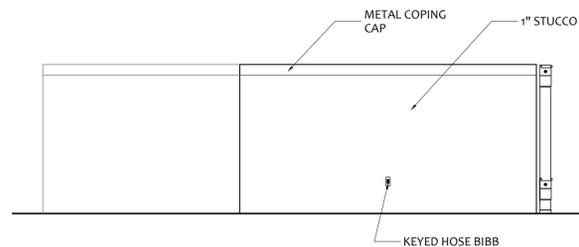
07 HINGE DETAIL (FRONT VIEW)
3" = 1'-0"



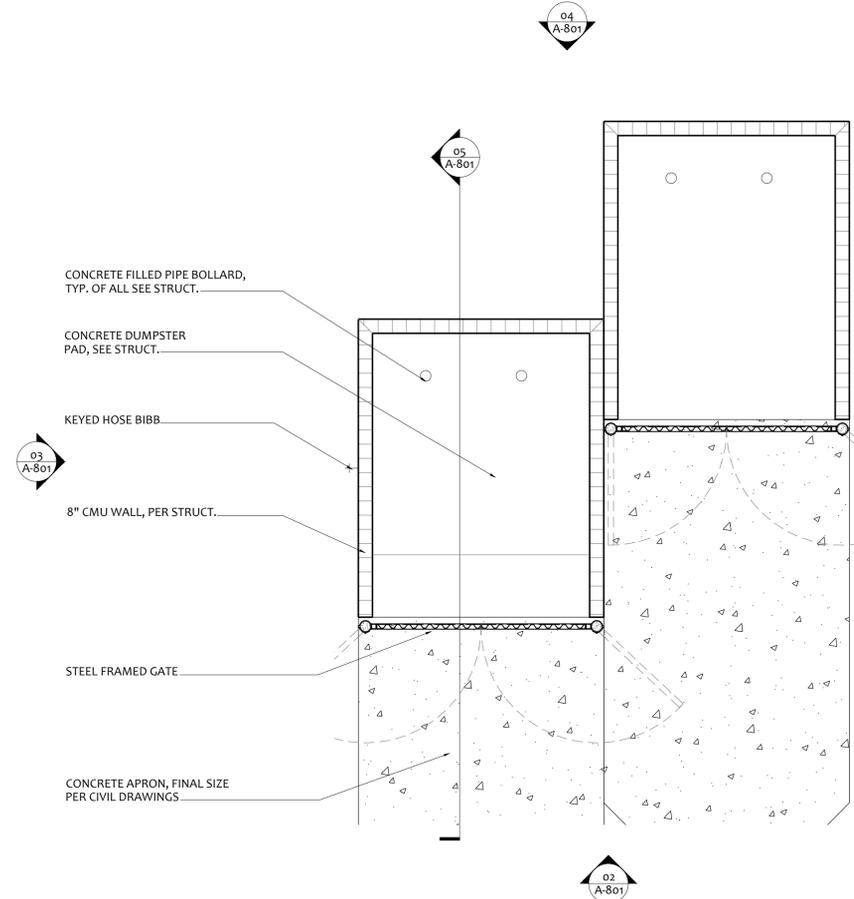
05 SECTION
1/4" = 1'-0"



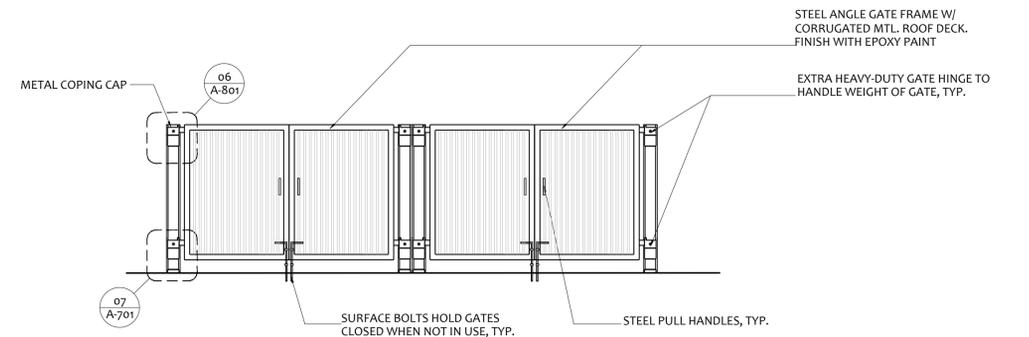
04 DUMPSTER REAR ELEVATION
1/4" = 1'-0"



03 DUMPSTER SIDE ELEVATION
1/4" = 1'-0"



01 DUMPSTER ENCLOSURE - PLAN
1/4" = 1'-0"



02 DUMPSTER FRONT ELEVATION
1/4" = 1'-0"

- DUMPSTER ENCLOSURE GENERAL NOTES:**
- SEE CIVIL DRAWINGS FOR EXACT LOCATION OF DUMPSTER.
 - CONTRACTOR TO VERIFY THE OPENING WIDTH AND ALL OTHER DIMENSIONS COMPLY WITH CITY ORDINANCES AND WASTE MANAGEMENT REQUIREMENTS.
 - ALL EXPOSED METAL FRAMING, METAL COPING AND METAL ROOF DECK GATES PAINTED POWDER COAT BLACK.
 - ALL DIMENSIONS TO BE FIELD VIF.
 - TRASH ENCLOSURE MATERIALS, FINISHES AND COLORS CONTINGENT UPON TENANT LEASE AGREEMENT.
 - REFER TO SHEET A301 FOR BUILDING FINISHES TO MATCH DUMPSTER ENCLOSURE WALLS.
 - REFER TO SHEET S-7 FOR FOUNDATION, SLAB GRADE, WALL SECTION, BOLLARD SECTION AND OTHER STRUCTURAL DETAILS CONCERNING TO DUMPSTER ENCLOSURE AND DIMENSIONS.

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26 JUN 2023

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A801
DUMPSTER ENCLOSURE

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#	DATE	DESC.
-	06.26.2023	PERMIT SUBMITTAL
1	08.22.2023	PERMIT COMMENTS
5	11.01.2023	COUNTY COMMENTS

GENERAL NOTES & SCHEDULES

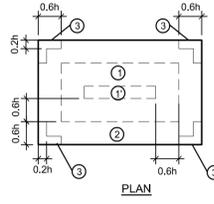
DESIGN LOAD SCHEDULE (ALL LOADS SHOWN ARE IN POUNDS PER SQ. FT.)				
COMPONENT	AREA	ROOF	SLAB ON GRADE	
			1	2
SYSTEM		10		
CEILING & MECH'L		10		
MISC.		10		
TOTAL RAIN LOAD		25		
TOTAL DEAD LOAD		30		
TOTAL LIVE LOAD		20	100	
TOTAL LOAD		55	100	

USE 5 PSF TO OBTAIN NET UPLIFT FROM WIND LOAD SCHEDULE

EFFECTIVE WIND AREA (SQ. FT.)	ROOF AREA			
	1'	2	3	
20	+10.0/-15.8	+10.0/-26.4	+15.0/-32.2	+15.0/-32.2

NOTES:

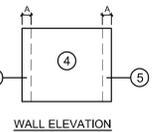
- WIND DESIGN PER FBC 7TH EDITION (2020)
- (Vasd) = ALLOWABLE WIND LOADS
- Kd = 1.0
- + INDICATES WIND PRESSURE - INDICATES WIND SUCTION
- 1/8" MET (ROOF) 0.6H=9.8FT, 0.2H=3.2FT (COMPONENTS AND CLADDING)
- FOR EFFECTIVE WIND AREAS BETWEEN THOSE GIVEN ABOVE THE LOAD MAY BE INTERPOLATED. OTHERWISE USE THE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE WIND AREA



DOOR & WINDOW WIND PRESSURE (PSF) Vasd		
SIZE OF WALL OPENING (SQ. FT.)	WALL AREA	
	4	5
10	+15.8/-17.1	+15.8/-21.0
20	+15.0/-15.9	+15.0/-18.6
50	+14.2/-15.5	+14.2/-17.8
100	+13.5/-14.7	+13.5/-16.4

NOTES:

- WIND DESIGN PER FBC-7TH EDITION (2020)
- + INDICATES WIND PRESSURE - INDICATES WIND SUCTION
- WALL DISTANCE A = 4.2 FT (COMPONENTS AND CLADDING)
- FOR WALL OPENINGS BETWEEN THOSE GIVEN ABOVE THE LOAD MAY BE INTERPOLATED. OTHERWISE USE THE LOAD ASSOCIATED WITH THE LOWER WALL OPENING AREA.



MASONRY WALL SCHEDULE		
MARK	THICKNESS	REINFORCING
MW-1	8" CMU	#5 @ 48" O.C.
MW-2	8" CMU	#5 @ 24" O.C.

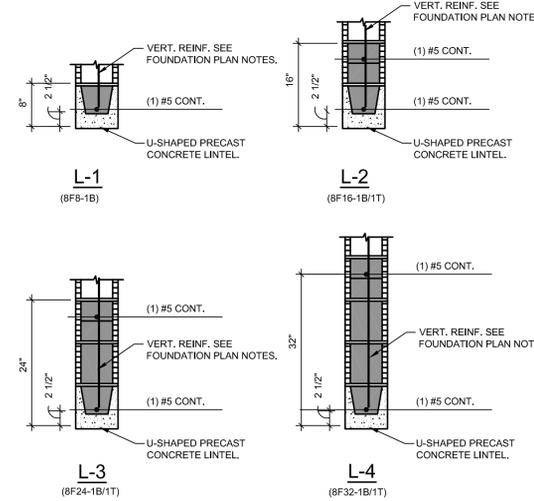
MASONRY WALL NOTES:

- WALL SEGMENTS SHALL BE REINFORCED WITH 9 GA. GALVANIZED LATERAL REINFORCING @ 16" O.C. HORIZ. EXTEND REINFORCING 6" INTO POURED ELEMENTS AND AROUND ENCASED STEEL.
- ADJACENT TO ANY EXTERIOR/INTERIOR WALL OPENING, PLACE 1 #5 VERTICAL IN CELL GROUTED SOLID, FULL HEIGHT FOR OPENING LESS THAN 4FT. PROVIDE (2) #5 OTHERWISE.
- ALL MASONRY REINFORCED CELLS SHALL BE FILLED WITH 3000 PSI GROUT MIX.

BEAM SCHEDULE					
MARK	(inches)	REINFORCING			REMARKS
		BOTT	TOP	INT	
BB-1	8x8	(1) #5	-	-	MASONRY BOND BEAM
BB-2	8x16	(1) #5	(1) #5	-	MASONRY BOND BEAM
CB-1	8x16	(2) #6	(2) #6	-	#3 STIRRUPS AT 6" O.C.

FOOTING SCHEDULE		
MARK	SIZE	REINFORCING
F20.12	2'-0" X 12" X CONT.	(3) #5 BOTTOM CONT.
F40.12	4'-0" X 12" X CONT.	(5) #5 BOTTOM CONT. #5 @ 12" O.C. BOTT. TRANS.
TS20	2'-0" X 2'-0" X 16"	(3) #5 BOTTOM EACH WAY
F30	3'-0" X 3'-0" X 12" DEEP	(4) #5 EA. WAY BOTTOM

NOTE:
 1. ANCHOR BOLT DEPTH TO EXTEND TO 3" ABOVE BOTTOM OF FOOTING.



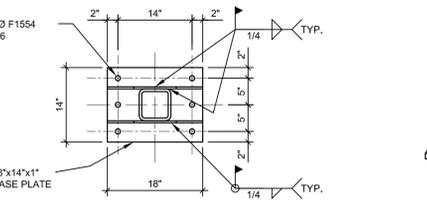
C.M.U. PRECAST LINTEL SCHEDULE

NOTES:	
1.	8" PRECAST LINTELS BY CASTCRETE CORPORATION OR APPROVED EQUAL.
2.	SHORE PRECAST LINTEL PER MANUFACTURER RECOMMENDATIONS.
3.	SEE THE ARCHITECTURAL DRAWINGS FOR SIZE AND LOCATION OF ALL OPENINGS.
4.	PROVIDE 6" MINIMUM BEARING EACH END.

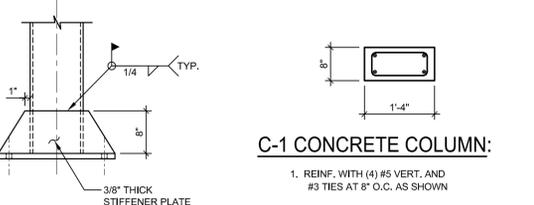
SAFE GRAVITY LOADS FOR 8" PRECAST & PRESTRESSED U-LINTELS

LENGTH	TYPE	SAFE LOAD - POUNDS PER LINEAR FOOT							
		8U8	8F8-0B	8F12-0B	8F16-0B	8F20-0B	8F24-0B	8F28-0B	8F32-0B
2'-10" (34")	PRECAST	2231	3069	4605	6113	7547	8974	10394	11809
3'-6" (42")	PRECAST	2231	3069	3719	5163	6607	8054	9502	10951
4'-0" (48")	PRECAST	1966	2561	2751	3820	4890	5961	7034	8107
4'-6" (54")	PRECAST	1599	1969	2110	2931	3753	4576	5400	6224
5'-4" (64")	PRECAST	1217	2189	4375	6113	7547	8672	10294	11809
5'-10" (70")	PRECAST	1062	1663	1438	1999	2560	3123	3686	4249
6'-6" (78")	PRECAST	908	1238	2177	3480	3031	3707	4383	5061
7'-6" (90")	PRECAST	743	1011	1729	2632	2205	2698	3191	3685
9'-4" (112")	PRECAST	554	699	1160	1625	2564	3486	2818	3302
10'-6" (126")	PRECAST	475	752	1245	1843	2564	3486	4705	6390
11'-4" (136")	PRECAST	362	582	945	1366	1846	2423	3127	4006
12'-0" (144")	PRECAST	337	540	873	1254	1684	2193	2805	3552
13'-4" (160")	PRECAST	296	471	755	1075	1428	1838	2316	2883

STEEL COLUMN SCHEDULE			
MARK	SIZE	BASE PL	A.B.
SC-1	HSS 6 X 6 X 1/2	BP-1	(6) 1"Ø
SC-2	HSS 6 X 6 X 1/4	SEE SECTION	SEE SECTION



BASE PLATE (BP-1)
 LONG PLATE DIMENSION PARALLEL TO FRAME



BASE PLATE DETAIL (TYPICAL)



C-1 CONCRETE COLUMN:
 1. REINF. WITH (4) #5 VERT. AND #3 TIES AT 8" O.C. AS SHOWN



C-1 CONCRETE COLUMN:
 1. REINF. WITH (10) #5 VERT. AND #3 TIES AT 8" O.C. AS SHOWN

STRUCTURAL NOTES
 CONTRACTOR NOTE:

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. GUTHERMAN STRUCTURAL, INC. IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION OR FOR RELATED SAFETY PRECAUTIONS AND PROGRAMS.

CODES AND STANDARDS
 1. WIND LOADS AS PER:

- FLORIDA BUILDING CODE 7TH EDITION (2020) WITH AN ULTIMATE DESIGN WIND SPEED OF 139 MPH, EXPOSURE B, NOMINAL DESIGN WIND SPEED OF 107 MPH, +/-0.18 INTERNAL PRESSURE COEFFICIENT, AND BUILDING RISK CATEGORY II.
- SEISMIC SITE CLASS = E
 SEISMIC DESIGN CATEGORY = A
 GROUND SNOW LOAD, Pg = 0 PSF
 FLOOD ZONE = X
 RAIN INTENSITY = 4.5 INCHES PER HOUR (100 YEAR)
- THE PROJECT WAS DESIGNED IN ACCORDANCE WITH THE:

- FLORIDA BUILDING CODE 7TH EDITION (2020).
- BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318/2014 EDITION).
- SPECIFICATION FOR THE DESIGN, FABRICATION & ERECTION OF STRUCTURAL STEEL FOR BUILDINGS, (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) AISC 15TH EDITION (ASD).
- BUILDING CODE REQUIREMENTS AND SPECIFICATIONS FOR MASONRY STRUCTURES (TMS 402, 602/2016 EDITION).
- LIGHT GAUGE STUD FRAMING SHALL COMPLY WITH ASTM STANDARDS AND HAVE BEEN DESIGNED IN ACCORDANCE WITH THE AMERICAN IRON AND STEEL INSTITUTE'S SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS, AISI S-100-16.

4. ARCHITECTURAL AND MECHANICAL DRAWINGS:

- THE STRUCTURAL DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS AND DO NOT BY THEMSELVES PROVIDE ALL THE INFORMATION REQUIRED TO PROPERLY COMPLETE THE PROJECT STRUCTURE. THE GENERAL CONTRACTOR SHALL CONSULT THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND COORDINATE THE INFORMATION CONTAINED IN THESE DRAWINGS WITH THE STRUCTURAL DRAWINGS TO PROPERLY CONSTRUCT THE PROJECT.
- REFER TO ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS, DEPRESSIONS, FINISHES, INSERTS, BOLTS SETTINGS, DRAINS, REGLETS, ETC.
- BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS TO PROPERLY SIZE OR FIT THE WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE PAID BY THE OWNER RESULTING FROM THE CONTRACTOR'S FAILURE TO COMPLY WITH THIS REQUIREMENT.
- DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH ANY WORK.
- ALL STRUCTURES HAVE BEEN DESIGNED TO RESIST THE DESIGN LOADS LISTED ONLY AS COMPLETED STRUCTURES. THE GENERAL CONTRACTOR SHALL FULLY BRACE AND OTHERWISE PROTECT WORK IN PROGRESS UNTIL THE STRUCTURES ARE COMPLETED. THE GENERAL CONTRACTOR SHALL ALSO INSURE THAT ITS OPERATIONS AND PROCEDURES PROVIDE NO LOADING GREATER THAN THE DESIGN LOADS LISTED ON ANY MEMBER.

5. SECTIONS AND DETAILS:

ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS OTHERWISE SHOWN.

6. MATERIALS AND ASSEMBLY TEST AS FOLLOWS:

- EXTERIOR WINDOWS, SLIDING AND PATIO GLASS DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT TESTING LABORATORY, AND SHALL BE LABELED WITH AN APPROVED LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT CERTIFICATION AGENCY, TESTING LABORATORY, EVALUATION ENTITY OR FLORIDA STATE WIDE PRODUCT APPROVAL NUMBER TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF ONE OF THE FOLLOWING SPECIFICATIONS:
 ANSIIAMMANWWDA 1011.S, 2-97 OR TAS 202
- EXTERIOR DOOR ASSEMBLIES SHALL BE TESTED FOR STRUCTURAL INTEGRITY IN ACCORDANCE WITH ASTM E930 AT A LOAD OF 1.5 TIMES THE REQUIRED DESIGN PRESSURE LOAD. THE LOAD SHALL BE SUSTAINED FOR 10 SECONDS WITH NO PERMANENT DEFORMATION OF ANY MAIN FRAME OR PANEL MEMBER IN EXCESS OF 0.4 PERCENT OF ITS SPAN AFTER THE LOAD IS REMOVED. HVHZ SHALL COMPLY WITH TAS 202. AFTER EACH SPECIFIED LOADING, THERE SHALL BE NO GLASS BREAKAGE, PERMANENT DAMAGE TO FASTENERS, HARDWARE PARTS, OR ANY OTHER DAMAGE, WHICH CAUSES THE DOOR TO BE INOPERABLE.
- WINDOW AND DOOR ASSEMBLIES SHALL BE ANCHORED IN ACCORDANCE WITH THE PUBLISHER'S RECOMMENDATIONS TO ACHIEVE THE DESIGN PRESSURE SPECIFIED. SUBSTITUTE ANCHORING SYSTEM USED FOR SUBSTRATES NOT SPECIFIED BY THE PENSTRATION MANUFACTURER SHALL PROVIDE EQUAL OR GREATER ANCHORING PERFORMANCE AS DEMONSTRATED BY ACCEPTED ENGINEERING PRACTICE.

SPECIALTY ENGINEERED PRODUCTS

- THE GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE THE PROPER SUBMISSION OF SPECIALTY ENGINEERED SHOP DRAWINGS WHICH SHALL BE SIGNED AND SEALED BY AN ENGINEER REGISTERED IN THE STATE OF FLORIDA. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THE SPECIALTY ENGINEERED SHOP DRAWINGS ARE SUBMITTED IN A TIMELY MANNER SO AS TO ALLOW REVIEWS AND RESUBMISSIONS AS REQUIRED. ALL SPECIALTY ENGINEERED PRODUCTS SHALL BE DESIGNED FOR THE APPROPRIATE GRAVITY LOADS AND WIND LOADS INCLUDING UPLIFT AND LATERAL LOADS. INTERIOR SPECIALTY PRODUCTS SHALL BE DESIGNED FOR LATERAL LOADS TO ASSURE STABILITY. SPECIALTY ENGINEERED PRODUCTS SHALL BE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

- LIGHT GAUGE METAL, INCLUDING BUT NOT LIMITED TO, SOFFITS, CLADDING, CEILINGS, ETC.
- MISCELLANEOUS METALS INCLUDING STEEL STAIRS, MECHANICAL EQUIPMENT SUPPORTS, FRAMES THAT SUPPORT MACHINES, PIPES OR OTHER STRUCTURAL METAL USED FOR SUPPORT OF MECHANICAL SYSTEMS.
- MISCELLANEOUS HANGERS, CHANDELIERS, CABINETS, METAL FRAMES, LADDERS, RIGGING, HANGING WALLS, RAILINGS, GLAZING FRAMES, CLADDING SUCH AS STONE, PRECAST, ALUMINUM, METAL PANELS, CABLE BARRIER SYSTEMS, ETC. OR ANY OTHER MISCELLANEOUS PRODUCT REQUIRED BY ANY OF THE CONSTRUCTION DOCUMENTS.

D. IN ADDITION TO THE LOADS SHOWN IN THE DESIGN LOAD SCHEDULE, THE SPECIALTY ENGINEER SHALL DESIGN FOR THE WEIGHT OF ALL MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT AND FIXTURES, AS WELL AS CHANDELIER FIXTURES, BAR CABINETS, AND ART WORK / MOBILES.

GENERAL CONTRACTOR TO INCLUDE IN THEIR BID THE COST OF THE ABOVE NOTED SPECIALTY ENGINEERING.

FOUNDATION

- ALL SITE PREPARATION AND EXCAVATION WORK IS TO BE PERFORMED IN STRICT ACCORDANCE WITH THE REPORT ON SOILS AND FOUNDATION INVESTIGATION PREPARED BY UNIVERSAL ENGINEERING SYSTEMS, DATED APRIL 18, 2023, UES REPORT NO.2014244
- BOTTOM OF FOOTINGS ASSUMED TO BEAR ON SOIL CAPABLE OF SAFELY SUPPORTING 2500 PSF

- SOILS SUPPORTING ALL FOOTINGS MUST BE INSPECTED AND APPROVED BY A REGISTERED SOILS ENGINEER BEFORE COMMENCING WORK. APPROVAL IN WRITING MUST INDICATE THE SOIL IS ADEQUATE TO SAFELY SUSTAIN SPECIFIED SOIL BEARING PRESSURE.

- TOP OF ALL SPREAD FOOTINGS SHALL BE 1'-4" BELOW TOP OF SLAB TYP. MAKE ADJUSTMENTS AS NEEDED SO TOP OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM 12-INCHES BELOW EXTERIOR FINISH GRADE.

- ALL MONOLITHIC EDGE FOOTINGS SHALL BEAR A MINIMUM 1'-0" BELOW EXTERIOR GRADE TYP. MAKE ADJUSTMENTS AS NEEDED.

- EXCAVATION & BACKFILL:
 - ALL EXCAVATION SHALL BE KEPT DRY. EXCAVATE TO DEPTHS AND DIMENSIONS INDICATED. TAKE EVERY PRECAUTION TO GUARD AGAINST ANY MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES, UTILITIES, PIPING, ETC.
 - PROVIDE ANY BRACING OR SHORING NECESSARY TO AVOID SETTLEMENT OR DISPLACEMENT OF EXISTING FOUNDATION OR STRUCTURES.

- CENTERLINE OF FOOTINGS: SHALL COINCIDE WITH CENTERLINE OF COLUMNS UNLESS OTHERWISE NOTED ON DRAWINGS.

- DIMENSIONS: ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS MUST BE VERIFIED AND COORDINATED WITH THE ARCHITECTURAL DRAWINGS BY THE CONTRACTOR BEFORE PROCEEDING WITH THE CONSTRUCTION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER IN WRITING BEFORE PROCEEDING WITH ANY WORK.

CONCRETE

- CONCRETE ELEMENTS TO HAVE THE FOLLOWING STRENGTHS:
 - FOUNDATIONS 3000 PSI
 - SLAB-ON-GRADE 3000 PSI
 - COLUMNS 4000 PSI
 - BEAMS 4000 PSI
 - MASONRY GROUT 3000 PSI
 ALL OTHER CONCRETE TO BE 4000 PSI UNLESS NOTED OTHERWISE.
- ALL CONCRETE SHALL BE READY MIX AND MEET THE FOLLOWING REQUIREMENTS:
 - SLUMPS SHALL BE 4-INCHES MINIMUM AND 6-INCHES MAXIMUM.
 - CONCRETE SHALL HAVE 3 PERCENT AIR ENTRAINMENT.
 - ALL CONCRETE TO HAVE MAXIMUM WATER/CEMENT RATIO OF 0.55.
 - JOB SITE WATER SHALL NOT BE ADDED.
 - CEMENT SHALL CONFORM WITH ASTM C150 TYPE 1. SLAG, ASTM C989 SHALL BE LIMITED TO 50% (BY WEIGHT OF CEMENTITIOUS MATERIAL AND FLY ASH, ASTM C618, CLASS F, SHALL BE LIMITED TO 25% (BY WEIGHT) OF CEMENTITIOUS MATERIAL.

- ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI BUILDING CODE (ACI 318/2014 EDITION), THE ACI DETAILING MANUAL (ACI 315/2004 EDITION), AND THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301/LATEST EDITION).

- SUBMIT ALL REINFORCING STEEL SHOP DRAWINGS FOR APPROVAL PRIOR TO ANY FABRICATION.

- CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS REQUIRED BY ACI SPECIFICATIONS.

- WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A 1084, UNLESS OTHERWISE SPECIFIED. PLACE FABRIC 2" CLEAR FROM TOP OF THE SLAB IN SLAB ON GRADE AND SUPPORT ON SLAB BOLSTERS SPACED AT 3'-0" O.C.

- LAP ALL BARS WITH CLASS B TENSION LAP SPICE UNLESS OTHERWISE NOTED ON DRAWINGS. LAP ALL WWF A MINIMUM OF 12 INCHES (UNLESS OTHERWISE NOTED).

8. REINFORCING BARS:

- ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A 615 GRADE 60.
- AT CORNERS OF CONCRETE WALLS, BEAMS AND CONTINUOUS WALL FOOTINGS, PROVIDE (1#5 OR MATCHING) HORIZONTAL BARS X 5'-0" BENT BAR FOR EACH HORIZONTAL BAR SCHEDULED AT EACH FACE.
- WHERE COLUMNS ARE AN INTEGRAL PART OF CONCRETE WALLS, WALL REINFORCEMENT SHALL BE CONTINUOUS THRU THE COLUMNS.
- ALL HOOKS SHOWN IN REINFORCEMENT SHALL BE ACI RECOMMENDED HOOKS UNLESS OTHERWISE NOTED.

MASONRY

- MASONRY UNITS SHALL BE LOAD BEARING ASTM C90, NORMAL WEIGHT LAID IN A FULL BED OF MORTAR IN RUNNING BOND.

- THE COMPRESSIVE STRENGTH OF MASONRY (F'm) SHALL BE 2,000 PSI AS CALCULATED IN ACCORDANCE WITH ASTM C-140.

- ALL MORTAR SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATION C270 HAVING A MINIMUM COMPRESSIVE STRENGTH OF (S) 1,800 PSI OR (M) 2,500 PSI

- GROUT SHALL BE A HIGH SLUMP MIX IN ACCORDANCE WITH ASTM SPECIFICATION C476, HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.

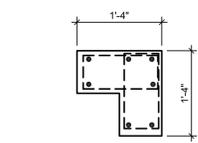
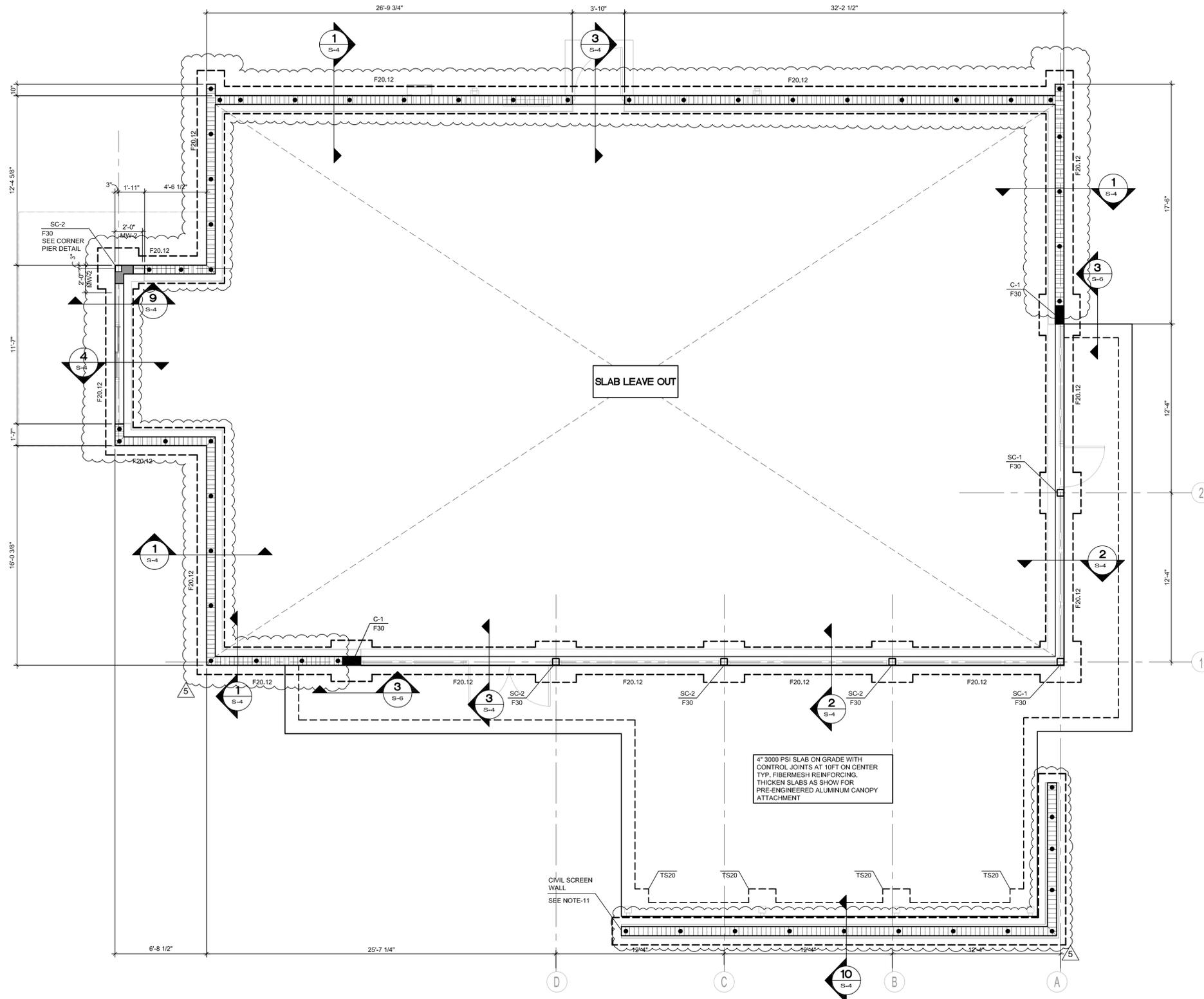
- ALL CONCRETE MASONRY BEARING AND SHEAR WALLS SHALL BE INSPECTED BY A CERTIFIED INSPECTION COMPANY AND CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENT FOR MASONRY STRUCTURES TMS602/ACI308.1/ASCE 6.

- PROVIDE 8" X 8" MASONRY BEAM WITH 1#5 CONT. AT EVERY WINDOW SILL. EXTEND BEAM 8" BEYOND EDGE OF OPENING.

- ALL VERTICAL REINFORCING SHALL BE HOOKED AT TOP AND BOTTOM AT ALL VERTICAL REINFORCED CELL RUNS. THIS INCLUDES IN BEAMS AND LINTELS OVER OPENINGS.

- THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL BRACING FOR ALL MASONRY WALLS AS REQUIRED TO ENSURE STABILITY DURING CONSTRUCTION.

- PROVIDE HOT DIPPED GALVANIZED LADDER TYPE HORIZONTAL JOINT REINFORCEMENT (9 GA.) AT 16" ON



DRIVE-THRU CORNER PIER
 L-SHAPED CONCRETE PIER AT CORNER OF DRIVE THROUGH. BELOW STEEL COLUMN. PROVIDE (7) #5 AS SHOWN, WITH #3 TIES AT 8" O.C. TOP OF COLUMN IS TOP OF SILL. (-3'-0")

FOUNDATION NOTES:

- ELEV. ±0'-0" IS REFERENCE ONLY. SEE CIVIL FOR TRUE NAVD ELEVATION.
- VERIFY SLOPES AND STEPS WITH ARCH. PRIOR TO CONSTRUCTION. SEE TYPICAL STEP DETAIL.
- TOP OF SPREAD FOOTING ELEVATIONS = -1'-4" BELOW TOP OF SLAB TYP. U.N.O.
- T.E. INDICATES THICKENED EDGE SEE TYPICAL DETAILS.
- F# INDICATES CONCRETE FOOTING. SEE SCHEDULE.
- SC-# INDICATES STEEL COLUMN. SEE SCHEDULE.
- DENOTES 8" CMU WALL, ALL MASONRY WALLS ARE MW-1 U.N.O., SEE SCHEDULE.
- G.C. TO PROVIDE SLAB ON GRADE CONTROL JOINTS (C.J.) FOR ALL SLAB AT 12'-0" O.C. MAX. TYP. FOR WALL AND SLAB CONTROL JOINTS. SEE TYPICAL DETAILS AND MORE INFO.
- C-# INDICATES CONCRETE COLUMN. SEE SCHEDULE.
- SEE ARCH. FOR DIMENSIONS NOT SHOWN.
- VERIFY SCREEN WALL LOCATION AND DIMENSIONS WITH ARCH AND CIVIL.

01 FOUNDATION PLAN
 1/4" = 1'-0"

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PROJECT NAME:
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PROJECT TEAM:

REVISIONS		
#	DATE	DESC.
-	06.26.2023	PERMIT SUBMITTAL
1	08.22.2023	PERMIT COMMENTS
5	11.01.2023	COUNTY COMMENTS

FOUNDATION PLAN

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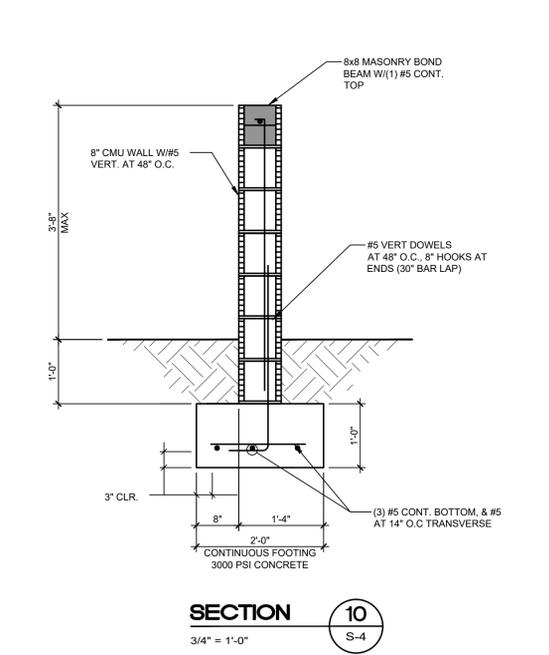
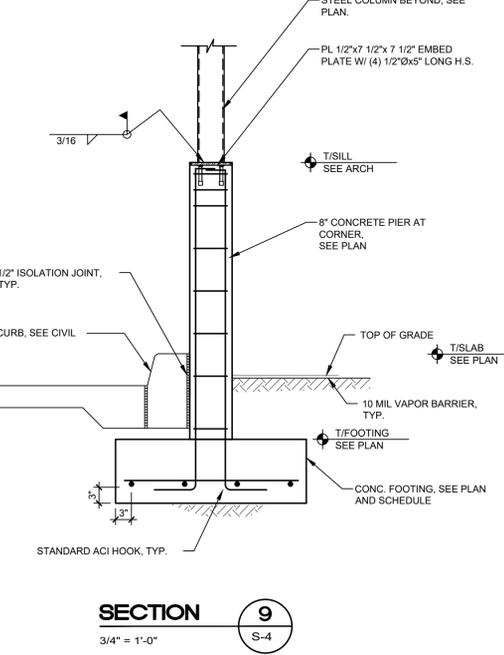
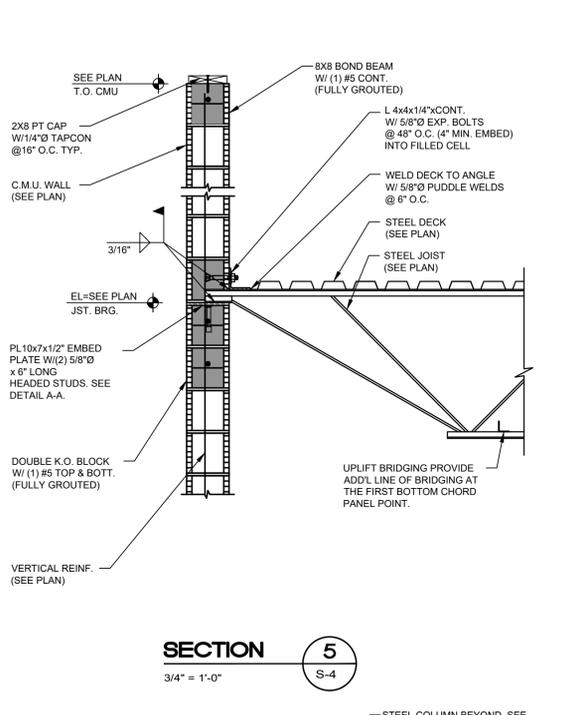
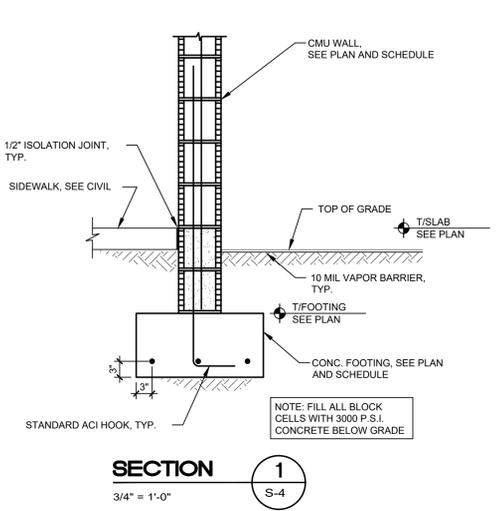
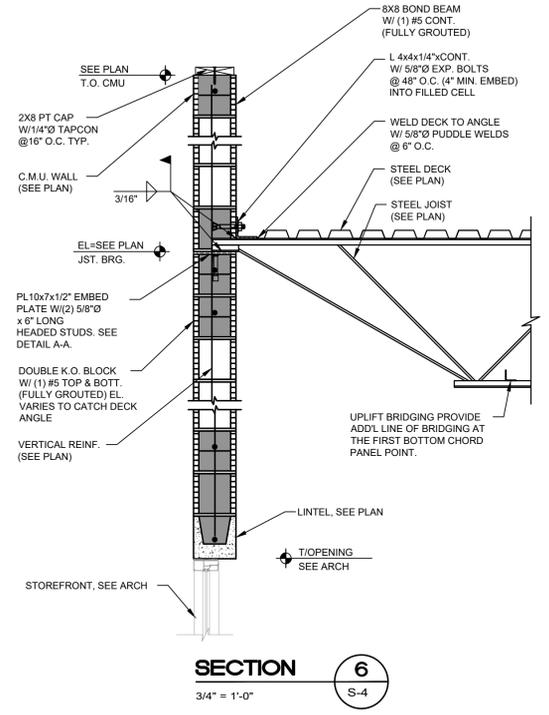
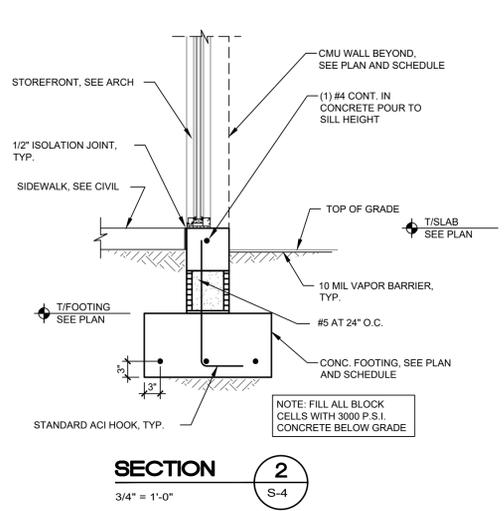
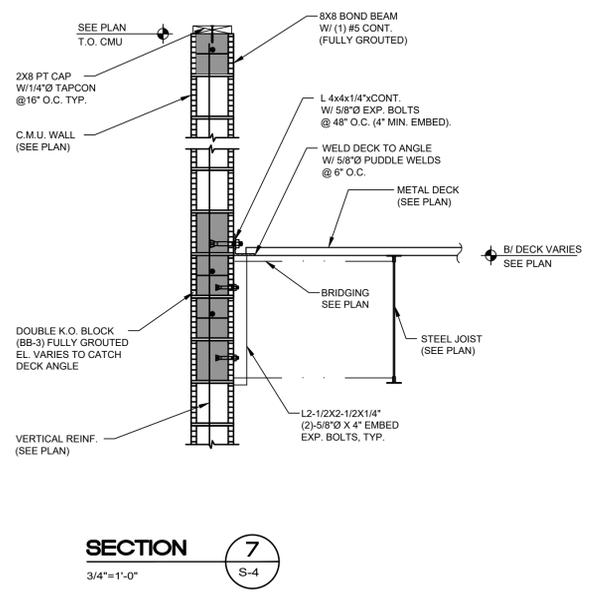
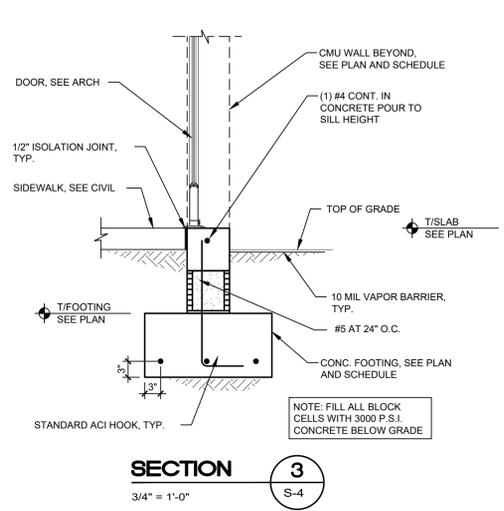
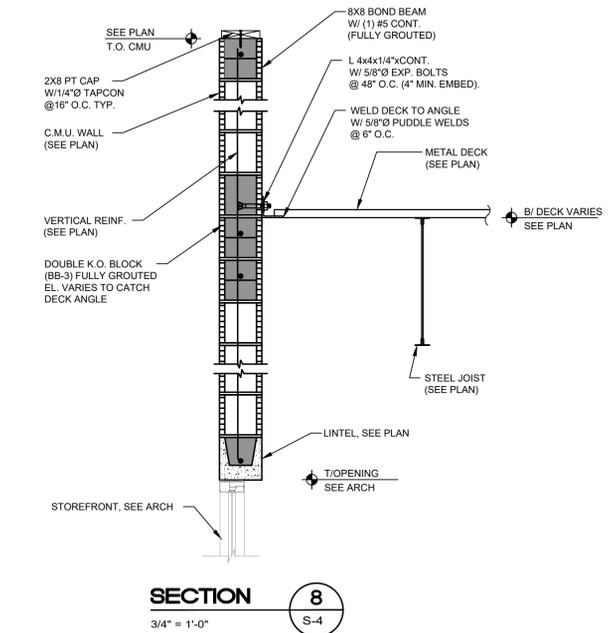
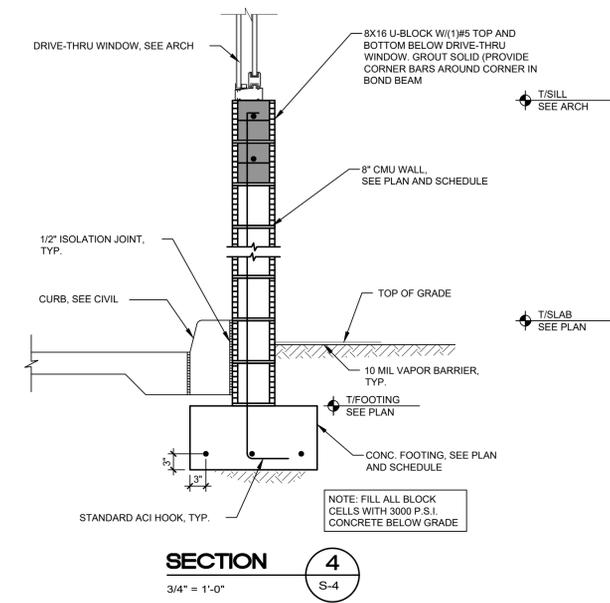
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 Oviedo, FL 32765

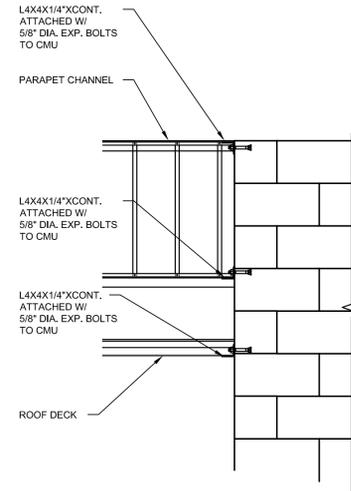
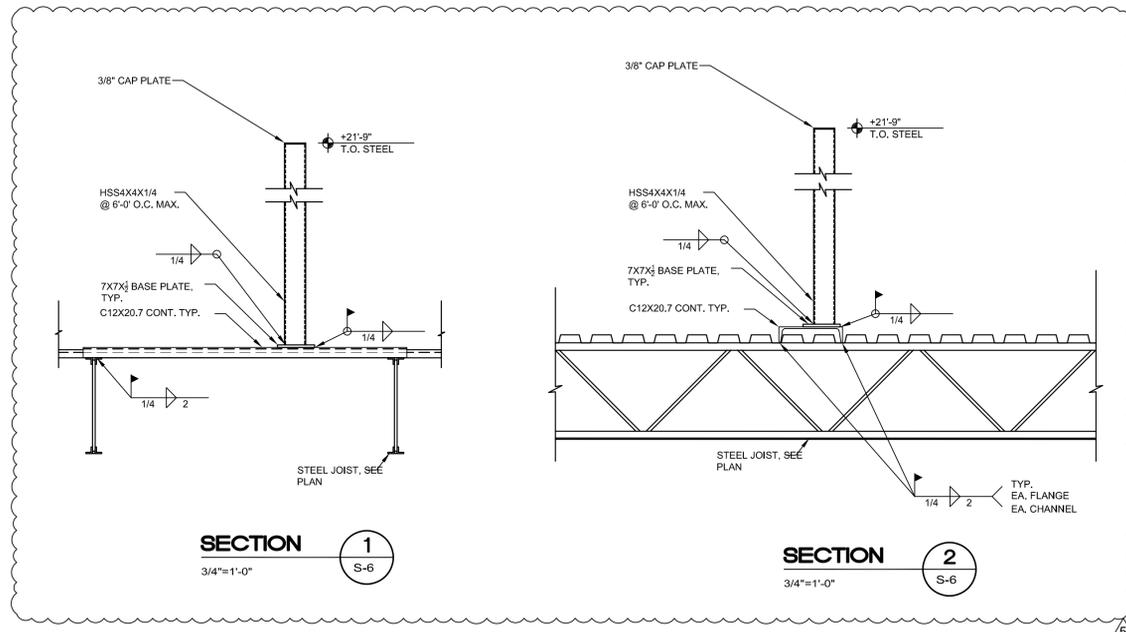


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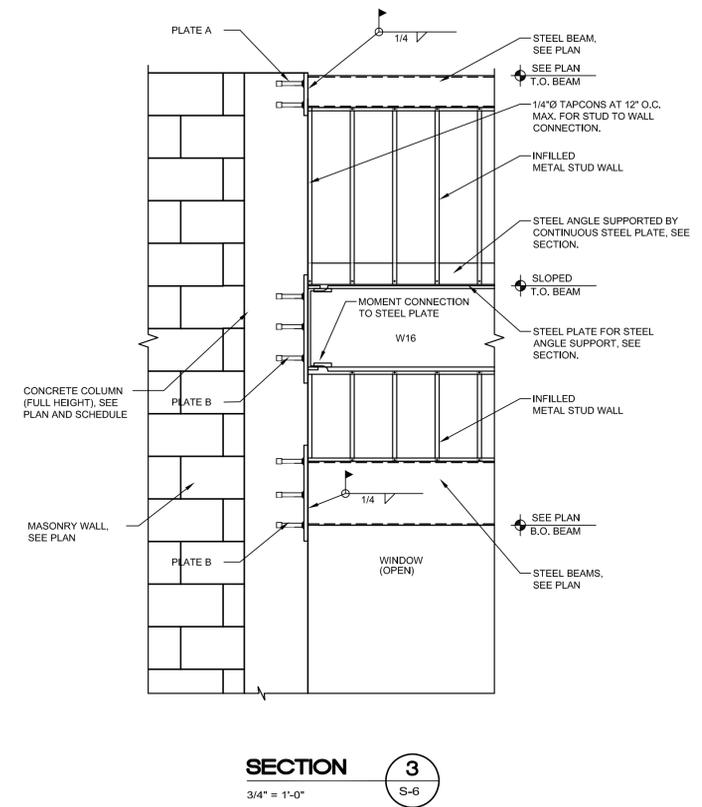
REVISIONS		
#	DATE	DESC.
--	06.26.2023	PERMIT SUBMITTAL

FOUNDATION & FRAMING DETAILS





SECTION 4
3/4" = 1'-0"
S-6



SECTION 3
3/4" = 1'-0"
S-6

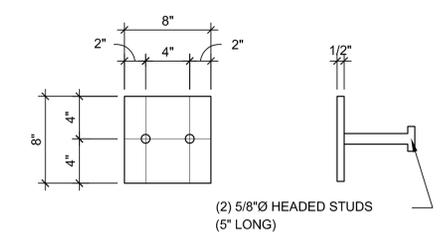


PLATE "A"
N.T.S.

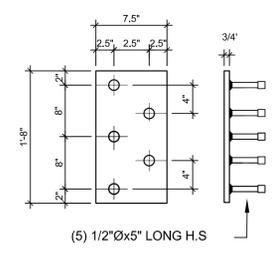


PLATE "B"
N.T.S.

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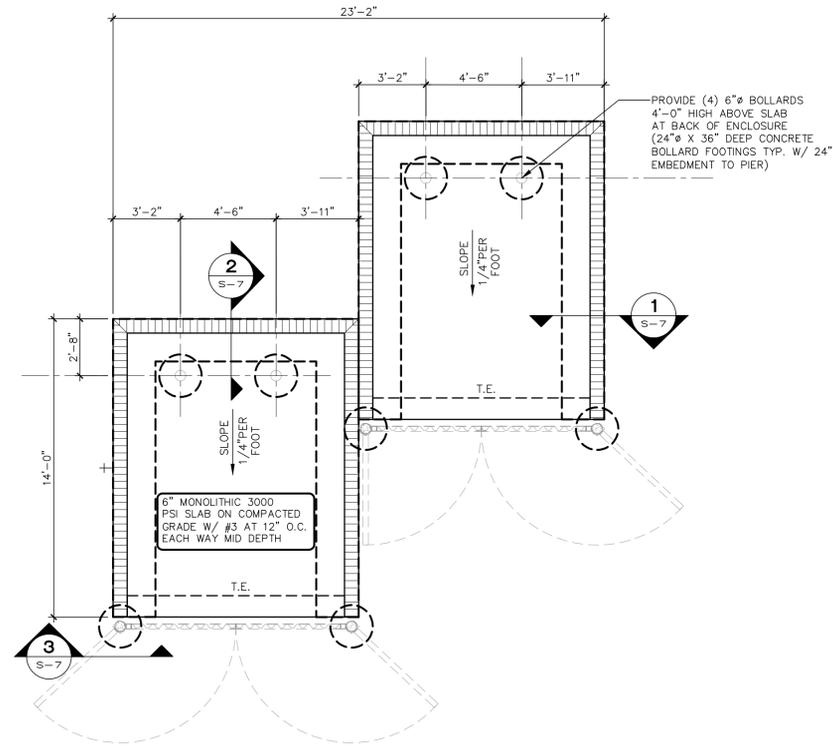
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#	DATE	DESC.
--	06.26.2023	PERMIT SUBMITTAL
5	11.01.2023	COUNTY COMMENTS

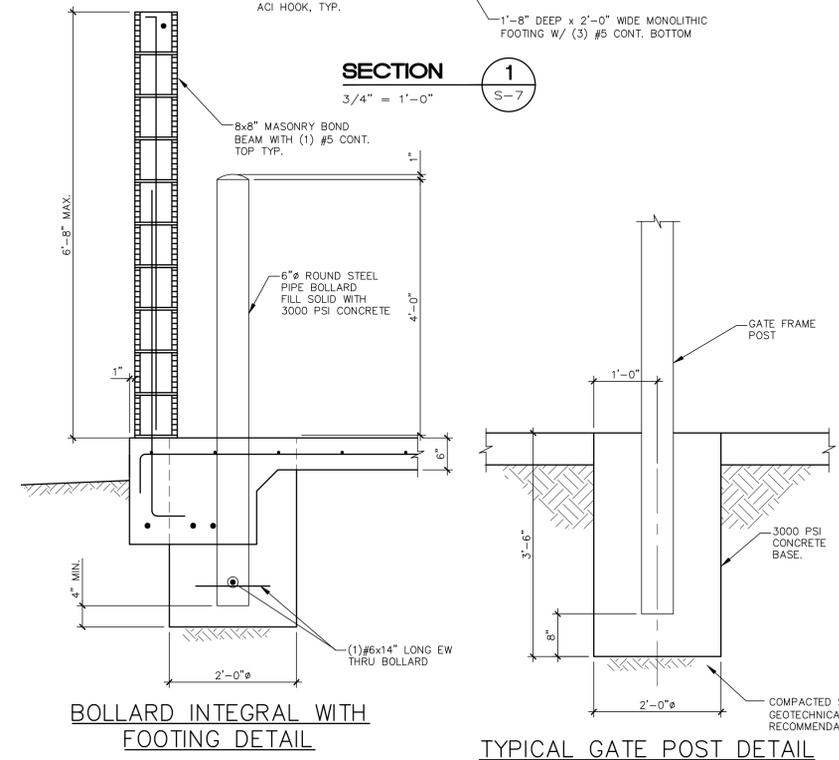
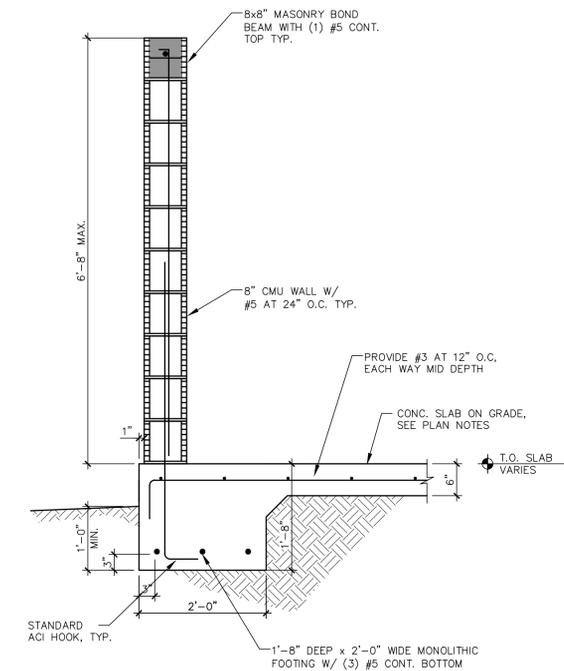


DUMPSTER DETAIL

1/4" = 1'-0"

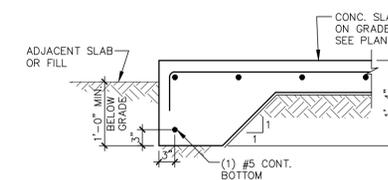
FOUNDATION NOTES:

- ELEV. ±0'-0" IS REFERENCE ONLY. SEE CIVIL FOR TRUE NAVD ELEVATION.
- VERIFY SLOPES AND STEPS WITH ARCH'L PRIOR TO CONSTRUCTION.
- PROVIDE SLAB CONTROL JOINTS AT 12 FEET ON CENTER MAX.
- T.E. INDICATES THICKENED EDGE SEE DETAIL THIS SHEET.
-  DENOTES 8" CMU WALL, SEE SECTION FOR WALL REINFORCEMENT INFORMATION.



SECTION 2
3/4" = 1'-0" S-7

SECTION 3
3/4" = 1'-0" S-7



THICKENED EDGE (T.E.)
N.T.S.

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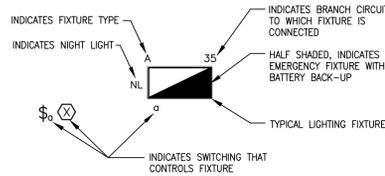
DUMPSTER ENCLOSURE

LIGHTING FIXTURE SCHEDULE										
MK	DESCRIPTION	LAMPS			DIFFUSER	MOUNTING	VOLT	MANUFACTURER	REMARKS	
		QTY	WATTS	TYPE						
A	8' LED STRIP LIGHT	-	77	LED	-	SURFACE MOUNTED	LITHONIA #CDS-L96-MVOLT-DM-40K-80CRI-WH			
D	EXTERIOR SURFACE DOWNLIGHT	-	12	LED	-	SURFACE MOUNTED	BEGA #24-409-K35-BLK	SURFACE MOUNT UNDER CANOPY		
EC	EXIT/EMERGENCY COMBO SIGN	2	9	LED	RED	UNIVERSAL	LITHONIA #HQM-S-W-3-R-MVOLT	PROVIDE ARROWS AND NUMBER OF FACES AS SHOWN ON PLANS		
EM	LED EMERGENCY LIGHT	-	10	LED	-	WALL MOUNTED ABOVE DOOR	EXTRONIX #NFS-WB-10L-WM-BA-G2 WITH REMOTE DRIVER			
EMC	LED EMERGENCY LIGHT	-	10	LED	-	CANOPY MOUNTED	EXTRONIX #NFS-WB-10L-BA-G2 WITH REMOTE DRIVER	COORDINATE INSTALLATION PRIOR TO INSTALLATION OF CANOPY		
SLB5	POLE MOUNTED AREA LIGHT	1	90.1	LED	-	POLE MOUNTED AT 16'-0" AFG	LITHONIA #DSXO-LED-P5-40K-70CRI-BLC4-MVOLT-PIRHN-NLTAIR-DBDLX-EGS	SEE NOTES 5 AND 6		
SLB6	POLE MOUNTED AREA LIGHT	1	137	LED	-	POLE MOUNTED AT 16'-0" AFG	LITHONIA #DSXO-LED-P6-40K-70CRI-BLC4-MVOLT-PIRHN-NLTAIR-DBDLX-EGS	SEE NOTES 5 AND 6		
SLB7	POLE MOUNTED AREA LIGHT	1	171	LED	-	POLE MOUNTED AT 16'-0" AFG	LITHONIA #DSXO-LED-P7-40K-70CRI-BLC4-MVOLT-PIRHN-NLTAIR-DBDLX-EGS	SEE NOTES 5 AND 6		
SLF5	POLE MOUNTED AREA LIGHT	1	90.1	LED	-	POLE MOUNTED AT 16'-0" AFG	LITHONIA #DSXO-LED-P5-40K-70CRI-TFTM-MVOLT-PIRHN-NLTAIR-DBDLX-EGS	SEE NOTES 5 AND 6		
SLT2	POLE MOUNTED AREA LIGHT	1	90.1	LED	-	POLE MOUNTED AT 16'-0" AFG	LITHONIA #DSXO-LED-P5-40K-70CRI-T2M-MVOLT-PIRHN-NLTAIR-DBDLX-EGS	SEE NOTES 5 AND 6		
SLT1	POLE MOUNTED AREA LIGHT	1	90.1	LED	-	POLE MOUNTED AT 16'-0" AFG	LITHONIA #DSXO-LED-P5-40K-70CRI-T21-MVOLT-PIRHN-NLTAIR-DBDLX-EGS			
T	EXTERIOR LED WALL PACK	-	21	LED	-	WALL MOUNTED AT 7' AFG.	LITHONIA #MOE-LE30-P0-40K-80CRI-WF			
W	EXTERIOR LED WALL SCONCE	-	6.8	LED	-	WALL MOUNTED AT 7' AFG.	BEGA #24-035-K4-BLK			

FIXTURE SCHEDULE NOTES:

- FIXTURE SCHEDULE IS PROVIDED TO ESTABLISH A LEVEL OF QUALITY AND SET THE BASIS OF DESIGN FOR THIS PROJECT. ALTERNATE PACKAGES OF EQUAL OR GREATER QUALITY WILL BE ACCEPTED ONLY FROM SESCO, GENLYTE, WFLI AND LIGHTING PARTNERS OF CENTRAL FLORIDA. NO OTHERS WILL BE CONSIDERED FOR THIS PROJECT. PROVIDE EXTERIOR PHOTOMETRIC 10 DATS FOR BID DATE FOR CONSIDERATION.
- SUBMIT CATALOG CUT SHEETS FOR APPROVAL PRIOR TO ORDERING LIGHTING FIXTURES. SUBMIT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER PRIOR TO SUBMITTING BIDS. SUBMISSIONS OF SHOP DRAWINGS TO THE ENGINEER/ARCHITECT THAT DO NOT MEET THE ABOVE REQUIREMENTS WILL NOT BE APPROVED.
- EMERGENCY BATTERIES SHALL BE MANUFACTURED BY BODINE, AND OR APPROVED EQUALS AND SHALL BE FACTORY INSTALLED. PROVIDE WITH AN UNCONDITIONAL NON-PRORATED 5 YEAR WARRANTY.
- TYPE DSX SERIES LIGHTING FIXTURES SHALL BE SIDE ARM MOUNTED WITH OUT TENON ADAPTERS WHEN USING ROUND FIBERGLASS OR ALUMINUM POLES. PROVIDE TENON ADAPTOR #TSQ/ASTSQ WHEN MOUNTING DSX SERIES LIGHTING FIXTURES TO CONCRETE POLES.
- PROVIDE WITH 20' OVERALL DIRECT BURIED TAPERED ALUMINUM TAPERED POLE, INSTALLED PER MANUFACTURERS WRITTEN INSTRUCTIONS. PROVIDED POLE MINIMUM EPA LOADING SHALL EXCEED THE FIXTURE AND MOUNTING ARM COMBINED EPA PER THE LOCAL WIND REQUIREMENTS OF 160MPH, 3 SECOND DUST, EXPOSURE B PER THE FLORIDA BUILDING CODE. SUBMIT WRITTEN SIGNED AND SEALED DOCUMENTATION INDICATING COMPLIANCE.
- PROVIDE POLE MOUNTED SITE LIGHTING WITH INTEGRAL WIRELESS CONTROLS REQUIRED TO MEET FBC C405.2.5 FOR EXTERIOR POWER REDUCTION REQUIREMENTS.

FIXTURE CIRCUITING DETAIL



- "NIGHT LIGHTS" WHERE INDICATED ARE TO BE WIRED UNSWITCHED. CIRCUIT USING THE SMALLEST NUMBER OF LAMPS PER FIXTURE WHEN MORE THAN ONE BALLAST IS PROVIDED PER FIXTURE. REMAINING LAMPS SHALL BE SWITCHED WITH REST OF AREA LIGHTING FIXTURES.
- INTEGRAL EMERGENCY BATTERIES SHALL BE CONNECTED TO UNSWITCHED LIGHTING CIRCUIT SERVING ROOM WHERE FIXTURE IS LOCATED.
- IF MORE THAN ONE SWITCH LEG IS SHOWN ADJACENT TO FIXTURE, FIXTURE SHALL BE PROVIDED WITH SECOND BALLAST FOR INSIDE-OUTSIDE LAMP SWITCHING. ALL FIXTURES WITHIN SAME AREA SHALL BE WIRED THE SAME, UNLESS OTHERWISE NOTED.

ELECTRICAL NOTES

MATERIALS AND METHODS

- ALL WIRE SHALL BE COPPER TYPE "THHN/THWN," SOLID FOR SIZES #10 AND #12, AND STRANDED FOR #8 AND LARGER UNLESS OTHERWISE NOTED.
- MINIMUM WIRE SIZE SHALL BE #12 AWG. FOR BRANCH CIRCUITS OVER 100' MINIMUM HOMERUN TO PANEL SHALL BE #10 AWG.
- ALL WIRE SHALL BE INSTALLED IN CONDUIT, UNLESS OTHERWISE NOTED. MINIMUM HOMERUN SIZE SHALL BE 3/4" 1/2" CONDUIT MAY BE USED BETWEEN DEVICES. ALL CONDUIT SHALL BE RUN PARALLEL AND PERPENDICULAR TO BUILDING WALLS AND FLOORS. MINIMUM U.G. CONDUIT HOMERUN SHALL BE 3/4". MC CABLE MAY BE USED PER THE NEC, WHERE CONCEALED.
- ALL CONDUITS INSTALLED IN DRY INTERIOR LOCATIONS SHALL BE ELECTRICAL METALLIC TUBING, UNLESS OTHERWISE NOTED.
- ALL CONDUITS INSTALLED IN EXTERIOR LOCATIONS SHALL BE RIGID SCH.80 PVC. ALL CONDUITS INSTALLED UNDERGROUND SHALL BE RIGID SCH.40 PVC. BURIED PER NEC. ALL EXTERIOR EQUIPMENT SHALL BE CONNECTED WITH LIQUID TIGHT FLEXIBLE METAL CONDUIT AND WEATHERPROOF FITTINGS.
- INSTALL ALL RACEWAYS, BOXES, ENCLOSURES, AND CABINETS AS INDICATED AND INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- OUTLET AND SWITCH BOXES SHALL BE STEEL IN DRY LOCATIONS AND CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS AND OF SPECIAL CONSTRUCTION TO SUIT SPECIFIC SITUATIONS. ALL BOXES SHALL BE RECESSED FLUSH IN WALLS AND/OR CONCEALED ABOVE CEILINGS. PROVIDE ACCESS PANELS FOR BOXES LOCATED IN NON-READILY ACCESSIBLE AREAS.
- INSTALL COMPONENTS AND EQUIPMENT TO PROVIDE MAXIMUM POSSIBLE HEADROOM WHERE MOUNTING HEIGHTS OR OTHER LOCATION CRITERIA ARE NOT INDICATED. MAINTAIN ALL WORKING CLEARANCES AROUND EQUIPMENT AS REQUIRED BY THE N.E.C. INSTALLED PANELBOARDS WITH TOP OF TRIM AT 6'-6" ABOVE FINISHED FLOOR.
- ALL BRANCH AND FEEDER CIRCUITS SHALL CONTAIN A GROUNDING CONDUCTOR, UNLESS OTHERWISE NOTED, AND BE SIZED AND BONDED IN ACCORDANCE WITH ARTICLE 250 OF THE NATIONAL ELECTRIC CODE. ALL GROUNDING CONDUCTORS SHALL BE COPPER, U.O.N. CHARACTERISTICS.
- ALL PANELBOARDS, DISCONNECT SWITCHES AND SYSTEM PANELS SHALL BE SQUARE D, GE OR EQUAL AND HAVE PLASTIC LAMINATE NAMEPLATES FOR IDENTIFYING SYSTEM FUNCTION AND CHARACTERISTICS.
- FIRE SEAL ALL CONDUIT PENETRATIONS IN FIRE RATED WALLS AND FLOORS BACK TO INITIAL RATING. FLASH ALL CONDUIT ROOF PENETRATIONS AS REQUIRED TO PROVIDE WEATHERPROOF SEALS. COORDINATE WITH OTHER TRADES AND ROOFING CONTRACTOR. ALL PENETRATIONS IN FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY APPROVED FIRE STOPPING SYSTEM IN ACCORDANCE TO SECTION 713 OF THE FBCB.
- ALL WIRING DEVICES SHALL BE COMMERCIAL GRADE AND MANUFACTURED BY LEVITON, PAS O HUBBELL. ALL DEVICES INSTALLED IN FINISHED AREAS SHALL BE WHITE WITH MATCHING NON-METALLIC FACEPLATES. FIELD VERIFY ACTUAL COLOR PRIOR TO ORDERING WITH OWNER OR TENANT. SWITCH AND OUTLET BOXES SHALL NOT BE INSTALLED WITHIN THE SAME STUD-CAVITY IN RATED PARTITIONS AND DIVIDING WALLS. IF BACK TO BACK BOXES ARE NOT SEPARATED BY MINIMUM HORIZONTAL DISTANCE OF 24", THEN INSTALLATION OF A WALL OPENING PROTECTIVE MATERIAL (UL LISTED PUTTY PAD, INSTALLED ACCORDING TO THEIR UL CLASSIFICATION) IS REQUIRED TO MAINTAIN THE WALL RATING.
- ALL DISCONNECT SWITCHES SHALL BE RATED HEAVY DUTY, AND NEMA 3R WHERE INSTALLED OUTDOORS.
- PROVIDE SUPPLEMENTAL WIRE-TYPE SUPPORT OF ALL LAY-IN LIGHTING FIXTURES FROM BUILDING STRUCTURE. LIGHTING FIXTURES WEIGHING LESS THAN 10 POUNDS SHALL HAVE ONE #12 GAGE HANGER WIRE CONNECTED FROM THE LIGHTING FIXTURE TO THE STRUCTURE ABOVE. LIGHTING FIXTURES WEIGHING MORE THAN 10 POUNDS SHALL HAVE TWO #12 GAGE WIRES ATTACHED AT OPPOSING CORNERS OF THE LIGHTING FIXTURE.
- PROVIDE NYLON PULLSTRINGS IN ALL RACEWAYS.
- THESE ELECTRICAL PLANS AND PANEL SCHEDULES ARE BASED ON THE CONTRACTOR PROVIDING DEDICATED NEUTRALS FOR EACH 120V BRANCH CIRCUIT. MULTI-WIRE BRANCH CIRCUITS ARE NOT USED, UNLESS SPECIFICALLY NOTED.

FUNCTIONAL TESTING:

- THE ELECTRICAL CONTRACTOR SHALL ARRANGE FOR AND OR COMPLETE FUNCTIONAL TESTING AT THE END OF THE PROJECT PRIOR TO THE FINAL INSPECTION TO ENSURE THAT LIGHTING CONTROL, HARDWARE AND SOFTWARE ARE CALIBRATED, ADJUSTED, PROGRAMMED AND IN PROPER WORKING CONDITION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. WHERE REQUIRED BY THE CODE OFFICIAL, AN APPROVED PARTY INDEPENDENT FROM THE DESIGN OR CONSTRUCTION OF THE PROJECT SHALL BE RESPONSIBLE FOR THE FUNCTIONAL TESTING AND SHALL PROVIDE DOCUMENTATION TO THE CODE OFFICIAL CERTIFYING THAT THE INSTALLED LIGHTING CONTROLS MEET THE PROVISIONS OF SECTION C405.
- WHERE OCCUPANT SENSORS, TIME SWITCHES, PROGRAMMABLE SCHEDULE CONTROLS, PHOTO SENSORS OR DAYLIGHTING CONTROLS ARE INSTALLED, THE FOLLOWING GENERAL PROCEDURES SHALL BE PERFORMED. REFER TO FBC C408.3 FOR SPECIFIC REQUIREMENTS.
 - CONFIRM THAT THE PLACEMENT, SENSITIVITY AND TIME-OUT ADJUSTMENTS FOR OCCUPANT SENSORS YIELD ACCEPTABLE PERFORMANCE.
 - CONFIRM THAT THE TIME SWITCHES AND PROGRAMMABLE SCHEDULE CONTROLS ARE PROGRAMMED TO TURN THE LIGHTS OFF.
 - CONFIRM THAT THE PLACEMENT AND SENSITIVITY ADJUSTMENTS FOR PHOTO SENSOR CONTROLS REDUCE ELECTRIC LIGHT BASED ON THE AMOUNT OF USABLE DAYLIGHT IN THE SPACE AS SPECIFIED.
- WITHIN 90 DAYS FROM THE DATE OF RECEIPT OF THE CERTIFICATE OF OCCUPANCY, THE CONTRACTOR SHALL SUBMIT TO THE BUILDING OWNER DOCUMENTATION CERTIFYING THAT INSTALLED LIGHTING CONTROLS MEET THE DOCUMENTED PERFORMANCE CRITERIA OF SECTION C405.

PROJECT COMPLETION REQUIREMENTS

- WITHIN 30 DAYS AFTER THE DATE OF SYSTEM ACCEPTANCE, CONTRACTOR SHALL PROVIDE RECORD DRAWINGS OF THE ACTUAL INSTALLATION TO THE BUILDING OWNER, INCLUDING:
 - A SINGLE-LINE DIAGRAM OF THE BUILDING ELECTRICAL DISTRIBUTION SYSTEM.
 - FLOOR PLANS INDICATING LOCATION AND AREA SERVED FOR ALL DISTRIBUTION.
- THE CONTRACTOR SHALL PROVIDE OPERATING MANUAL AND MAINTENANCE MANUALS TO THE BUILDING OWNER. THE MANUALS SHALL BE NEATLY BOUND AND ORGANIZED AND SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING:
 - SUBMITTAL DATA STATING EQUIPMENT RATING AND SELECTED OPTIONS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE.
 - OPERATION MANUALS AND MAINTENANCE MANUALS FOR EACH PIECE OF EQUIPMENT REQUIRING MAINTENANCE. REQUIRED ROUTINE MAINTENANCE ACTIONS SHALL BE CLEARLY IDENTIFIED.
 - NAME AND ADDRESS OF AT LEAST ONE QUALIFIED SERVICE AGENCY.

GENERAL REQUIREMENTS

- PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND TOOLS TO PERFORM ALL WORK NECESSARY FOR THE COMPLETE EXECUTION OF THE ELECTRICAL WORK AS SHOWN ON THE DRAWINGS.
- PROVIDE WORK NOT SPECIFICALLY SHOWN OR SPECIFIED, YET REQUIRED TO INSURE PROPER AND COMPLETE OPERATIONS OF ALL SYSTEMS AND TO SATISFY THE DESIGN INTENT IN THE WORK AND TO COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
- LABOR FOR THE INSTALLATION OF MATERIALS AND EQUIPMENT FURNISHED UNDER THE ELECTRICAL CONTRACTORS' SCOPE OF WORK SHALL BE PERFORMED BY EXPERIENCED MECHANICS OF THE PROPER TRADE AND ALL WORKMANSHIP SHALL BE FIRST CLASS AND SHALL BE IN COMPLIANCE WITH THE SPECIFIC REQUIREMENTS OF THE CONTRACT DRAWINGS.
- ALL DISCREPANCIES ON DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO SUBMISSION OF BIDS. SUBMISSION OF A BID CONSTITUTES ACCEPTANCE OF FIELD CONDITIONS.
- ALL DIVISION 1 SPECIFICATIONS AND ARCHITECTURAL GENERAL AND SPECIAL CONDITIONS OUTLINED IN THE CONTRACT DOCUMENTS SHALL APPLY TO ELECTRICAL SYSTEMS.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE FOLLOWING CODES AND STANDARDS:
 - FLORIDA BUILDING CODE 7TH EDITION
 - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) NATIONAL ELECTRICAL CODE, 2017 (NEC)
 - NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION, (NEMA) NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION, (NECA)
 - AMERICAN NATIONAL STANDARDS INSTITUTE, (ANSI)
 - UNDERWRITERS LABORATORIES, (UL)
 - ALL LOCAL CODES, ORDINANCES, REGULATIONS
 - LOCAL POWER COMPANY STANDARDS
 - THE AUTHORITY HAVING JURISDICTION.

- ALL MATERIALS PROVIDED BY THE CONTRACTOR SHALL BE NEW AND FREE OF DEFECTS AND SHALL BE UL LISTED FOR THE INTENDED APPLICATION.
- THE ELECTRICAL DRAWINGS ARE NOT TO BE SCALED. WHERE SPECIFIC DETAILS AND DIMENSIONS FOR ELECTRICAL WORK ARE NOT SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL TAKE MEASUREMENTS AND MAKE LAYOUTS AS REQUIRED FOR THE PROPER INSTALLATION AND COMPLETION OF THE WORK.
- CONTRACTOR SHALL OBTAIN AND FURNISH ALL PERMITS, AND ARRANGE FOR ALL REQUIRED INSPECTIONS.
- CONTRACTOR SHALL INSPECT SITE FOR FIELD VERIFICATION OF ALL ASPECTS OF THE PROJECT PRIOR TO BIDDING.
- THE CONTRACT DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF CIRCUITS AND OUTLETS, LOCATION OF SWITCHES, PANELBOARDS, CONDUITS, AND OTHER WORK. FIELD VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION OF WORK.
- ALL DISCONNECT SWITCHES AND STARTERS FOR THE MECHANICAL EQUIPMENT SHALL BE SIZED AND PROVIDED BY THE ELECTRICAL CONTRACTOR AND INSTALLED AND CIRCUITED BY THE ELECTRICAL CONTRACTOR, UNLESS OTHERWISE NOTED. INSTALL SWITCHES IN ACCESSIBLE LOCATIONS. PRIOR TO INSTALLATION OF ANY ELECTRICAL WORK RELATED TO NEW HVAC CIRCUITS, THE ELECTRICAL CONTRACTOR SHALL REVIEW THE MECHANICAL SHOP DRAWINGS FOR ACTUAL CIRCUIT REQUIREMENTS.
- THE ELECTRICAL CIRCUITS, COMPONENTS, AND CONTROLS ARE SELECTED AND SIZED FOR THE EQUIPMENT SPECIFIED AND OR SHOWN. IF SUBSTITUTIONS AND/OR EQUIVALENT EQUIPMENT ARE FURNISHED, IT SHALL BE THE RESPONSIBILITIES OF ALL PARTIES CONCERNED, INVOLVED IN AND FURNISHING THE SUBSTITUTE AND/OR EQUIVALENT EQUIPMENT TO VERIFY AND COMPARE THE ELECTRICAL CHARACTERISTICS OF THAT EQUIPMENT TO THAT SHOWN.
- FIELD COORDINATE EXACT ELECTRICAL CONNECTION POINTS TO EQUIPMENT PRIOR TO ROUGH IN OF ELECTRICAL COMPONENTS.
- FIELD DETERMINE EXACT MOUNTING LOCATION OF DUCT MOUNTED SMOKE DETECTORS. INSTALL PER NFPA AND MANUFACTURER'S WRITTEN INSTRUCTIONS.
- COORDINATE MOUNTING LOCATIONS OF LIGHTING SWITCHES, F/A DEVICES, TV, DATA/TEL OUTLETS, AND RECEPTACLES WITH MILLWORK, PRIOR TO ROUGH-IN.
- COORDINATE MOUNTING LOCATIONS OF RECEPTACLE AND TV AND DATA OUTLETS WITH OWNER REPRESENTATIVE, PRIOR TO ROUGH-IN. REFER TO ARCHITECTURAL PLANS FOR WALL CONSTRUCTION TYPES.
- PROVIDE A 120V RECEPTACLE AND SWITCHED LIGHTING OUTLET WITH LAMP WITHIN 3 FT. OF THE SERVING SIDE OF ALL ELECTRICALLY OPERATED MECHANICAL EQUIPMENT INSTALLED IN ATTICS AND CRAWL SPACES.
- THE CONTRACTOR SHALL PROVIDE ALL CHANNEL AND ANGLE SUPPORTING SYSTEMS, HANGERS, ANCHORS, SLEEVES, BRACKETS, FABRICATED ITEMS, AND HARDWARE AS REQUIRED TO PROVIDE SECURE SUPPORT, PER N.E.C. FOR ALL ELECTRICAL COMPONENTS FROM THE BUILDING STRUCTURE.
- SPECIFIED CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY ONLY. FIELD COORDINATE ACTUAL ROUTING OF CONDUITS.
- PROVIDE TEMPORARY LIGHTING AND POWER AS REQUIRED FOR ALL SUBS AND TO SUIT JOB CONDITIONS.
- ALL MOUNTING HEIGHTS INDICATED ARE MEASURED FROM THE FINISHED FLOOR INSIDE, OR FINISHED GRADE OUTSIDE.
- WHERE CONCEALED BY INACCESSIBLE FINISHES, PROVIDE ACCESS DOORS TO ELECTRICAL JUNCTION AND PULL BOXES, CONTROL DEVICES, AND EQUIPMENT. DISCONNECT SWITCHES AND ALL OTHER ITEMS REQUIRING MAINTENANCE, ADJUSTING, OR SERVICE. COORDINATE LOCATION OF ACCESS PANELS WITH ARCHITECT AND ALL AFFECTED TRADES.
- PROVIDE FINAL CLEANUP AND CONDUCT FIELD TESTS AFTER INSTALLATION OF ALL ELECTRICAL WORK. ADJUST ITEMS TO THE SATISFACTION OF THE OWNER, ARCHITECT, AND ENGINEER. LEAVE PANELBOARD INTERIOR CLEAN AND FREE FROM CONSTRUCTION DEBRIS. NEATLY DRESS ALL WIRING, AND RE-TIGHTEN ALL TERMINATIONS PER MANUFACTURERS' RECOMMENDATIONS.
- TEST RESISTANCE OF GROUNDING ELECTRODE SYSTEM TO EARTH TO ACHIEVE A MINIMUM OF 10 OHMS. PROVIDE ADDITIONAL ELECTRODE TO OBTAIN ADEQUATE READING.
- MAINTAIN ON THE JOBSITE IN GOOD CONDITION ONE SET OF UP TO DATE AS-BUILT ELECTRICAL DRAWINGS. PROGRESSIVELY, NEATLY, LEGIBLY AND EXACTLY RECORD ON THESE DRAWINGS THE LOCATION OF ALL CONCEALED CONDUIT RUNS AND ALL WORK WHICH IS INSTALLED DIFFERENTLY THAN IN THE LOCATION AND MANNER INDICATED ON THE DRAWINGS. PROVIDE A COPY OF THESE PLANS FOR THE OWNER.
- UPON COMPLETION OF PROJECT, BALANCE PANELBOARD LOADS AMONG PHASES IN NEW PANELBOARDS WITHIN 10% OF EACH OTHER.
- PROVIDE A FULL ONE YEAR WARRANTY ON ALL ELECTRICAL LABOR, AND MATERIALS INSTALLED ON THIS PROJECT, STARTING FROM THE ISSUANCE OF THE OWNERS CERTIFICATE OF OCCUPANCY.
- PER FLORIDA ENERGY CODE SECTION C405.5.3, THESE PLANS HAVE BEEN DESIGNED TO LIMIT THE COMBINED VOLTAGE DROP ON FEEDERS AND BRANCH CIRCUITS TO 5% MAXIMUM.

ABBREVIATIONS:

A	AMPERES	KAC	(THOUSAND) AMPERE INTERRUPTING CAPACITY
A/C	AIR CONDITIONING	KMIL	THOUSANDS OF CIRCULAR MILS
AFB	ABOVE FINISHED FLOOR	KVA	KILOVOLT AMPERES
AFG	ABOVE FINISHED GRADE	KW	KILOWATT
AHU	AIR HANDLING UNIT	KG	KILOGRAM
AWG	AMERICAN WIRE GAUGE	LTG	LIGHTING
B.C.	BELOW COUNTER	MH	METAL HALIDE
CH	COUNTER HEIGHT	N	NEUTRAL
C	CONDUIT	N.C.	NORMALLY CLOSED
CFL	COMPACT FLUORESCENT	NF	NON-FUSED
CT	CURRENT TRANSFORMER	NL	NIGHT LIGHT
CU	COPPER	P	POLE
DISC	DISCONNECT	PVC	POLYVINYL CHLORIDE
EM	EMERGENCY	SPEC	SPECIFICATION
EMT	ELECTRICAL METALLIC TUBING	SS	STAINLESS STEEL
EMC	ELECTRIC WATER COOLER	SO	SQUARE
FACP	FIRE ALARM CONTROL PANEL	TS	TAMPER SWITCH
FS	FLOW SWITCH	TIB	TELEPHONE TERMINAL BOARD
FMC	FLEXIBLE METAL CONDUIT	TYP	TYPICAL
GF1	GROUND FAULT CIRCUIT INTERRUPTER	UC	UNDER COUNTER
GND	GROUND	UG	UNDERGROUND
GRG	GALVANIZED RIGID CONDUIT	UON	UNLESS OTHERWISE NOTED
HVAC	HEATING, VENTILATION, AIR CONDITIONING	V	VOLTS
IG	ISOLATED GROUND	W	WIRE
J	JUNCTION	WP	WEATHERPROOF (CONNECTED)

SYMBOLS

LIGHTING

- EXIT SIGN, CEILING OR PENDANT MOUNTED ABOVE DOOR. SEE LIGHTING FIXTURE SCHEDULE FOR DETAILS.
- EXIT SIGN, WALL MOUNTED ABOVE DOOR. SEE LIGHTING FIXTURE SCHEDULE FOR DETAILS.
- EXTERIOR WALL LIGHTING FIXTURE. SEE LIGHTING FIXTURE SCHEDULE FOR DETAILS.
- RECESSED OR SURFACE MOUNTED LIGHTING FIXTURE. SEE LIGHTING FIXTURE SCHEDULE FOR DETAILS.
- LED STRIP LIGHTING FIXTURE. SEE LIGHTING FIXTURE SCHEDULE FOR DETAILS.
- EMERGENCY BATTERY LIGHTING FIXTURE. SEE SCHEDULE FOR DETAILS.
- 125V AC DIGITAL 7-DAY, 24 HOUR TIMER SWITCH. MOUNT AT 48" AFF.
- BOLLARD LIGHTING FIXTURE. SEE LIGHTING FIXTURE SCHEDULE FOR DETAILS.
- SITE LIGHTING FIXTURE. SEE LIGHTING FIXTURE FOR DETAILS.

POWER AND WIRING

- 120/208V PANELBOARD AS SCHEDULED
- FUSED DISCONNECT SWITCH, NEMA 1 (INDOOR) OR NEMA 3R (OUTDOOR). SINGLE NUMBER INDICATES NUMBER OF POLES. TOP NUMBER INDICATES MAXIMUM AMPERAGE. BOTTOM INDICATES ACTUAL FUSING AS INDICATED OR AS DETERMINED FROM MANUFACTURER'S NAMEPLATE. DISCONNECT SWITCH MUST BE CAPABLE OF BEING LOCKED IN THE OPEN (OFF) POSITION.
- NON-FUSED (NF) DISCONNECT SWITCH, NEMA 1 (INDOOR) OR NEMA 3R (OUTDOOR). SINGLE NUMBER INDICATES NUMBER OF POLES. TOP NUMBER INDICATES MAXIMUM AMPERAGE. DISCONNECT SWITCH MUST BE CAPABLE OF BEING LOCKED IN THE OPEN (OFF) POSITION.
- JUNCTION BOX. CODE SIZED FOR APPLICATION.
- RACEWAY CONCEALED ABOVE CEILING, IN WALLS OR EXPOSED.
- RACEWAY CONCEALED BELOW FLOOR, ROOF, OR GRADE.
- HOMERUN TO PANELBOARD, NUMBER OF ARROWS INDICATES NUMBER OF CIRCUITS. PROVIDE GREEN INSULATED GROUNDING CONDUCTOR IN ALL POWER AND LIGHTING RACEWAYS, NOT SHOWN ON PLANS.
- GROUND

WIRING DEVICES

- 125V AC 20 AMP DUPLEX RECEPTACLE, NEMA 5-20R MOUNTED AT 18" AFF, U.O.N.
- 125V AC 20 AMP DUPLEX RECEPTACLE NEMA 5-20R, WITH GROUND FAULT CIRCUIT INTERRUPTER, RECEPTACLE SHALL BE LISTED AS WEATHER RESISTANT
- 125V AC 20 AMP DUPLEX RECEPTACLE NEMA 5-20R, WITH GROUND FAULT CIRCUIT INTERRUPTER, MOUNTED AT 18" A.F.F, U.O.N.
- 125V AC 20 AMP DUPLEX RECEPTACLE, NEMA 5-20R MOUNTED AT COUNTER HEIGHT, TOP OF DEVICE LESS THAN 46" AFF.
- 125V AC 20 AMP DUPLEX RECEPTACLE NEMA 5-20R, WITH GROUND FAULT CIRCUIT INTERRUPTER, MOUNTED AT COUNTER HEIGHT, TOP OF DEVICE LESS THAN 46" AFF.

REVISION	DATE	BY	DESCRIPTION
1	07/10/23		

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DRAWING TITLE
ELECTRICAL NOTES AND SYMBOLS

ENGINEER OF RECORD
DAVID E. ALLEY, PE
FL PE #55008

DATE
06-23-23

SCALE
AS NOTED

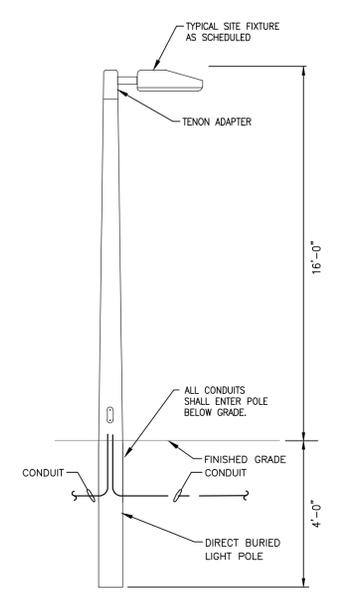
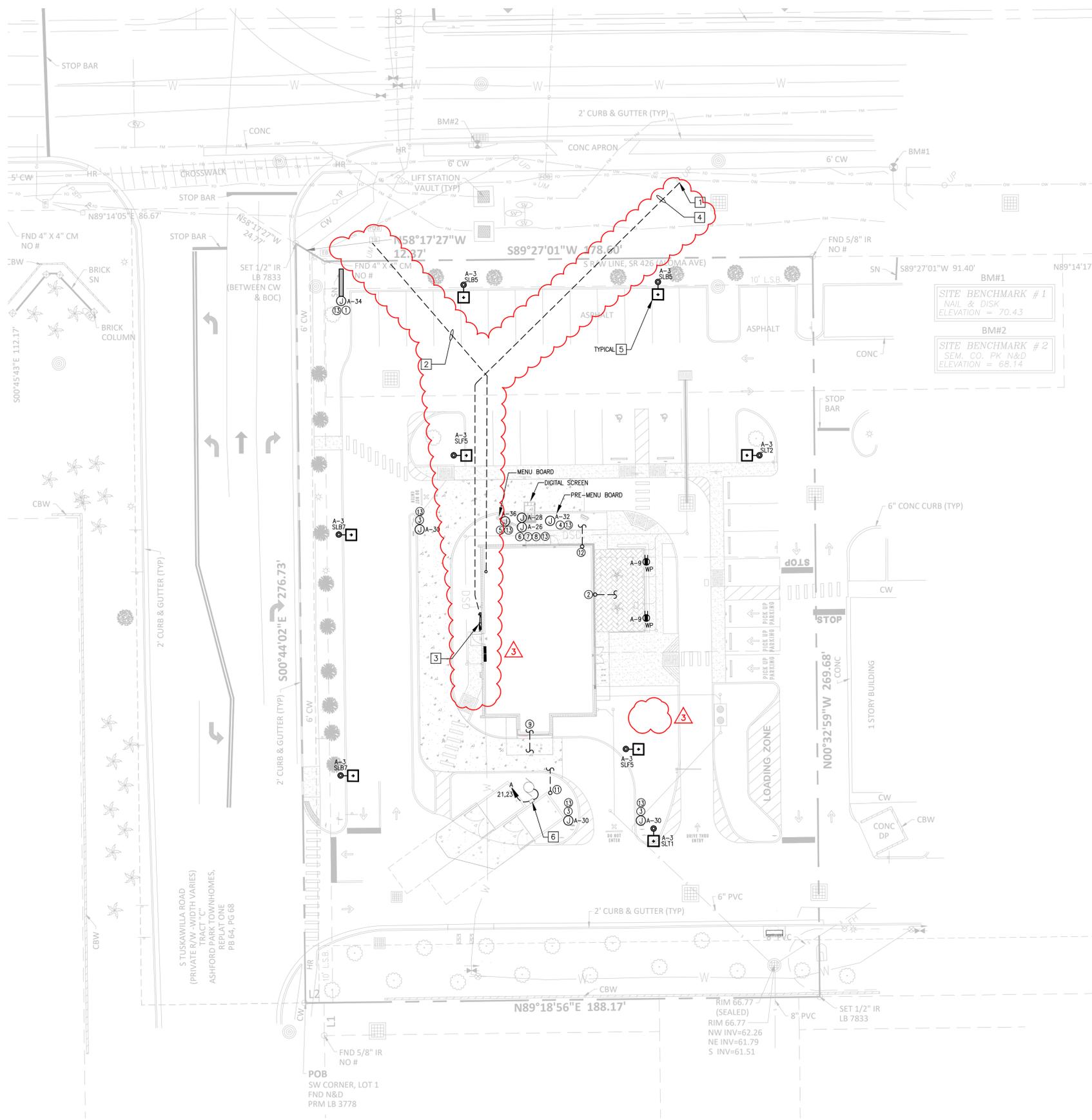
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TYPICAL SITE LIGHTING FIXTURE
NTS

GENERAL NOTES:

- A. VERIFY FULL SCOPE OF WORK WITH LANDLORD WORK LETTER PRIOR TO BID. NO EXTRAS OR CHANGE ORDERS SHALL BE GIVEN FOR THE GC'S FAILURE TO FULLY UNDERSTAND THE SCOPE.
- B. COORDINATE ALL CONDUIT ROUTING WITH ARCHITECTURAL AND CIVIL PLANS, AND OTHER TRADES.
- C. SIGN LOCATIONS ON THIS PLAN ARE FOR REFERENCE ONLY. ACTUAL LOCATIONS SHALL BE DETERMINED FROM THE ARCHITECTURAL AND CIVIL PLANS, AND THE CONSTRUCTION MANAGER.
- D. REFER TO POWER PLAN FOR PANELBOARD LOCATIONS.
- E. FOR ALL SIGN / MENU LOCATIONS, VERIFY ALL ELECTRICAL REQUIREMENTS WITH MANUFACTURER PRIOR TO ROUGH-IN. PROVIDE CONDUCTORS AND OVERCURRENT PROTECTION FOR A COMPLETE INSTALLATION.

PLAN NOTES:

1. APPROXIMATE LOCATION OF EXISTING POLE-MOUNTED TRANSFORMER. REFER TO RISER DIAGRAM ON DRAWING E6 FOR ADDITIONAL INFORMATION.
2. EXTEND (1) 2" U.G. CONDUIT FOR BROADBAND AND (1) 2" U.G. CONDUIT FOR TELEPHONE SERVICE FROM SERVICE POINT TO LOCATION OF FUTURE TENANT TT.B. FIELD VERIFY WITH SERVICE PROVIDER EXACT TERMINATION POINT PRIOR TO ROUGH-IN. SEE PLAN NOTE 1 ON E5 FOR ADDITIONAL INFORMATION.
3. LOCATION OF METER AND SERVICE DISCONNECT SWITCH. REFER TO RISER DIAGRAM ON DRAWING E6 FOR ADDITIONAL INFORMATION.
4. PROPOSED SERVICE LATERAL ROUTING FROM TRANSFORMER SECONDARY COMPARTMENT TO BUILDING MOUNTED METER.
5. PROVIDE SITE LIGHTING POLES AND FIXTURES AS SCHEDULED. FIXTURES SPECIFIED WITH SMART CONTROLS FOR AUTOMATIC LIGHTING REDUCTION.
6. PROPOSED LOCATION OF SITE IRRIGATION PUMP AND CONTROLLER. PUMP AND CONTROLLER PROVIDED BY OTHERS. FIELD VERIFY EXACT LOCATION PRIOR TO ROUGH-IN OF U.G. CONDUIT.

KEY NOTES:

- GENERAL: FURNISH AND INSTALL ALL UNDERGROUND ELECTRICAL/DATA CONDUITS, LABELED WITH PULL STRINGS, FROM THE ELECTRICAL PANELS AND LOW VOLTAGE DISTRIBUTION POINTS TO THE FOLLOWING SITE, AND DRIVE-THRU COMPONENTS:
- SITE SIGNAGE:**
- 1 ONE [1] 1" CONDUIT FOR TENANT'S DEDICATED MONUMENT/PYLON SIGN TO ELECTRICAL PANEL IN BOH (BACK OF HOUSE). PROVIDE A WEATHERPROOF JUNCTION BOX WITH DISCONNECT SWITCH.
 - 2 TWO [2] 1" CONDUITS TO BE RUN FROM BOH ELECTRICAL PANEL THROUGH FOUNDATION WALL, TO PATIO SEATING AREA. TERMINATE CONDUIT AT GRADE IN PLANTER ADJACENT TO PATIO SEATING.
 - 3 ONE [1] 1" CONDUIT FOR EACH DIRECTIONAL SIGN TO ELECTRICAL PANELS IN BOH. (MAXIMUM THREE [3] DIRECTIONAL SIGNS SERVED BY A SINGLE CIRCUIT). PROVIDE A WEATHERPROOF JUNCTION BOX WITH DISCONNECT SWITCH.
- PRE-ORDER MENU:**
- 4 ONE [1] 1" CONDUIT FROM PRE-ORDER MENU BOARD TO ELECTRICAL PANELS IN BOH
- MENU:**
- 5 ONE [1] 1" CONDUIT FOR TENANT'S MENU BOARD TO ELECTRICAL PANELS IN BOH
 - 6 ONE [1] 1" CONDUIT FROM DIGITAL ORDER SCREEN TO ELECTRICAL PANELS IN BOH
 - 7 TWO [2] 1" CONDUITS FOR DATA FROM DIGITAL ORDER SCREEN TO THE INTERIOR OF THE DRIVE THRU "BUMP-OUT"
 - 8 ONE [1] 1" CONDUIT EMBED IN DRIVE THRU LANE FOR VEHICLE DETECTOR LOOP. CENTER CONDUIT ON DIGITAL ORDER SCREEN POST.
 - 9 ONE [1] 1" CONDUIT EMBED IN DRIVE THRU LANE FOR VEHICLE DETECTOR LOOP. CENTER CONDUIT ON DRIVE THRU WINDOW.
- OTHER:**
- 10 ONE [1] 1" CONDUIT FROM LIGHTED BOLLARDS TO ELECTRICAL PANELS IN BOH (WHERE SHOWN)
 - 11 ONE [1] 1" CONDUIT FROM TRASH ENCLOSURE TO ELECTRICAL PANELS IN BOH
 - 12 THREE [3] 1" SPARE CONDUITS TO BE RUN THROUGH FOUNDATION ADJACENT TO ELECTRICAL PANEL. CONDUITS SHALL TERMINATE AT GRADE (EXTERIOR SIDE), AND EXTEND ABOVE CEILING ON INTERIOR SIDE.
 - 13 CIRCUIT SERVING THIS DEVICE SHALL BE AUTOMATICALLY CONTROLLED. FURNISH AND INSTALL ALL CONDUIT, WIRE, CONNECTIONS, AND CONTACTORS NECESSARY TO ENSURE A FUNCTIONAL SYSTEM (SEE LIGHTING CONTROL DIAGRAM ON E6).

REV#	DATE	REVISION
1	07/10/23	COUNTY COMMENTS
2	08/30/23	COUNTY COMMENTS
3	09/20/23	UTILITY COOPERATION

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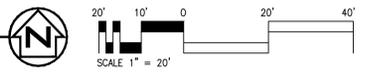
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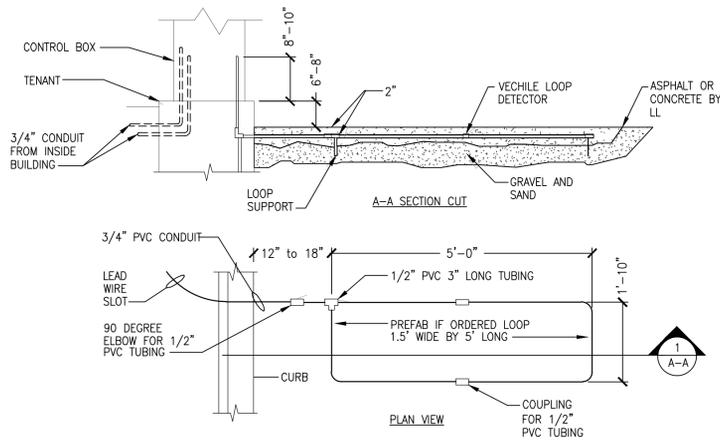
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DRAWING TITLE
SITE ELECTRICAL PLAN

ENGINEER OF RECORD
DAVID E. ALLEY, PE
FL PE #55008

DATE: 06-23-23
SCALE: AS NOTED
PROJ. NO.: 230069
DESIGNED BY: DAP
DRAWN BY: DAP
CHECKED BY: DEA
DRAWING NO.: E2

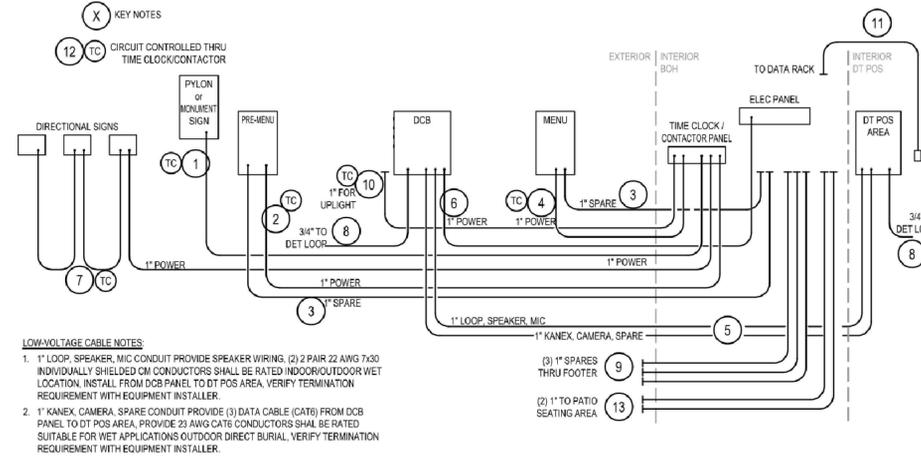
SITE ELECTRICAL PLAN
SCALE: 1" = 20'





DTE - SENSOR LOOP DETAIL

SCALE: NONE



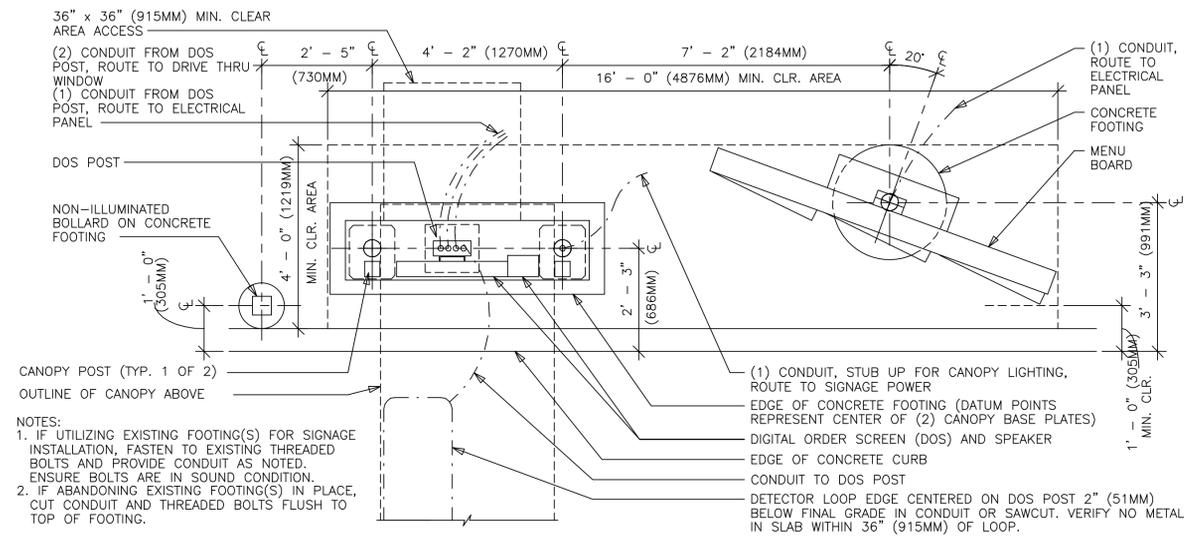
DTE CONDUIT SCHEMATIC

SCALE: NONE

KEY NOTES: (X)

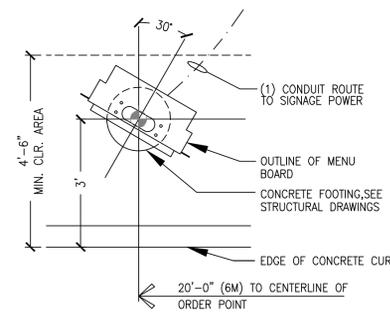
1. PROVIDE (1) 1" PVC CONDUIT FOR POWER CONNECTION TO STARBUCKS MONUMENT SIGNAGE. PROVIDE A WEATHERPROOF JUNCTION BOX WITH DISCONNECT SWITCH.
2. PROVIDE (1) 1" PVC CONDUIT FOR POWER CONNECTION TO PRE-MENU SIGN AND (1) 1" PVC CONDUIT WITH PULL STRING CONTINUOUS TO TELEPHONE BOARD FOR DATA CONNECTION. PROVIDE WEATHERPROOF JUNCTION BOX WITH DISCONNECT SWITCH.
3. PROVIDE (1) 1" PVC CONDUIT FOR FUTURE USE TO MENU SIGN AND TO PRE-MENU SIGN.
4. PROVIDE (1) 1" PVC CONDUIT FOR POWER CONNECTION TO MENU SIGN AND (1) 1" PVC CONDUIT WITH PULL STRING CONTINUOUS TO TELEPHONE BOARD FOR DATA CONNECTION. PROVIDE WEATHERPROOF JUNCTION BOX WITH DISCONNECT SWITCH.
5. PROVIDE (2) 1" PVC CONDUITS FROM OCS/SPEAKER POST (AKA DOS/DCB) TO DRIVE-THRU WINDOW - SEE LOW-VOLTAGE CABLE NOTES.
6. PROVIDE (1) 1" PVC CONDUIT FROM OCS/SPEAKER POST (AKA DOS/DCB) TO ELECTRICAL PROVIDE WEATHERPROOF JUNCTION BOX WITH DISCONNECT SWITCH.
7. PROVIDE (1) 1" PVC CONDUIT FOR POWER CONNECTION TO STARBUCKS DIRECTIONAL SIGNAGE. NOTE THAT UP TO THREE DIRECTIONAL SIGNS CAN BE SERVED BY A SINGLE CIRCUIT. ADDITIONAL SIGNS REQUIRE A NEW DEDICATED CIRCUIT AND CONDUIT.
8. PROVIDE A WEATHERPROOF JUNCTION BOX WITH DISCONNECT SWITCH. PROVIDE (1) 3/4" PVC CONDUIT FOR EACH OF TWO TENANT-FURNISHED DETECTOR LOOP SETS IN COORDINATION WITH TENANT CONSTRUCTION MANAGER.
9. PROVIDE (1) SPARE 1" PVC CONDUIT THRU FOUNDATION WALL OUT REAR OF BUILDING, CAPPED AND TERMINATED ABOVE CEILING. VERIFY LOCATION OF STUB UP WITH TENANT'S REPRESENTATIVE.
10. PROVIDE (1) 1" PVC CONDUIT TO CANOPY UPLIGHT FROM ELECTRICAL PANEL.
11. PROVIDE (1) 1-1/2" CONDUIT FROM DATA RACK AT MANAGER WORKSTATION TO DRIVE-THRU BUMP.
12. CIRCUIT SERVING THIS DEVICE SHALL BE AUTOMATICALLY CONTROLLED. FURNISH AND INSTALL ALL CONDUIT, WIRE, CONNECTIONS, AND CONTACTORS NECESSARY TO ENSURE A FUNCTIONAL SYSTEM (SEE LIGHTING CONTROL DIAGRAM ON E-6001).
13. PROVIDE (2) 1" PVC CONDUIT TO PATIO AREA FROM ELECTRICAL PANEL.

- LOW-VOLTAGE CABLE NOTES**
1. 1" LOOP, SPEAKER, MIC CONDUIT PROVIDE SPEAKER WIRING. (2) 2 PAIR 22 AWG 7-30 INDIVIDUALLY SHIELDED CM CONDUCTORS SHALL BE RATED INDOOR/OUTDOOR WET LOCATION. INSTALL FROM DCB PANEL TO DT POS AREA. VERIFY TERMINATION REQUIREMENT WITH EQUIPMENT INSTALLER.
 2. 1" KANEX CAMERA SPARE CONDUIT PROVIDE (3) DATA CABLE (CAT6) FROM DCB PANEL TO DT POS AREA. PROVIDE 23 AWG CAT6 CONDUCTORS SHALL BE RATED SUITABLE FOR WET APPLICATIONS OUTDOOR DIRECT BURIAL. VERIFY TERMINATION REQUIREMENT WITH EQUIPMENT INSTALLER.



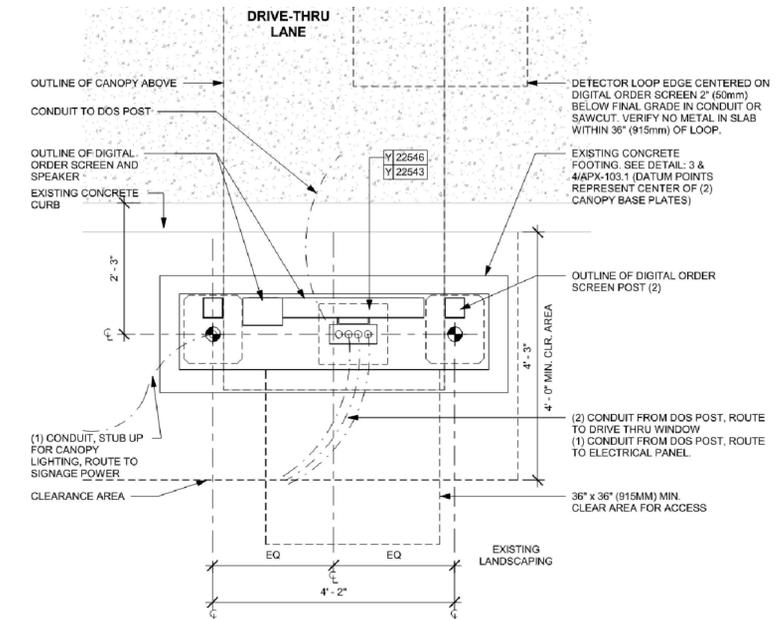
DTE - DT MENU BOARD, DIGITAL ORDER SCREEN WITH CANOPY

SCALE: 1/2" = 1'-0"



DTE - PRE-MENU 30 DEG

SCALE: 1/2" = 1'-0"



DTE - DOS CONTROL BOX CONDUIT STUB-UPS AT CANOPY

SCALE: 1/2" = 1'-0"

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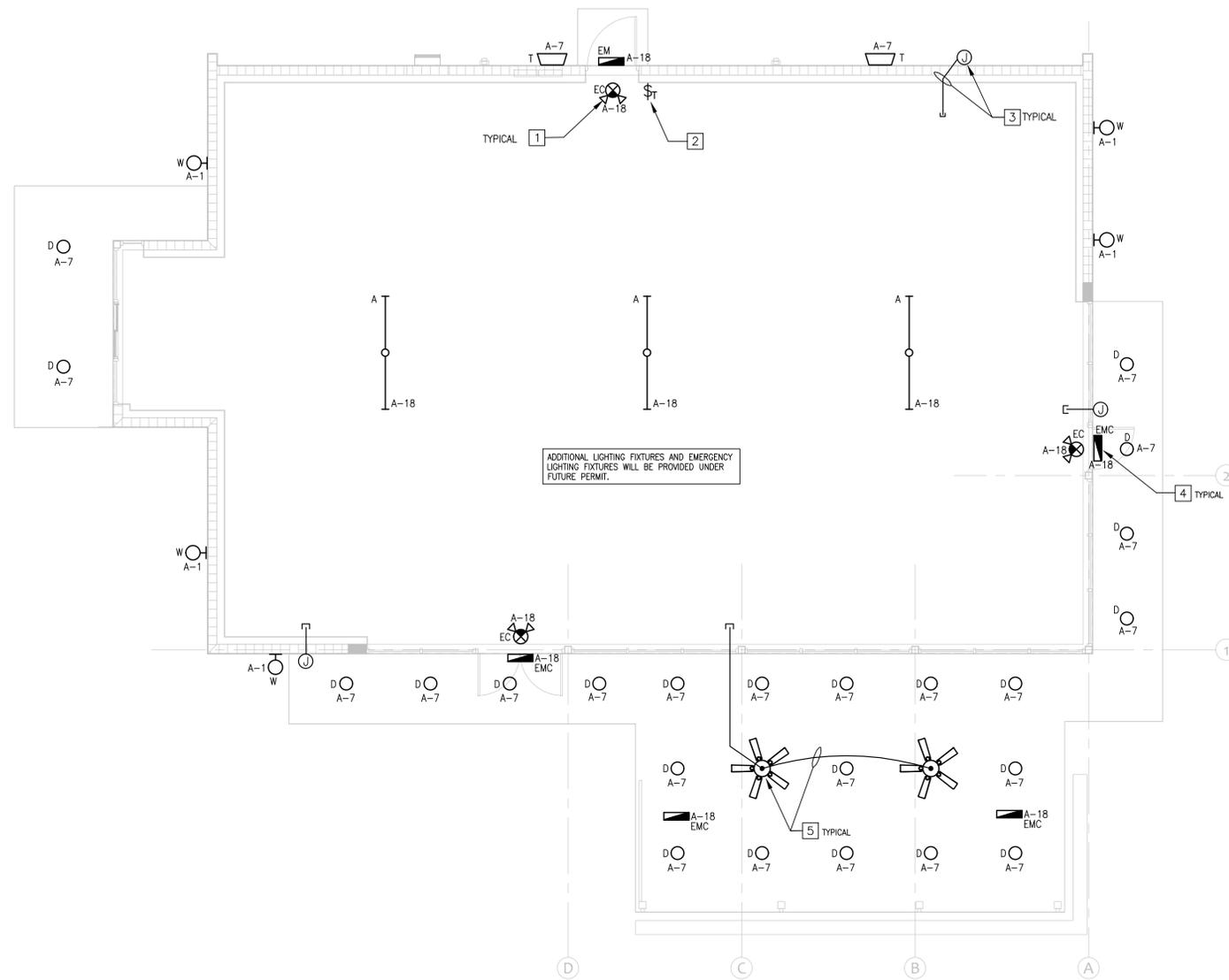
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SITE ELECTRICAL DETAILS

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DATE: 06-23-23
SCALE: AS NOTED
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LIGHTING PLAN

SCALE: 3/16" = 1'-0"



LIGHTING NOTES:

1. EXIT AND EMERGENCY BATTERIES SHALL REMAIN UNSWITCHED.
2. PROVIDE 120V, INTERMATIC #E1215 ELECTRONIC PUSH BUTTON TIMER SWITCH FOR CONTROL OF TEMPORARY CONSTRUCTION LIGHTS.
3. PROVIDE JUNCTION BOX AND 3/4" CONDUIT WITH PULL STRING FOR FUTURE TENANT SIGNAGE. STUB CONDUIT INTO TENANT SPACE ABOVE FUTURE CEILING. FIELD VERIFY EXACT SIGN LOCATIONS AND ELEVATIONS PRIOR TO ROUGH-IN.
4. SURFACE MOUNT EMERGENCY LIGHTING FIXTURE TO CANOPY WITH CONCEALED CONDUIT. REMOTE MOUNT DRIVER AND BATTERY INSIDE ABOVE AT TOP OF WALL ABOVE FUTURE TENANT CEILING.
5. PROVIDE CEILING FAN RATED JBOX FOR FUTURE OWNER PROVIDE CEILING FANS. FROM JBOX EXTEND (1) 3/4" EMPTY CONDUIT INTO TENANT SPACE ABOVE FUTURE CEILING.

REV#	DATE	REVISION
1	07/10/23	COUNTY COMMENTS
2	08/30/23	COUNTY COMMENTS

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LIGHTING PLAN

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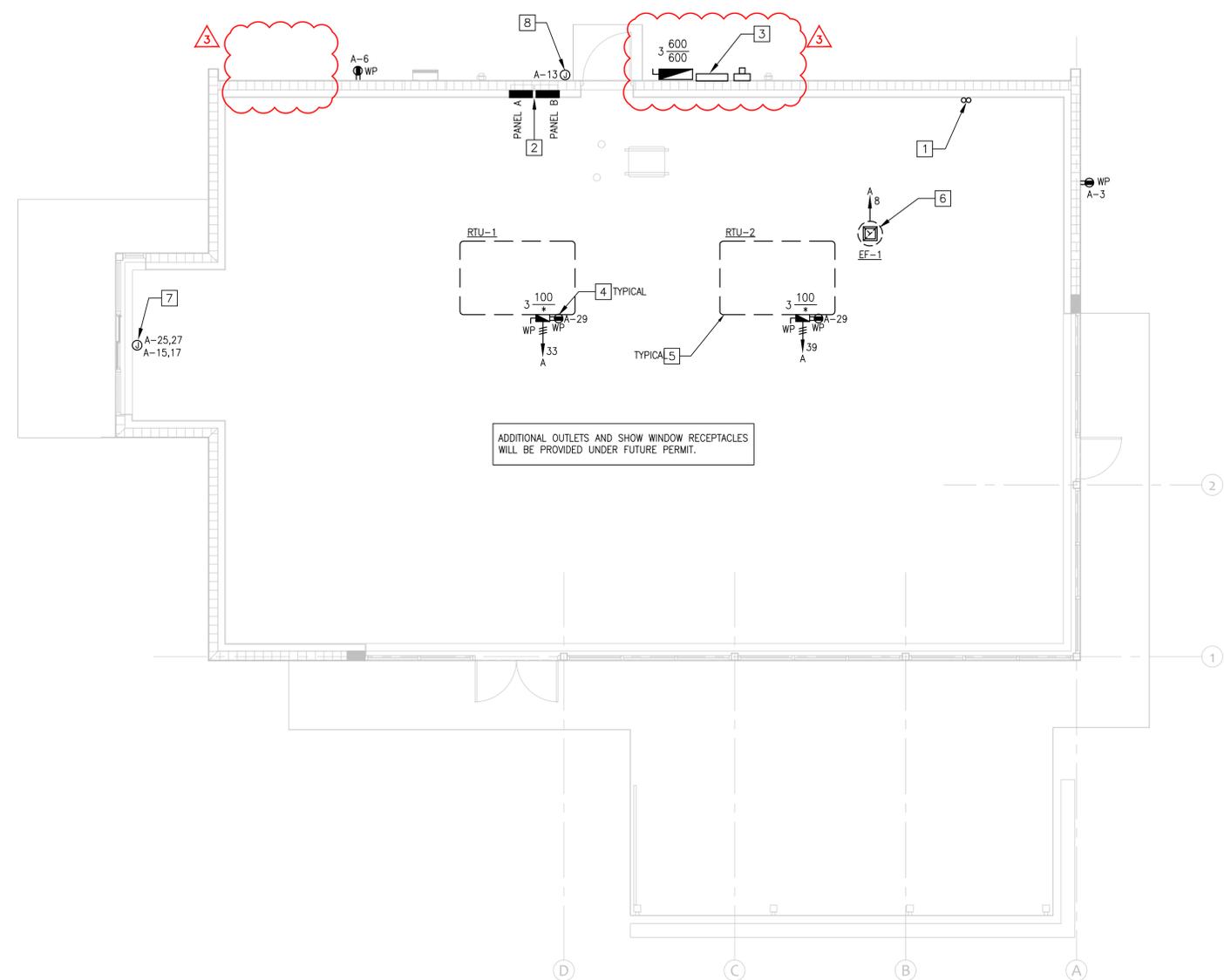
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POWER AND SYSTEMS PLAN

SCALE: 3/16" = 1'-0"



POWER NOTES:

1. STUB-UP (2) 2" CONDUITS FROM SITE COMMUNICATION PROVIDERS TO ABOVE CEILING AND EXTEND OVERHEAD TO THE LOCATION OF THE TENANT'S OFFICE. REFER TO SITE PLAN ON DRAWING E2 FOR ADDITIONAL INFORMATION. EXACT LOCATION TO BE BASED ON TENANT FLOOR PLANS.
2. PROPOSED LOCATION OF TENANT ELECTRICAL PANELS A AND B. EXACT LOCATION TO BE BASED ON TENANT FLOOR PLANS. SEE RISER DIAGRAM ON DRAWING E6 FOR ADDITIONAL INFORMATION.
3. PROPOSED METER AND DISCONNECT SWITCH LOCATION. SEE RISER DIAGRAM ON DRAWING E6 FOR ADDITIONAL INFORMATION.
4. INSTALL ROOF TOP RECEPTACLES BELOW DISCONNECT SWITCH.
5. ALL CONDUITS SERVING ROOF TOP MOUNTED EQUIPMENT SHALL CONNECT TO THE EQUIPMENT THROUGH THE EQUIPMENT ROOF CURB OPENING ONLY IN FACTORY APPROVED LOCATIONS PER THE RTU MANUFACTURER'S WRITTEN INSTALLATION DRAWINGS.
6. EF-1 SHALL BE TIME CLOCK CONTROLLED REFER TO LIGHTING CONTROL DIAGRAM ON DRAWING E6 FOR ADDITIONAL INFORMATION.
7. COORDINATE ROUGH-IN REQUIREMENTS OF ELECTRICAL CIRCUITS SERVING THE DRIVE-THRU WINDOW SYSTEM WITH VENDOR BASED ON SPECIFIC SYSTEM BEING PROVIDED.
8. PROVIDE JUNCTION BOX, 120V BRANCH CIRCUIT, EXTERIOR PUSH BUTTON AND NOTONE DOOR BELL #MVC309NHGL. PROVIDE LOW VOLTAGES WIRING AS REQUIRED.

REVISION	DATE	COMMENTS
2	09/20/23	UTILITY COORDINATION
3	09/20/23	

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POWER AND SYSTEMS PLAN

ENGINEER OF RECORD

DAVID E. ALLEY, PE
FL PE #55008

DATE
06-23-23

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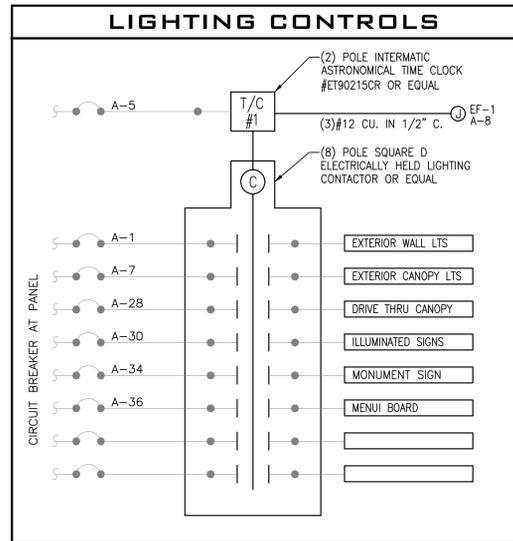
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PANEL SCHEDULE

PANEL: **A** RATING: 600A MLO SERVICE: 120/208V, 3Ø, 4W LUG LOCATION: BOTTOM MOUNTING: FLUSH A.I.C.: 10KAIC TYPE: SQ-D NO

CKT	DESCRIPTION	KVA	CKT BRKR	BRANCH	CIRCUIT	Ø	CKT	DESCRIPTION	KVA	CKT BRKR	BRANCH	CIRCUIT	Ø
			POLE TRIP	Ø N	GND C"					POLE TRIP	Ø N	GND C"	
1	EXTERIOR BUILDING LIGHTS #	0.30	1 20	10 10	10 1	a	2	SPARE		1 20			
3	RECEPTS EXTERIOR	0.54	1 20	12 12	12 3/4	b	4	SPARE		1 20			
5	TIME CLOCK		1 20			c	6	RECEPTS - EXTERIOR	0.54	1 20	12 12	12 3/4	
7	EXTERIOR BUILDING LIGHTS #	0.80	1 20	10 10	10 1	a	8	EF-1	Ø 0.31	1 20	12 12	12 3/4	
9	RECEPT - PATIO	0.72	1 20	10 10	10 1	b	10	SPARE		1 20			
11	SPARE		1 20			c	12	SPARE		1 20			
13	DOOR BELL	0.10	1 20	12 12	12 3/4	a	14	SPARE		1 20			
15	DRIVE THRU WINDOW	0.50	1 20	12 12	12 3/4	b	16	SPARE		1 20			
17	DRIVE THRU WINDOW	0.50	1 20	12 12	12 3/4	c	18	CONSTRUCTION LIGHTS	0.50	1 20	12 12	12 3/4	
19	SPARE		1 20			a	20	SPARE		1 20			
21	SPARE		2 30			b	22	SPARE		1 20			
23						c	24	SPARE		1 20			
25	AIR CURTAIN	0.70	2 40	8	10 1	a	26	DRIVE THRU DSC/DCB	0.50	1 20	10 10	10 1	
27		0.70		8		b	28	DRIVE THRU CANOPY #	0.40	1 20	10 10	10 1	
29	RECEPTS - ROOF	0.36	1 20	12 12	12 3/4	c	30	ILLUMINATED SIGNS #	0.60	1 20	10 10	10 1	
31				3		a	32	PRE-MENU BOARD	0.40	1 20	10 10	10 1	
33	RTU-1	23.6	3 90	3	8 1 1/4	b	34	MONUMENT SIGN #	0.10	1 20	12 12	12 3/4	
35				3		c	36	MENU BOARD #	0.5	1 20	12 12	12 3/4	
37				3		a	38						
39	RTU-2	23.6	3 90	3	8 1 1/4	b	40	SPARE		3 20			
41				3		c	42						
43	SPARE		1 20			a	44	SPARE		1 20			
45			1 20			b	46			1 20			
47			1 20			c	48			1 20			
49			1 20			a	50			1 20			
51			1 20			b	52			1 20			
53			1 20			c	54			1 20			
55			1 20			a	56			1 20			
57			1 20			b	58			1 20			
59			1 20			c	60			1 20			
61			1 20			a	62			1 20			
63			1 20			b	64			1 20			
65			1 20			c	66			1 20			

EQUIPMENT SERVED	CONNECTED LOAD (KVA) #A	LF	DF	DEMAND LOAD
LIGHTING	3.6		1.25	4.5
HVAC EQUIPMENT	47.2			47.2
RECEPTS (10KVA PLUS 50% REST)	1.08			1.08
MISC. EQUIPMENT	2.5			2.5
TOTAL KVA:	55			
AMPS:	153			

REMARKS:
 - PROVIDE TYPE WRITTEN DIRECTORY
 - PROVIDE NEUTRAL AND GROUND BARS
 - PROVIDE FEED THRU LUGS
 - TIME CLOCK CONTROLLED
 - PROVIDE LOCKABLE HINGED DOOR-IN-DOOR.
 # CONTACTOR CONTROLLED

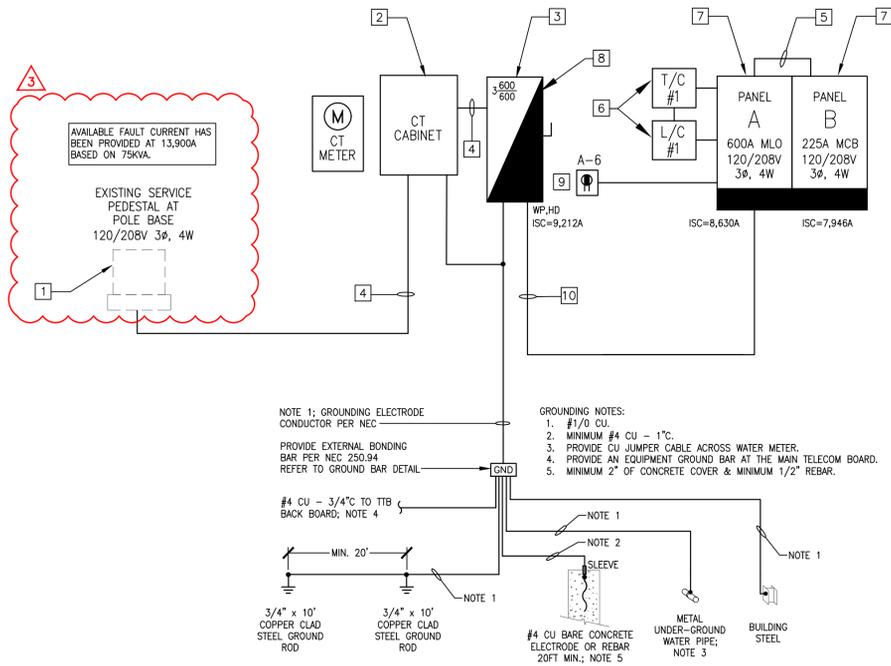
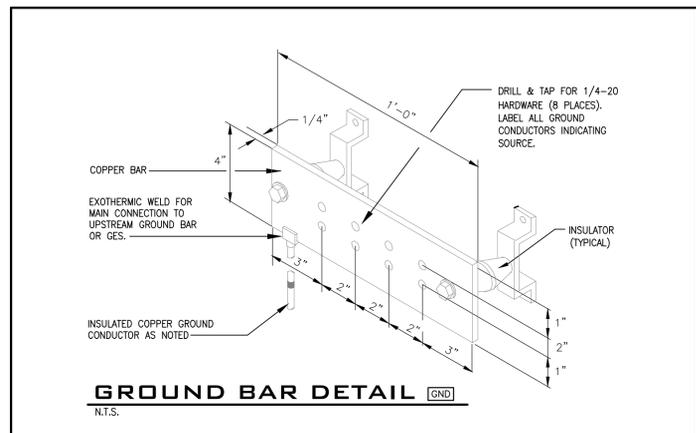
PANEL SCHEDULE

PANEL: **B** RATING: 225A MCB SERVICE: 120/208V, 3Ø, 4W LUG LOCATION: BOTTOM MOUNTING: FLUSH A.I.C.: 10KAIC TYPE: SQ-D NO

CKT	DESCRIPTION	KVA	CKT BRKR	BRANCH	CIRCUIT	Ø	CKT	DESCRIPTION	KVA	CKT BRKR	BRANCH	CIRCUIT	Ø
			POLE TRIP	Ø N	GND C"					POLE TRIP	Ø N	GND C"	
1	SPARE		2 20			a	2	SPARE		2 40			
3						b	4						
5			2 40			c	6			2 30			
7						a	8						
9			2 40			b	10			1 20			
11						c	12			1 20			
13			2 50			a	14			1 20			
15						b	16			1 20			
17			2 30			c	18			1 20			
19						a	20			1 20			
21			2 30			b	22			1 20			
23						c	24			2 20			
25			1 20			a	26			1 20			
27			1 20			b	28			1 20			
29			1 20			c	30			1 20			
31			1 20			a	32			1 20			
33			1 20			b	34			1 20			
35			1 20			c	36			1 20			
37			2 20			a	38			1 20			
39						b	40			1 20			
41			1 20			c	42			1 20			
43			1 20			a	44			1 20			
45			2 40			b	46			1 20			
47						c	48			1 20			
49			1 20			a	50			1 20			
51			1 20			b	52			1 20			
53			1 20			c	54			1 20			
55			1 20			a	56			1 20			
57			1 20			b	58			3 40			
59			1 20			c	60			1 20			
61	SPACE					a	62	SPACE					
63	SPACE					b	64	SPACE					
65	SPACE					c	66	SPACE					

EQUIPMENT SERVED	CONNECTED LOAD (KVA) #A	LF	DF	DEMAND LOAD
LIGHTING				
HVAC EQUIPMENT				
RECEPTS (10KVA PLUS 50% REST)				
MISC. EQUIPMENT				
TOTAL KVA:				
AMPS:				

REMARKS:
 - PROVIDE TYPE WRITTEN DIRECTORY
 - PROVIDE NEUTRAL AND GROUND BARS
 - PROVIDE LOCKABLE HINGED DOOR-IN-DOOR.



- ### RISER NOTES:
- EXISTING SERVICE PEDESTAL AT BASE OF EXISTING DUKE ENERGY POLE WITH POLE MOUNTED TRANSFORMER BANK. FIELD VERIFY WITH LOCAL ELECTRIC COMPANY FOR ALL REQUIREMENTS PRIOR TO ROUGH-IN.
 - ALL SERVICE EQUIPMENT AND METERING SHALL BE PER THE UTILITY ELECTRIC SERVICE STANDARDS. COORDINATE SPECIFIC REQUIREMENTS WITH THE AREA PLANNER. PROVIDE LABELING PER SERVICE STANDARDS. PROVIDE #1/0 CU BOND TO CT CABINET.
 - PROVIDE SIGNAGE AT THE SERVICE INDICATING THE MAXIMUM AVAILABLE FAULT CURRENT AND THE DATE CALCULATED PER NEC 110.24(A). REFER TO CALCULATED FAULT CURRENTS SHOWN ON RISER DIAGRAM FOR ADDITIONAL INFORMATION.
 - (2) SETS, EACH SET: (4)#350 KOMIL CU. IN 3 1/2" CONDUIT.
 - (4)#4/0 CU, (1)#4 CU. GROUND IN 2 1/2" CONDUIT.
 - PROVIDE TIME CLOCK AND LIGHTING CONTACTOR PER DIAGRAM ON THIS DRAWING.
 - CIRCUIT BREAKER SIZES AND QUANTITIES ARE PRELIMINARY, REFER TO TENANT'S DRAWINGS FOR ACTUAL REQUIREMENTS.
 - BOND SERVICE DISCONNECT SWITCH PER NEC 250.24 WITH A #1/0 CU BONDING JUMPER PER NEC TABLE 250.102(C)(1).
 - PROVIDE A WEATHERPROOF 20A, GFCI RECEPTACLE AT THE SERVICE PER NEC 210.64.
 - (2) SETS, EACH SET: (4)#350 KOMIL CU, (1)#1/0 CU GROUND IN 3 1/2" CONDUIT.
- IF THE CONTRACTOR CHOOSES TO USE A SERIES RATED SYSTEM PER 240.86, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE CHOSEN SWITCHGEAR VENDOR SELECTS THE APPROPRIATE UL TESTED SERIES RATED CIRCUIT BREAKERS COMBINATIONS (TIER 2 OR TIER 3) AS NEEDED BASED ON THE AVAILABLE FAULT CURRENT AT THE SERVICE EQUIPMENT. PROVIDE AND INSTALL ALL LABELING PER NEC 110.24.
- INDICATED FAULT CURRENTS ARE BASED ON PRELIMINARY UTILITY TRANSFORMER SIZES AND SHALL BE VERIFIED BASED ON THE EXISTING OR NEW INSTALLED TRANSFORMER. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- PER NEC 110.16, PROVIDE ARC-FLASH HAZARD WARNING LABELS FOR ALL ELECTRICAL EQUIPMENT, SUCH AS SWITCHBOARDS, SWITCHGEAR, PANELBOARDS, INDUSTRIAL CONTROL PANELS, METER SOCKET ENCLOSURES, AND MOTOR CONTROL CENTERS, THAT IS IN OTHER THAN DWELLING UNITS, AND IS LIKELY TO REQUIRE EXAMINATION, ADJUSTMENT, SERVICING, OR MAINTENANCE WHILE ENERGIZED. SHALL BE FIELD OR FACTORY MARKED TO WARN QUALIFIED PERSONS OF POTENTIAL ELECTRIC ARC FLASH HAZARDS. THE MARKING SHALL MEET THE REQUIREMENTS IN 110.21(B) AND SHALL BE LOCATED SO AS TO BE CLEARLY VISIBLE TO QUALIFIED PERSONS BEFORE EXAMINATION, ADJUSTMENT, SERVICING, OR MAINTENANCE OF THE EQUIPMENT.

REVISION
 DATE
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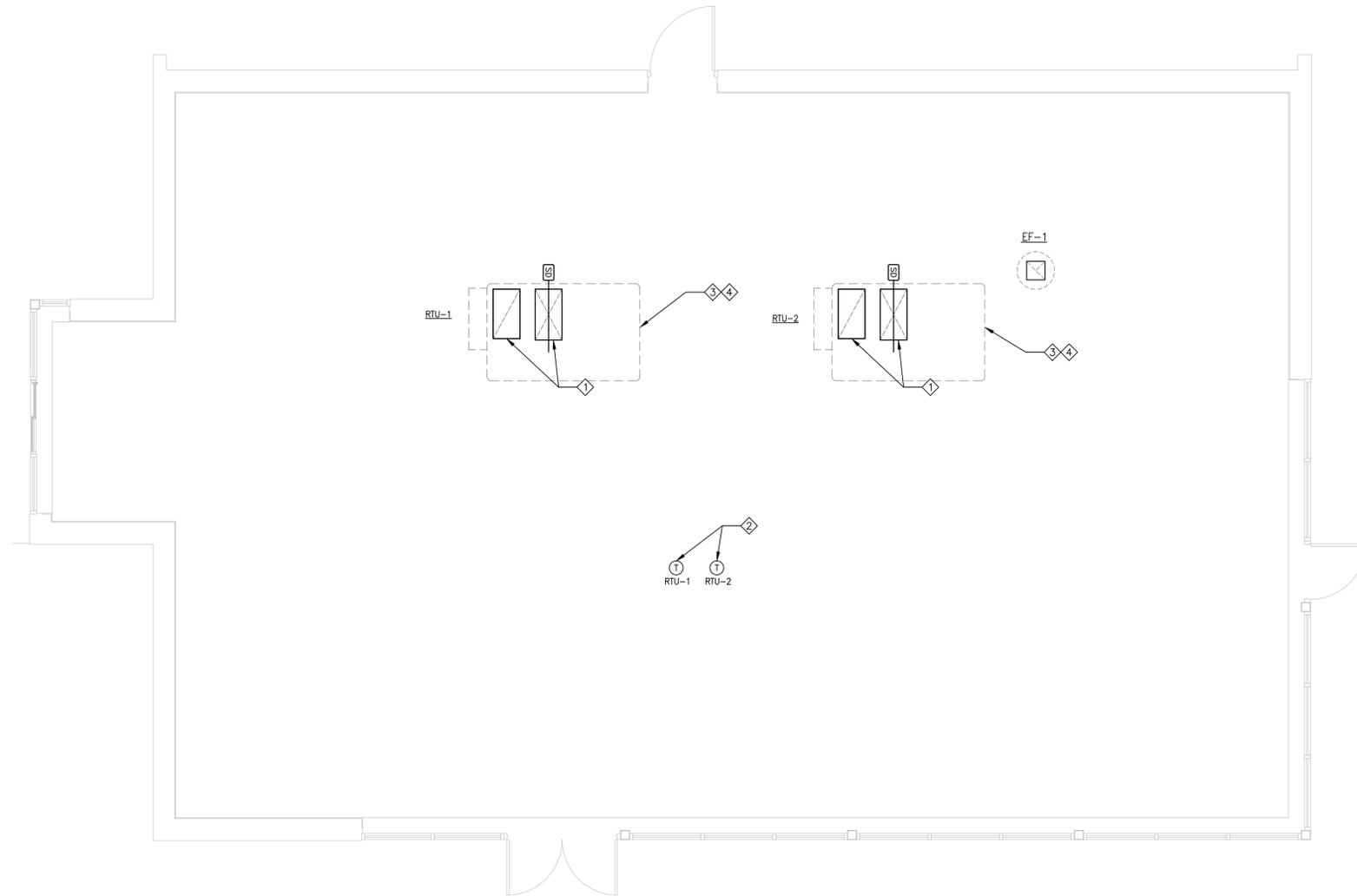
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 DRAWING TITLE
RISER DIAGRAM AND SCHEDULES

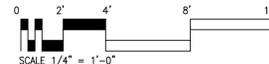
ENGINEER OF RECORD
 DAVID E. ALLEY, PE
 FL PE #55008

DATE: 06-23-23
 SCALE: AS NOTED
 PROJ. NO.: 230069
 DESIGNED BY: DAP
 DRAWN BY: DAP
 CHECKED BY: DEA
 DRAWING NO. **E6**



MECHANICAL PLAN

SCALE: 1/4" = 1'-0"



SCALE 1/4" = 1'-0"

NOTES:

1. ROUTE FULL SIZE DUCTWORK TO BOTTOM OF STRUCTURE. SEE DETAIL ON SHEET M1.
2. PROVIDE TEMPORARY THERMOSTAT TO BE LOCATED ON INTERIOR WALL DURING TENANT IMPROVEMENT BUILD OUT.
3. COORDINATE INITIAL MECHANICAL START-UP PER MANUFACTURER'S RECOMMENDATION AND PROVIDE TENANT WITH VALIDATION/COORDINATION OF MECHANICAL START-UP.
4. WIRE 150' THERMOSTAT CABLE TO UNIT, LOOPED AND LEFT IN CEILING.

REV#	DATE	REVISION

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 DRAWING TITLE
MECHANICAL PLAN

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ENGINEER OF RECORD

KEITH M. PRZECLAWSKI, PE
 FL PE #82393

DATE 06-23-23

SCALE AS NOTED

PROJ. NO.: 230069

DESIGNED BY: KMP

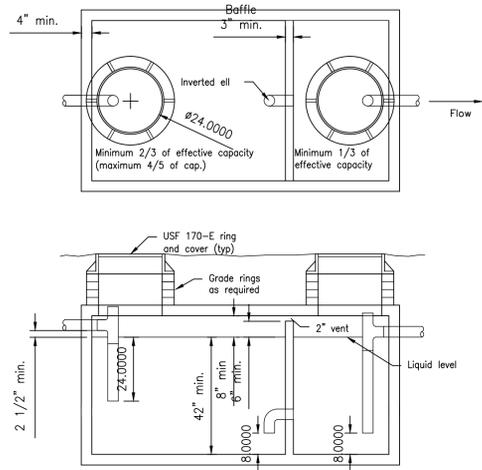
DRAWN BY: ADM

CHECKED BY: KMP

DRAWING NO.

M2

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- Notes:
- Minimum tank volume (effective capacity) is 750 gallons. Maximum tank volume is 1250 gallons.
 - Multiple units shall be linked in series.
 - Provide a minimum 8" freeboard above the liquid level.
 - Minimum effective depth of liquid compartments is 42".
 - Minimum pipe size is 4".
 - Use 4000 psi Portland Type II concrete with minimum 3/4" cover on reinforcing steel.
 - Interceptor tank and manholes subject to traffic shall be designed for MSHTO H-20 loading.
 - Manhole covers shall be stamped "grease".
 - Provide 2" gap between baffle and tank top.
 - Only kitchen wastewater shall pass through a grease interceptor before discharge to sanitary sewer system.
 - Refer to chapter 64e-6.013(8) of the Florida Administrative Code.

GREASE TRAP WORKSHEET*

2013 FLORIDA ADMINISTRATIVE CODE - RULE 64E-6.013, (7), (d), 1. RESTAURANTS

(S) x (GS) x (HR/12) x (LF) = EFFECTIVE CAPACITY OF GREASE INTERCEPTOR IN GALLONS.

(S) = NUMBER OF SEATS** = 130

(GS) = GALLONS OF WASTEWATER PER SET
 () USE 25 GALLONS FOR ORDINARY RESTAURANT
 (X) USE 10 GALLONS FOR SINGLE SERVICE ARTICLE RESTAURANTS

TOTAL GALLONS PER SEAT = 10

(HR/12) NUMBER OF HOURS ESTABLISHMENT IS OPEN = .14 / 12 = .117

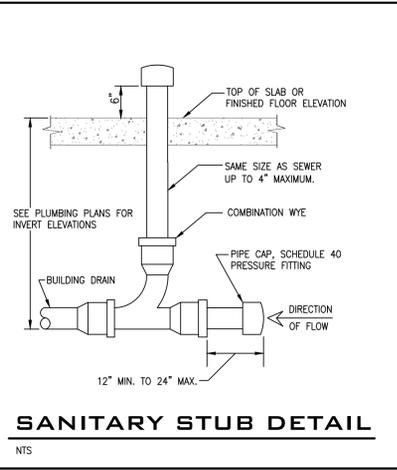
(LF) = LOADING FACTOR = .75
 USE 2.0 INTERSTATE HIGHWAYS
 USE 1.5 OTHER FREEWAYS
 USE 1.25 RECREATIONAL AREAS
 USE 1.0 MAIN HIGHWAYS
 USE 0.75 OTHER ROADS

(130) x (.10) x (.117) x (.75) = 1141 EFFECTIVE CAPACITY OF GREASE INTERCEPTOR IN GALLONS.

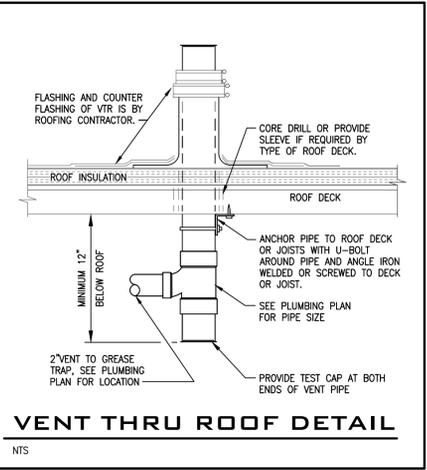
BUILDING REQUIRES (1) GREASE TRAPS WITH 1,250 GALLON CAPACITY EACH FOR A TOTAL OF 1,250 GALLONS.

* VALUES USED ARE BASED FROM ARCHITECTURAL DRAWINGS AND TENANT REQUEST

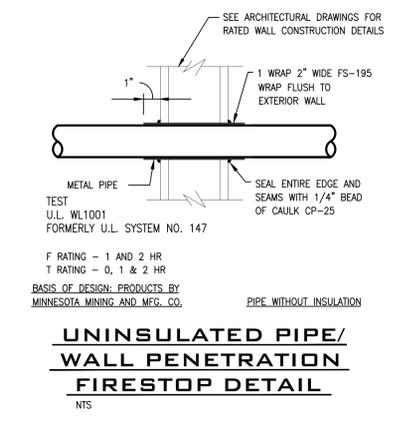
** SEATING BASED ON TOTAL SQ. FT. ASSUMED AS DINING AREA; FLORIDA BUILDING CODE, 2020 FOR "ASSEMBLY WITHOUT FIXED SEATS, UN-CONCENTRATED" 3274 SQ. FT. x 0.5 / 15 SQ. FT. PER PERSON = 94 SEATS.



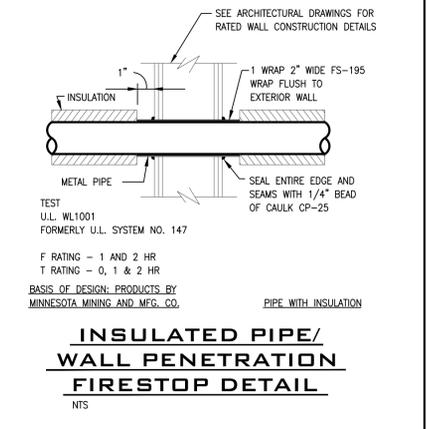
SANITARY STUB DETAIL



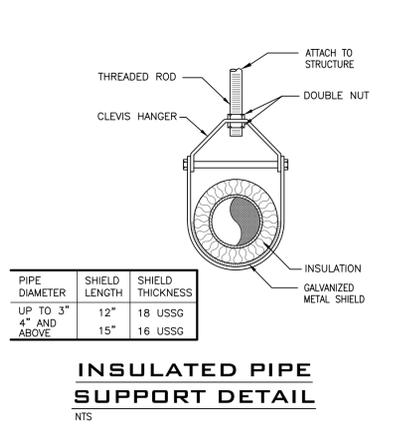
VENT THRU ROOF DETAIL



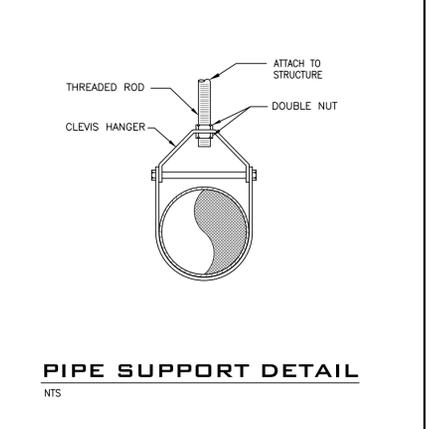
UNINSULATED PIPE/WALL PENETRATION FIRESTOP DETAIL



INSULATED PIPE/WALL PENETRATION FIRESTOP DETAIL



INSULATED PIPE SUPPORT DETAIL



PIPE SUPPORT DETAIL

- PLUMBING GENERAL NOTES AND SPECIFICATIONS**
- PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND TOOLS TO PERFORM ALL WORK NECESSARY FOR THE COMPLETE EXECUTION OF THE PLUMBING WORK AS SHOWN ON THE DRAWINGS. PIPING SHALL ESSENTIALLY BE ROUTED AND LOCATED AS INDICATED ON THE DRAWINGS. HOWEVER, ACTUAL PLACEMENT SHALL BE VERIFIED BY CONFIRMING EXACT LOCATION OF STRUCTURES AND OTHER UTILITIES IN THE FIELD AND BY CAREFUL LAYOUT PRIOR TO EXECUTION OF THE WORK. PLUMBING DRAWINGS ARE GENERALLY DIAGRAMMATIC AND SHOULD NOT BE SCALED.
 - PROVIDE WORK NOT SPECIFICALLY SHOWN OR SPECIFIED, YET REQUIRED FOR PROPER AND COMPLETE OPERATIONS OF ALL SYSTEMS AND TO SATISFY THE DESIGN INTENT. COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
 - LABOR FOR THE INSTALLATION OF MATERIALS AND EQUIPMENT FURNISHED UNDER THE PLUMBING CONTRACTORS' SCOPE OF WORK SHALL BE PERFORMED BY EXPERIENCED MECHANICS OF THE PROPER TRADE AND ALL WORKMANSHIP SHALL BE FIRST CLASS AND SHALL BE IN COMPLIANCE WITH THE SPECIFIC REQUIREMENTS OF THE CONTRACT DRAWINGS.
 - ALL DISCREPANCIES ON DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO SUBMISSION OF BIDS. SUBMISSION OF A BID CONSTITUTES ACCEPTANCE OF FIELD CONDITIONS.
 - SEE ARCHITECTURAL DRAWINGS FOR EXACT PLUMBING FIXTURE LOCATIONS, MOUNTING HEIGHTS, DIMENSIONS AND ADDITIONAL REQUIREMENTS NOT COVERED ON THESE DRAWINGS.
 - ALL WORK SHALL BE IN ACCORDANCE WITH, BUT NOT LIMITED TO, THE LATEST ADOPTED EDITION OF THE FOLLOWING CODES AND STANDARDS:
 FLORIDA BUILDING CODE, (FBC);
 NATIONAL FIRE PROTECTION ASSOCIATION, (NFPA);
 AMERICANS WITH DISABILITIES ACT, (ADA);
 AMERICAN SOCIETY OF MECHANICAL ENGINEERS, (ASME);
 AMERICAN SOCIETY FOR TESTING AND MATERIALS, (ASTM);
 AMERICAN NATIONAL STANDARDS INSTITUTE, (ANSI);
 UNDERWRITERS LABORATORIES, (UL);
 ALL LOCAL CODES, ORDINANCES, REGULATIONS;
 THE AUTHORITY HAVING JURISDICTION.
 - CONTRACTOR SHALL OBTAIN AND FURNISH ALL PERMITS, AND ARRANGE FOR ALL REQUIRED INSPECTIONS.
 - CONTRACTOR SHALL INSPECT THE SITE FOR FIELD VERIFICATION OF ALL ASPECTS OF THE PROJECT PRIOR TO BIDDING.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES.
 - ROUTE ALL PIPING CONCEALED ABOVE CEILINGS, WITHIN WALLS, OR IN CHASES. PIPING EXPOSED SHALL BE SLOPED AND PAINTED TO MATCH ARCHITECTURAL FINISHES. PIPING IN MECHANICAL ROOMS MAY BE EXPOSED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING FIRE RATING AND WEATHERPROOFING INTEGRITY OF ALL PIPING AND PENETRATIONS.
 - CONTRACTOR SHALL INSTALL DIELECTRIC UNIONS AT CONNECTIONS OF DISSIMILAR METALS.
 - DO NOT PENETRATE WALL FOOTINGS WITH PIPING. COORDINATE WITH GENERAL CONTRACTOR TO DROP FOOTINGS AS REQUIRED TO CLEAR PLUMBING SERVICES. WHERE ABSOLUTELY NECESSARY, ALL PIPING PENETRATING BEARING WALL OR FOOTING MUST BE SLEEVED AND LOCATION APPROVED BY THE STRUCTURAL ENGINEER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY SUPPORTING DEVICES FOR ALL FIXTURES INCLUDED IN CONTRACT, OR HEREIN SPECIFIED, OR OTHERWISE.
 - WALL BRACKETS, HANGERS, SUPPORTS, ETC. SHALL BE PROVIDED WHERE REQUIRED IN ACCORDANCE WITH THE BEST STANDARD PRACTICE OF THE TRADE AND AS PER CODE. ADDITIONAL SUPPORTS SHALL BE PROVIDED TO TRANSFER LOADS TO THE MAIN STRUCTURE WHERE REQUIRED. ALL EXPOSED SUPPORTS SHALL BE HOT DIPPED GALVANIZED OR FIBERGLASS REINFORCED "UNISTRUT" TYPE INCLUDING HARDWARE.
 MAXIMUM HORIZONTAL SPACING:
 CAST IRON 5'-0" ON CENTER (10' PIPE LENGTHS MAY BE 10'-0" SPACING)
 COPPER 6'-0" ON CENTER FOR 1-1/4" AND SMALLER
 10'-0" ON CENTER FOR 1-1/2" AND LARGER
 CPVC 3'-0" ON CENTER FOR 1/2" THRU 1"
 4'-0" ON CENTER FOR 1-1/4" AND LARGER
 PVC 4'-0" ON CENTER
 - STORM DRAIN, CONDENSATE DRAIN, SANITARY WASTE AND VENT PIPING SHALL BE COLLECTED AND TERMINATED AT A POINT SHOWN ON THE DRAWINGS. PIPING SHALL BE SOLID CORE SCHEDULE 40 TYPE DWV PVC WITH SOLVENT WELD JOINTS, EXCEPT FOR RETURN AIR PLENUM AREAS WHERE SERVICE WEIGHT CAST IRON PIPE WITH HUB AND SPIGOT FITTINGS OR PVC PIPING WITH 1" THICK FIRE WRAP INSULATION SEALED TO PROVIDE FS/SD = 25/50 SHALL BE USED. FIRE WRAP INSULATION SHALL BE SA FIRE BARRIER PLENUM WRAP BY 3M OR APPROVED EQUIVALENT.
 - ALL DRAINAGE PIPING 3" AND LARGER SHALL HAVE A MINIMUM SLOPE OF 1/8" PER FOOT, PIPING 2-1/2" AND SMALLER SHALL HAVE A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS OTHERWISE NOTED.
 - VENT PIPING SHOWN ON FLOOR PLANS IS ONLY INDICATIVE EXCEPT FOR VTR LOCATIONS.
 - VENT DOMESTIC WATER PIPING (ABOVE FLOOR) SHALL BE TYPE "L" COPPER. PROVIDE TRANSITION FITTINGS AS REQUIRED TO INSTALL VALVES, FIXTURE STOPS, EQUIPMENT AND OTHER COMPONENTS. WATER PIPING IN RETURN AIR PLENUM AREAS SHALL BE TYPE L HARD COPPER TUBE. ALL EXPOSED PIPING SHALL BE TYPE L HARD COPPER TUBE PAINTED TO MATCH. ALL HOT WATER, TEMPERED WATER AND HOT WATER RETURN PIPE AND FITTINGS SHALL BE COVERED IN 3/4" THICK ELASTOMERIC INSULATION WITH ALL SEAMS AND JOINTS SEALED TIGHT.
 - ALL MATERIALS PROVIDED BY THE CONTRACTOR SHALL BE NEW AND FREE OF DEFECTS AND SHALL BE UL LISTED FOR THE INTENDED APPLICATION.
 - ALL HAND SINKS AND LAVATORIES SHALL BE PROVIDED WITH TEMPERED WATER AND TEMPERATURE SET TO 110°F MAXIMUM.
 - HOT AND COLD WATER SUPPLY PIPING AND DRAIN PIPING UNDER HANDICAPPED LAVATORIES SHALL BE INSULATED PER AMERICANS WITH DISABILITIES ACT, WITH FACTORY FABRICATED SEAMLESS MICROBIAL PVC RESIN INSULATION.
 - VALVES AND FITTINGS SHALL BE OF SAME SIZE AS LINE IN WHICH THEY ARE INSTALLED.
 - INSTALL WATER HAMMER ARRESTORS AT EACH FIXTURE, OR BATTERY OF FIXTURES WHERE REQUIRED. ARRESTORS SHALL BE FACTORY FABRICATED. INSTALL ARRESTORS AND SIZE PER PLUMBING AND DRAINAGE INSTITUTE STANDARD P.D.I. WH-201. AIR CHAMBERS SHALL NOT BE CONSIDERED AN EQUAL TO WATER HAMMER ARRESTORS AS SPECIFIED.
 - ALL WATER SUPPLY AND DRAINAGE LINES SHALL BE INSTALLED AS CLOSE TO PLANS AS POSSIBLE WITH NO CHANGE IN SIZING.
 - BALL VALVES 1/2" THROUGH 2" SHALL BE TWO PIECE - 600 WOG, TEFLON SEATS, ANSI 316 STAINLESS STEEL BALL AND STEM (EXTENSION STEM ON INSULATED HOT WATER AND TEMPERED HOT WATER), BRONZE BODY WITH THREADED OR SOLDER ENDS.

PLUMBING EQUIPMENT SCHEDULE

SYMBOL	DESCRIPTION	EQUIPMENT BASIS OF DESIGN	CONNECTION SIZE	REMARKS
□□	BALL VALVE	WATTS - FBV-4	EQUAL TO PIPE SIZE	FULL PORT QUARTER TURN
□□/□□	FLOOR/EXTERIOR CLEANOUT	WATTS CO-12	EQUAL TO PIPE SIZE UP TO 4"	INSTALL FLUSH WITH FINISHED FLOOR OR GRADE ROUND NICKEL-BRONZE TOP
HB-1	EXTERIOR HOSE BIBB	JR SMITH S-5515	1/2"	MOUNT 30" ABOVE FINISHED GRADE

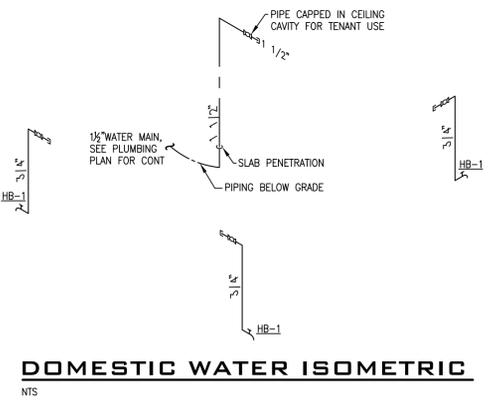
NOTE: MANUFACTURER AND MODEL NUMBER INTENDED FOR LEVEL OF QUALITY. SUBSTITUTIONS MAY BE SUBMITTED IF QUALITY MEETS THIS LEVEL.

PLUMBING LEGEND

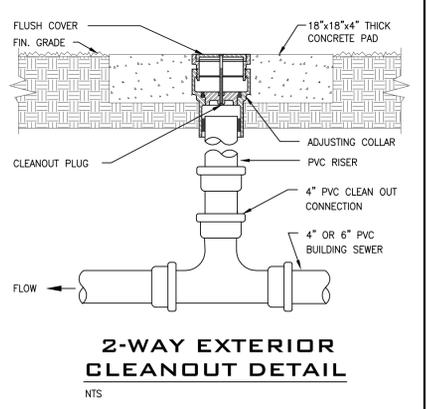
---	COLD WATER ABOVE GRADE
---	COLD WATER BELOW GRADE
---	SANITARY SEWER BELOW GRADE
---	GREASE WASTE BELOW GRADE
---	SANITARY VENT
---	STORM WATER BELOW GRADE

ABBREVIATIONS

AV	AIR ADMITTANCE VALVE	F	DEGREES FAHRENHEIT
ADA	AMERICANS WITH DISABILITIES ACT	GPM	GALLONS PER MINUTE
CONN	CONNECTION	HR	HOUR
CONT	CONTINUATION	HW	HOT WATER
CW	COLD WATER	NTS	NOT TO SCALE
DWG	DRAWING	SS	SANITARY SEWER
EX-	EXISTING	T&P	TEMPERATURE & PRESSURE
EWH	ELECTRIC WATER HEATER	TYP	TYPICAL
		V	VENT



DOMESTIC WATER ISOMETRIC



2-WAY EXTERIOR CLEANOUT DETAIL

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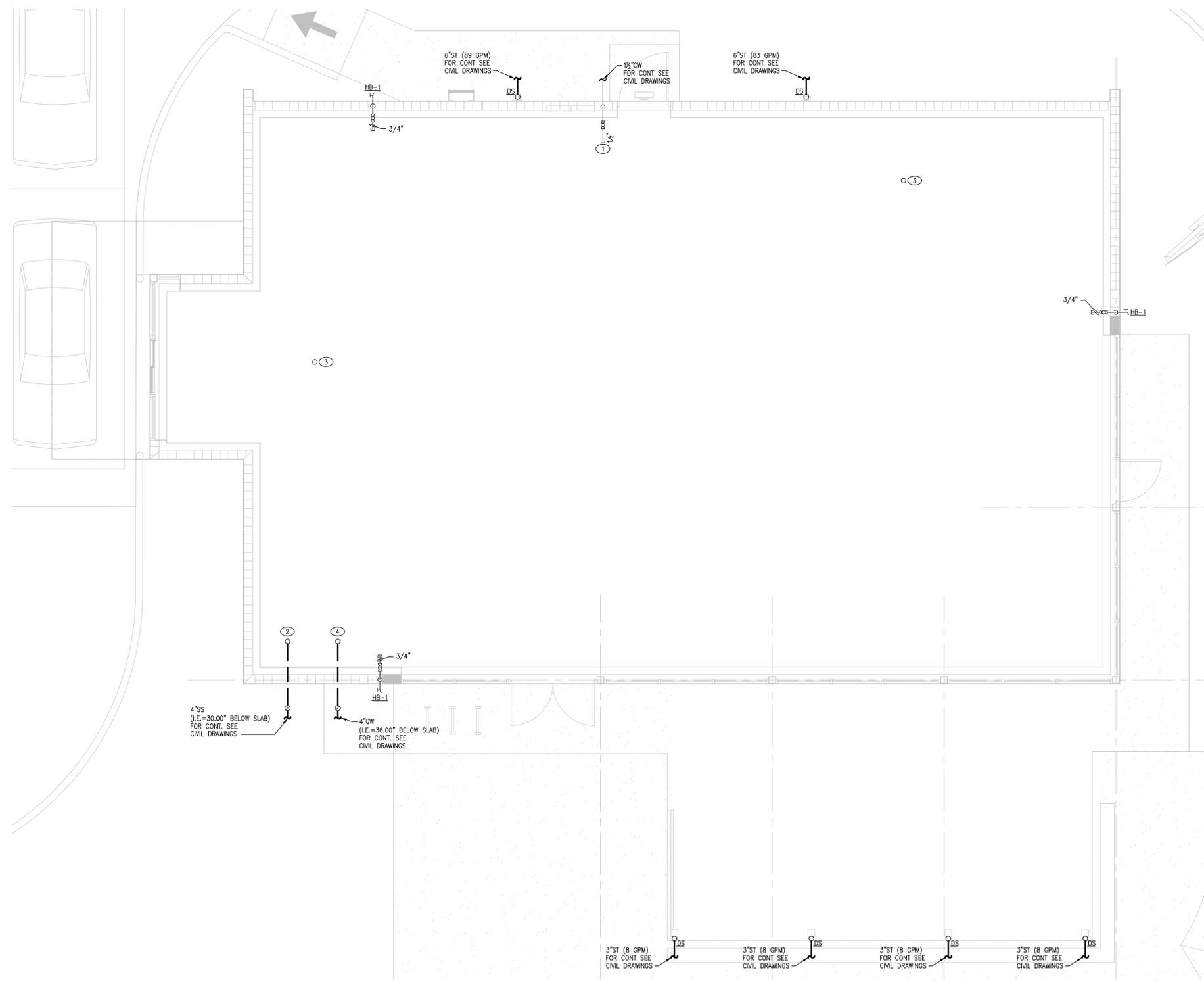
**DRAWING TITLE
 PLUMBING SPECIFICATIONS,
 SCHEDULES AND DETAILS**

ENGINEER OF RECORD
 KEITH M. PRZECLAWSKI, PE
 FL PE #82393

DATE: 06-23-23
 SCALE: AS NOTED
 PROJ. NO.: 230069
 DESIGNED BY: RPO
 DRAWN BY: RPO
 CHECKED BY: KMP
 DRAWING NO. P1

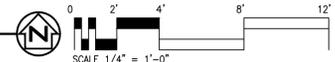
PLUMBING NOTES: ○

1. COLD WATER STUB OUT IN CEILING CAVITY ABOVE BOTTOM CHORD OF ROOF TRUSS CAP PIPING AND PROVIDE SHUT-OFF VALVE.
2. 4"SS STUB OUT. SEE STUB OUT DETAIL SHEET P1.
3. 3"VIR WITH STUB OUT. SEE VENT THRU ROOF DETAIL SHEET P1.
4. 4"GW STUB OUT. SEE STUB OUT DETAIL SHEET P1.



PLUMBING PLAN

SCALE: 1/4" = 1'-0"



REV#	DATE	REVISION

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DRAWING TITLE
PLUMBING PLAN

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ENGINEER OF RECORD

KEITH M. PRZECLAWSKI, PE
FL PE #82393

DATE
06-23-23

SCALE
AS NOTED

PROJ. NO. :
230069

DESIGNED BY:
RPO

DRAWN BY:
RPO

CHECKED BY:
KMP

DRAWING NO.
P2

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